

Woodbridge Board of Education WBOE
Facilities Committee Meeting
RESCHEDULED from November 6, 2023
Wednesday, November 8, 2023 7:30 AM

Superintendent's Conference Room

Agenda

- I. **Call to Order / WebEx Log-in**
<https://woodbridgeps.webex.com/woodbridgeps/j.php?MTID=mbc309720060ff8328e68dfa2830b9027>
Meeting number (access code): 2481 895 2017
Meeting password: dCp5372gfn5
- II. **Capital Budget / Facilities / Grounds / Roofing Update**
- III. **Adjournment**

Beecher Road Elementary School Partial Roof Replacement							19-Oct-23			
40 beecher Road. Woodbridge, Connecticut 06525							JOB NO:23.108			
Owner: Town of Woodbridge										
OPINION OF PROBABLE CONSTRUCTION COST				EPDM ROOF MEMBRANE		CT STATE PROJECT #				
34,860 (SQARE FEET)										
SECTION NUMBER	WORK CATEGORIES	QTY.	UNIT	MATERIAL COST		LABOR COST		ALLOWANCE	TOTAL \$	CT INELIGIBLE
				UNIT \$	TOTAL	UNIT \$	TOTAL			
OTHER COSTS										
	STATE PERMIT FEE (.26 PER 1,000)	1	LS				\$390		\$390	\$390
OTHER SUB-TOTAL								\$390		TOTAL: \$390
DIVISION TWO										
	DUMPSTERS	15	EA	\$1,000.00	\$15,000				\$15,000	\$0
	EXISTING ROOF INSULATION	34,860	SF		\$0	\$0.50	\$17,430		\$17,430	\$0
	DEMO - WOOD BLOCKING	1,400	LF	\$0.00	\$0	\$5.00	\$7,000		\$7,000	\$0
	CRANE RENTAL (UNIT LIFTING)	1	LS				\$15,000		\$15,000	\$0
	DEMO - METAL FLASHING	1,800	LF			\$4.00	\$7,200		\$7,200	\$0
DIVISION TWO SUB-TOTAL								\$61,630		TOTAL: \$0
DIVISION FIVE										
	METAL FLASHING	1,800	LF	\$15.00	\$27,000	\$9.00	\$16,200		\$43,200	\$0
	SAW CUTTING FOR REGLETS & METAL	1,000	LF	\$4.45	\$4,450	\$4.00	\$4,000		\$8,450	\$0
	5% TOTAL DECK REPLACEMENT ALLOWANCE	1	EA				\$10,000	\$	10,000	\$10,000
DIVISION FIVE SUB-TOTAL								\$61,650		TOTAL: \$10,000
DIVISION SIX										
	PERIMETER WOOD BLOCKING	6,800	BF	\$3.00	\$20,400	\$2.00			\$20,400	\$0
	MECH. UNIT WOOD BLOCKING	1,500	BF	\$3.50	\$5,250	\$2.00	\$3,000		\$8,250	\$0
DIVISION SIX SUB-TOTAL								\$	28,650	TOTAL: \$0
DIVISION SEVEN										
	BASE LAYER INSULATION (5" THICK)	34,860	SF	\$3.00	\$104,580	\$2.00	\$69,720		\$174,300	\$0
	TAPERED INSULATION INSULATION (1/4")	34,860	SF	\$3.00	\$104,580	\$3.50	\$122,010		\$226,590	\$0
	COVERBOARD	34,860	SF	\$1.50	\$52,290	\$2.00	\$69,720		\$122,010	\$0
	EPDM ROOFING MEMBRANE	34,860	SF	\$3.00	\$104,580	\$3.25	\$113,295		\$217,875	\$0
	METAL ROOF STAIR	1	LS	\$6,000			\$6,000		\$12,000	\$0
	VENT STACKS	20	EA	\$25.00	\$500	\$60.00	\$1,200		\$1,700	\$0
	PITCH POCKET	25	EA	\$25.00	\$625	\$25.00	\$625		\$1,250	\$0
	WALKWAY PADS	2,500	SF	\$2.00	\$5,000	\$4.00	\$10,000		\$15,000	\$0
	RAISE EXISTING GAS PIPE/ ELECTRICAL CONDU	1	LS	\$5,000			\$20,000		\$25,000	\$0
	RAISE EXISTING MECHANICAL UNIT	3	EA	\$5,000	\$15,000	\$15,000	\$45,000		\$60,000	\$0
	SEALANTS	1	LS	\$2,000			\$2,000		\$4,000	\$0
	MISC ROOF ACCESSORIES	1	LS	\$2,500			\$2,500		\$5,000	\$0
	ADHESIVES	1	LS	\$2,500			\$2,500		\$5,000	\$0
DIVISION SEVEN SUB-TOTAL								\$869,725		TOTAL: \$0
DIVISION FIFTEEN										
	ROOF DRAIN & SUMP	14	EA	\$400.00	\$5,600	\$300.00	\$4,200		\$9,800	\$0
	SECONDARY ROOF DRAIN & SUMP	14	EA	\$400.00	\$5,600	\$300.00	\$4,200		\$9,800	\$0
DIVISION FIFTEEN SUB-TOTAL								\$19,600		TOTAL: \$0
CONSTRUCTION COST PER SQUARE FOOT = \$37.35										
SUBTOTAL =								\$1,041,645		TOTAL: \$10,390
GEN. CONDITIONS								10.00%	\$104,165	\$831
OVERHEAD & PROFIT								15.00%	\$156,247	\$1,247
Subtotal									\$1,302,056	
CONSTRUCTION TOTAL =								\$1,302,056		TOTAL: \$12,468
A/E FEES =								\$61,109		\$488
ENVIRONMENTAL FEE								\$0		\$0
CONTINGENCY = .5%								\$65,103		\$65,103
GRAND TOTAL								\$1,428,268		TOTAL: \$78,058



SILVER PETRUCCELLI + ASSOCIATES

3190 WHITNEY AVENUE HAMDEN CT 06518
 311 STATE STREET NEW LONDON CT 06320
 203 230 9007 silverpetrucci.com

PROJECT NAME: _____

PARTIAL ROOF REPLACEMENT AT:

BEECHER ROAD ELEMENTARY SCHOOL

40 BEECHER ROAD.

WOODBIDGE, CONNECTICUT 06525

PROJECT LOCATION: _____



DRAWING LIST

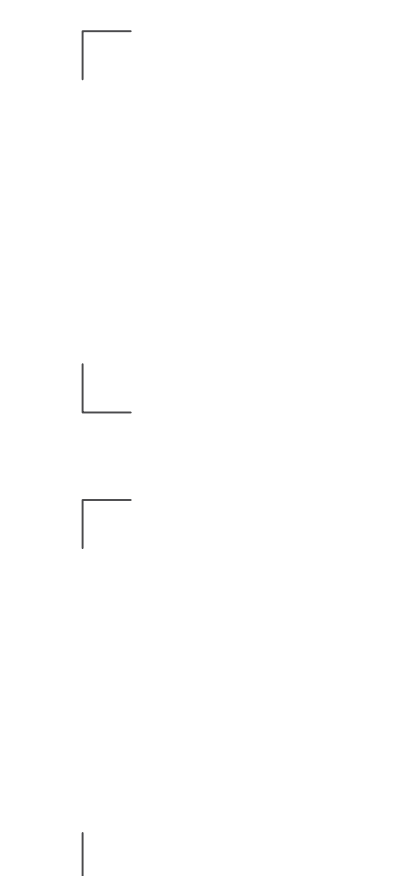
COVER SHEET

ARCHITECTURAL:

- C1 CODE INFORMATION
- A1 OVERALL ROOF PLAN
- A2 ROOF PLAN PART "1"
- A3 ROOF DETAILS

ARCHITECT

SILVER PETRUCELLI & ASSOC.
3190 WHITNEY AVENUE, HAMDEN CT 06518
311 STATE STREET NEW LONDON, CT 06320
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CONSTRUCTION DOCUMENT SUBMISSION: 10/19/2023

CODE INFORMATION

DATE OF ORIGINAL CONSTRUCTION _____ 1963
 DATE OF ADDITION _____

1. GROUP CLASSIFICATION (CHAPTER 3)
 (PRIMARY) _____ E-EDUCATIONAL
 (INCIDENTAL) _____ A3-ASSEMBLY

2. CONSTRUCTION TYPE (CHAPTER 6)
 MINIMUM TYPE REQUIRED _____ 2B
 ACTUAL TYPE PROVIDED (EXISTING) _____ --
 (NEW) _____ 2B

3. BUILDING HEIGHT (CHAPTER 5)
 ALLOWABLE HEIGHT (STORY/FEET) _____ 3/75'-0"
 ACTUAL HEIGHT (STORY/FEET) _____ 1/50'-0"
 (STORIES ABOVE GRADE) _____ 2

4. BUILDING AREA (CHAPTER 5)
 A) BUILDING AREA (FIRST)
 EXISTING CONSTRUCTION _____ 152,355 sq.ft.
 NEW CONSTRUCTION _____ 0 sq.ft.
 TOTAL FLOOR _____ 152,355 sq.ft.
 B) BUILDING AREA (SECOND)
 EXISTING CONSTRUCTION _____ 0 sq.ft.
 NEW CONSTRUCTION _____ 0 sq.ft.
 TOTAL FLOOR _____ 0 sq.ft.
 TOTAL (ALL FLOORS) _____ 152,355 sq.ft.

5. AREA MODIFICATIONS TO TABLE 503 (FOR EACH SEPARATE BUILDING AS DEFINED BY FIRE WALLS AND/OR EXTERIOR WALLS)
 NA

6. CASE 1 - SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1) (ALLOWABLE AREA 506.4)
 NA

7. CASE 2 - MIXED OCCUPANCY SEPARATED USES (302.3.2) (ALLOWABLE AREA 506.4)
 NA

8. FIRE-RESISTANCE RATED REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601, SEE CODE PLANS FOR SPECIFIC DESIGNATIONS)

1. STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS, TRUSSES	0	Hr(s)
2. BEARING WALLS: EXTERIOR (TABLE 602)	0/1	Hr(s)
INTERIOR	0	Hr(s)
3. NONBEARING WALLS & PARTITIONS EXTERIOR (TABLE 602)	0/1	Hr(s)
4. NONBEARING WALLS & PARTITIONS INTERIOR	0	Hr(s)
5. FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS & JOISTS)	0	Hr(s)
6. ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS & JOISTS)	0	Hr(s)

9. OCCUPANCY LOAD

DESIGN TOTAL FOR BASEMENT	NA
TOTAL EXIT CAPACITY FOR BASEMENT	NA
DESIGN TOTAL FOR FIRST FLOOR	NA
TOTAL EXIT CAPACITY FOR FIRST FLOOR	NA
DESIGN TOTAL FOR BUILDING	NA
TOTAL EXIT CAPACITY FOR BUILDING	NA

10. MODIFICATIONS

	APPROVED	NOT APPROVED
	<input type="checkbox"/>	<input type="checkbox"/>
	APPROVED	NOT APPROVED
	<input type="checkbox"/>	<input type="checkbox"/>
	APPROVED	NOT APPROVED
	<input type="checkbox"/>	<input type="checkbox"/>

11. ACCESSIBLE BUILDING DESIGNATED
 NON DESIGNATED

12. MINIMUM PLUMBING FIXTURE COUNT (I.P.C. CHAPTER 4) FOR EACH TYPE OF OCCUPANCY PER ENTIRE FACILITY

GROUP "A3" OCCUPANCY (DESIGN LOAD = NA)

	REQUIRED	PROVIDED
W/C MALE	NA	NA
W/C FEMALE	NA	NA
LAVS	NA	NA
D/F	NA	NA
W/C UNISEX	NA	NA
LAVS UNISEX	NA	NA

GROUP "E" OCCUPANCY (DESIGN LOAD = NA)

W/C	NA	NA
LAVS	NA	NA
D/F	NA	NA

(TOTAL DESIGN LOAD FOR ENTIRE FACILITY = NA)

13. ENTIRE BUILDINGS SPRINKLERED
 YES NO

14. THRESHOLD BUILDING CONDITIONS
 YES NO

15. CODES TO WHICH THIS PROJECT WAS DESIGNED

State Building Code	2021 IBC CTSBC/2022 AMEND.
State Mechanical Code	2017 ICC
State Plumbing Code	2015 IPC
State Energy Conservation Code	2015 IECC
State Electrical Code	2020 NFPA 70
State Health Code	MOST CURRENT
OSHA	MOST CURRENT
Section 504	CURRENT
ADA	MOST CURRENT
ANSI 117.1	MOST CURRENT

16. BUILDING AREAS FOR GRANT CALCULATION (ENTIRE FACILITY) (MEASURED TO INSIDE FACE OF EXTERIOR WALLS)

EXISTING UNRENOVATED CONSTRUCTION	0	SQ.FT.
EXISTING RENOVATED CONSTRUCTION	0	SQ.FT.
EXISTING BEING DEMOLISHED	0	SQ.FT.
TOTAL EXISTING CONSTRUCTION	34,860	SQ.FT.
TOTAL NEW CONSTRUCTION	0	SQ.FT.
TOTAL FACILITY	152,355	SQ.FT.

OPEN AREAS (NOT INCLUDED IN TOTAL FACILITY)
 NA _____ SQ.FT.

17. TOTAL CONSTRUCTED BUILDING AREA (OUTSIDE FACE OF EXTERIOR WALLS INCLUDING OPEN AREAS ABOVE)
 NA _____ SQ.FT.

FIRE SAFETY CODE DATA:

1. CLASSIFICATION OF OCCUPANCY _____ EDUCATIONAL/ASSEMBLY

2. MINIMUM CONSTRUCTION REQUIRED _____ 2B

ACTUAL CONSTRUCTION PROVIDED _____ 2A

3. NOTIFICATION /ALARMS (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002) YES NO _____

4. DETECTION (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002) YES NO _____

5. EXTINGUISHMENT REQUIREMENTS (NFPA 13, 2002) YES NO _____

MEANS OF EGRESS

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT IBC TABLE 1004.1.2

USE	FLOOR AREA IN S.F. PER OCCUPANT
1. CLASSROOMS	20 S.F. NET
2. SHOPS & VOCATIONAL	50 S.F. NET
3. ASSEMBLY WITHOUT FIXED SEATS	7 S.F. NET
TABLES AND CHAIRS	15 S.F. NET
4. PLATFORMS	15 S.F. NET
5. LIBRARY	
READING ROOMS	50 S.F. NET
STACK AREA	100 S.F. GROSS
6. LOCKER ROOMS	50 S.F. GROSS
7. MECHANICAL AREAS	300 S.F. GROSS
8. STORAGE	300 S.F. GROSS
9. BUSINESS AREAS	100 S.F. GROSS
10. Courtyards	15 S.F. NET

MAXIMUM LENGTH OF EXIT TRAVEL
 1. I.B.C. TABLE 1015.1 _____ 250 feet

SYMBOL LEGEND

- PLAN SECTION DETAIL OR ELEVATION-SHEET NUMBER
- INDICATES SLOPE DIRECTION OF SLOPED STRUCTURAL DECK.
- TAPERED INSULATION CRICKET SLOPED @ 1/2" PER FOOT
- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
- NOT IN CONTRACT SCOPE
- WALKWAY PADS. SEE CONSTRUCTION NOTE #2
- EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
- NEW ROOF DRAIN TO BE INSTALLED. SEE DETAIL A/A3
- SECONDARY OVERFLOW ROOF DRAIN. SEE DETAIL B/A3
- METAL SCUPPER W/ COLLECTION BOX. SEE DETAIL C/A3
- EXISTING VENT STACK. SEE DETAIL E/A3
- PITCH POCKET. SEE DETAIL F/A3
- ROOF HATCH. SEE DETAIL G & H/A3
- SKYLIGHT. SEE DETAIL J/A3
- NEW METAL STAIRCASE. SEE DETAIL K/A3
- EXISTING ROOF TOP FAN UNIT. SEE DETAIL L/A3
- EXISTING MECHANICAL UNIT. SEE DETAIL M/A3
- EXISTING ROOF TOP MECHANICAL UNIT. SEE DETAIL N/A3
- EXISTING ROOF TOP MECHANICAL UNIT. SEE CONSTRUCTION NOTE #3
- METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #4
- EXISTING ROOF TOP DUCT WORK. SEE CONSTRUCTION NOTE #5
- EXISTING GAS PIPING. SEE CONSTRUCTION NOTE #6
- EXISTING ELECTRICAL CONDUIT. SEE CONSTRUCTION NOTE #7
- ABANDONED METAL DUNNAGE. SEE DEMOLITION NOTE #5
- ABANDONED MECHANICAL CURB. SEE DEMOLITION NOTE #6

GENERAL NOTES

- ALL FLAT ROOFS TO RECEIVE 1/2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED "EXISTING".
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED. (P.T.)
- ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
- ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8". (VERTICAL OR HORIZONTAL)
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
- SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED. W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
- SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST CRANHOLE OUTSIDE OF BUILDING.
- ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/2" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONING.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
- SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
- ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
- NEW ROOF INSULATION TO BE A MINIMUM OF R-30 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
- ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

DEMOLITION NOTES

- REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" OF RIGID INSULATION DOWN TO EXISTING METAL DECK.
- REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" BASE LAYER OF POLYISO & 1/2" TAPERED INSULATION SYSTEM DOWN TO EXISTING METAL DECK.
- REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
- REMOVE EXISTING ROOF DRAINS & SUMP.
- REMOVE & DISPOSE OF EXISTING METAL DUNNAGE.
- REMOVE EXISTING ABANDONED MECHANICAL UNIT CURB. PATCH EXISTING METAL DECK TO MATCH EXISTING. SEE DETAIL Z/A3

CONSTRUCTION NOTES

- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL.
- WALKWAY PADS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION. COORDINATE & FINALIZE EXACT ROUTE W/ OWNER & ARCHITECT.
- EXISTING ROOFTOP MECHANICAL UNIT. RAISE ENTIRE UNIT MIN. 8" ABOVE HIGH POINT OF NEW ROOF INSULATION. EXTEND ALL DUCTWORK & ELECTRICAL WIRING. SEE DETAIL P/A3 & PROJECT MANUAL.
- NEW METAL DOWNSPOUT LOCATION. CONNECT TO EXIST UNDERGROUND PIPING, OR PROVIDE NEW CONCRETE SPLASH BLOCK IF NO UNDERGROUND PIPING EXISTS.
- EXISTING MECHANICAL UNIT DUCT WORK TO REMAIN. MODIFY ALL STAND-OFFS TO ACCOMMODATE NEW ROOF INSULATION HEIGHT. SEE DETAIL Q/A3 & PROJECT MANUAL.
- EXISTING GAS PIPING TO BE DISCONNECTED & PURGED. RAISE EXISTING GAS PIPING AS REQUIRED TO ACCOMMODATE NEW ROOFING INSULATION HEIGHTS. PROVIDE NEW PIPING EXTENSIONS, JOINTS, FITTINGS & RECONNECT TO EXISTING GAS MAIN. INSTALL ALL EXIST. & NEW GAS PIPING ON NEW PIPE CURBS 24" O.C. PRIME & PAINT ALL EXISTING & NEW GAS PIPING. SEE DETAIL W/A3 & PROJECT MANUAL.
- EXISTING ELECTRICAL CONDUIT TO BE DISCONNECTED & RAISED TO ACCOMMODATE NEW ROOF INSULATION HEIGHTS. REMOVE WIRE/CONDUIT & DISPOSE OF. INSTALL NEW CONDUIT & WIRING IN EXIST LOCATIONS & REPLACE ALL EXISTING JUNCTION BOXES TO MATCH EXISTING. EXTEND CONDUIT & WIRING AS REQUIRED TO ACCOMMODATE NEW ROOF HEIGHTS & ADD NEW JUNCTION BOXES AS REQUIRED. SEE DETAIL W/A3 & PROJECT MANUAL.

ROOF AREAS

ROOF "A"	6,400 SF.
ROOF "B"	6,960 SF.
ROOF "C"	21,500 SF.

TOTAL ROOF AREAS: 34,860 SF.
 THIS AREA IS APPROXIMATE-V.I.F.
 IECC CODE REQUIREMENT R-VALUE MIN. R-30
 CONNECTICUT ZONE 2B
 CBSC REQUIREMENT : R-30 -U.0333

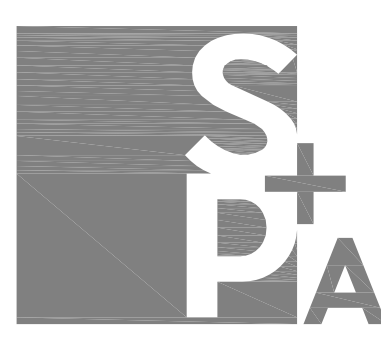
ROOF ASSEMBLY

OUTSIDE AIR	0.17
ROOF MEMBRANE	0.33
COVERBOARD	2.20
5" POLYISO INSUL.	29.7
EXISTING DECK	1.23
INSIDE AIR	0.61
R-VALUE TOTAL	34.24

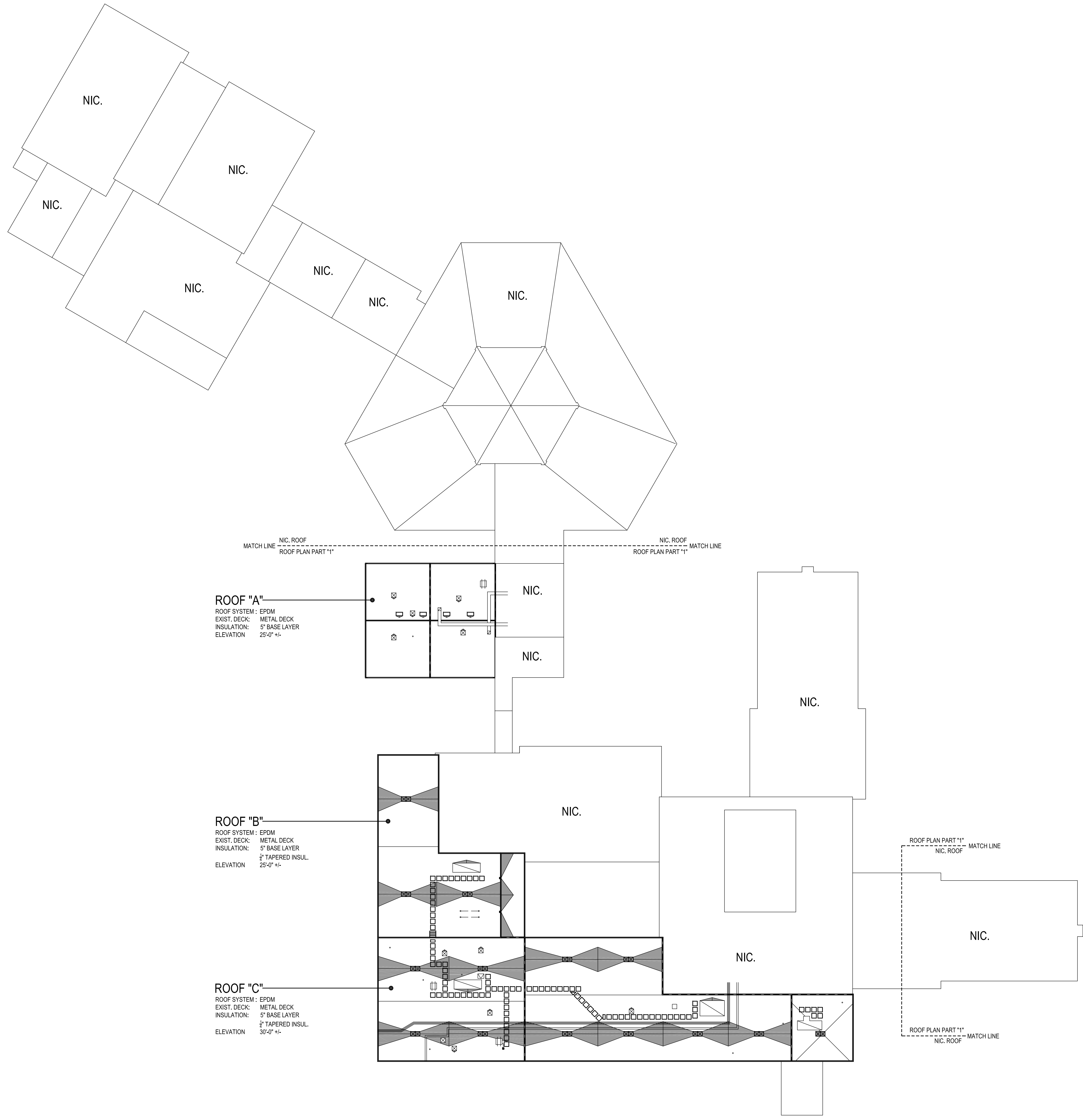
CODE INFORMATION

USE GROUP : E
 CONSTRUCTION CLASS: 2B
 RISK CATEGORY #5
 ULTIMATE DESIGN WIND SPEED: 135 MPH
 NOMINAL DESIGN WIND SPEED: 105 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION. WIND UPLIFT REQUIREMENT OF 160 FOR FIELD, 175 FOR PERIMETER AND 1110 FOR CORNERS. IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.



Revision	Description	Date	Revised By



ROOF "A"
 ROOF SYSTEM: EPDM
 EXIST. DECK: METAL DECK
 INSULATION: 5" BASE LAYER
 ELEVATION: 25'-0" +/-

ROOF "B"
 ROOF SYSTEM: EPDM
 EXIST. DECK: METAL DECK
 INSULATION: 5" BASE LAYER
 1/2" TAPERED INSUL.
 ELEVATION: 25'-0" +/-

ROOF "C"
 ROOF SYSTEM: EPDM
 EXIST. DECK: METAL DECK
 INSULATION: 5" BASE LAYER
 1/2" TAPERED INSUL.
 ELEVATION: 30'-0" +/-

A1 OVERALL ROOF PLAN
 1/32"=1'-0"

SYMBOL LEGEND	
	PLAN SECTION DETAIL OR ELEVATION-SHEET NUMBER
	INDICATES SLOPE DIRECTION OF SLOPED STRUCTURAL DECK.
	TAPERED INSULATION CRICKET SLOPED @ 1/2" PER FOOT
	INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
	NIC. - NOT IN CONTRACT SCOPE
	WALKWAY PADS, SEE CONSTRUCTION NOTE #2
	ERD. - EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
	NRD. - NEW ROOF DRAIN TO BE INSTALLED. SEE DETAIL A/A3
	SRD. - SECONDARY OVERFLOW ROOF DRAIN. SEE DETAIL B/A3
	CB. - METAL SCUPPER W/ COLLECTION BOX. SEE DETAIL C/A3
	VS. - EXISTING VENT STACK. SEE DETAIL E/A3
	PP. - PITCH POCKET. SEE DETAIL F/A3
	RH. - ROOF HATCH. SEE DETAIL G & H/A3
	SK. - SKYLIGHT. SEE DETAIL J/A3
	MS. - NEW METAL STAIRCASE. SEE DETAIL K/A3
	FU. - EXISTING ROOF TOP FAN UNIT. SEE DETAIL L/A3
	MU. - EXISTING MECHANICAL UNIT. SEE DETAIL M/A3
	RTU-1. - EXISTING ROOF TOP MECHANICAL UNIT. SEE DETAIL N/A3
	RTU-2. - EXISTING ROOF TOP MECHANICAL UNIT. SEE CONSTRUCTION NOTE #3
	DS. - METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #4
	DW. - EXISTING ROOF TOP DUCT WORK. SEE CONSTRUCTION NOTE #5
	GP. - EXISTING GAS PIPING. SEE CONSTRUCTION NOTE #6
	EC. - EXISTING ELECTRICAL CONDUIT. SEE CONSTRUCTION NOTE #7
	AD. - ABANDONED METAL DUNNAGE. SEE DEMOLITION NOTE #5
	AM. - ABANDONED MECHANICAL CURBS. SEE DEMOLITION NOTE #6

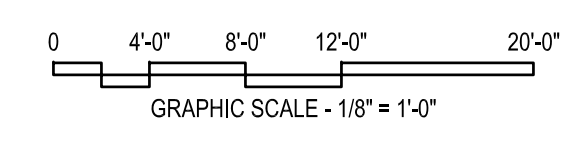
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 - ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
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 - CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/IN ADDITIONAL COST TO OWNER.
 - SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED. W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/IN ADDITIONAL COST TO THE OWNER.
 - SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
 - ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/2" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.
 - CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
 - SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
 - ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
 - NEW ROOF INSULATION TO BE A MINIMUM OF R-30 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
 - ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

- DEMOLITION NOTES** (X) ->
- REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" OF RIGID INSULATION DOWN TO EXISTING METAL DECK.
 - REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" BASE LAYER OF POLYISO & 1/2" TAPERED INSULATION SYSTEM DOWN TO EXISTING METAL DECK.
 - REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
 - REMOVE EXISTING ROOF DRAINS & SUMP.
 - REMOVE & DISPOSE OF EXISTING METAL DUNNAGE.
 - REMOVE EXISTING ABANDONED MECHANICAL UNIT CURB. PATCH EXISTING METAL DECK TO MATCH EXISTING. SEE DETAIL Z/A3

- CONSTRUCTION NOTES** (X) ->
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL.
 - WALKWAY PADS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION. COORDINATE & FINALIZE EXACT ROUTE W/ OWNER & ARCHITECT.
 - EXISTING ROOFTOP MECHANICAL UNIT. RAISE ENTIRE UNIT MIN. 8" ABOVE HIGH POINT OF NEW ROOF INSULATION. EXTEND ALL DUCTWORK & ELECTRICAL WIRING. SEE DETAIL P/A3 & PROJECT MANUAL.
 - NEW METAL DOWNSPOUT LOCATION. CONNECT TO EXIST UNDERGROUND PIPING, OR PROVIDE NEW CONCRETE SPLASH BLOCK IF NO UNDERGROUND PIPING EXISTS.
 - EXISTING MECHANICAL UNIT DUCT WORK TO REMAIN. MODIFY ALL STAND-OFFS TO ACCOMMODATE NEW ROOF INSULATION HEIGHT. SEE DETAIL Q/A3 & PROJECT MANUAL.
 - EXISTING GAS PIPING TO BE DISCONNECTED & PURGED. RAISE EXISTING GAS PIPING AS REQUIRED TO ACCOMMODATE NEW ROOFING INSULATION HEIGHTS. PROVIDE NEW PIPING EXTENSIONS, JOINTS, FITTINGS & RECONNECT TO EXISTING GAS MAIN. INSTALL ALL EXIST. & NEW GAS PIPING ON NEW PIPE CURBS 24" O.C. PRIME & PAINT ALL EXISTING & NEW GAS PIPING. SEE DETAIL W/A3 & PROJECT MANUAL.
 - EXISTING ELECTRICAL CONDUIT TO BE DISCONNECTED & RAISED TO ACCOMMODATE NEW ROOF INSULATION HEIGHTS. REMOVE WIRE/CONDUIT & DISPOSE OF. INSTALL NEW CONDUIT & WIRING IN EXIST LOCATIONS & REPLACE ALL EXISTING JUNCTION BOXES TO MATCH EXISTING. EXTEND CONDUIT & WIRING AS REQUIRED TO ACCOMMODATE NEW ROOF HEIGHTS & ADD NEW JUNCTION BOXES AS REQUIRED. SEE DETAIL W/A3 & PROJECT MANUAL.

ROOF AREAS	ROOF ASSEMBLY
ROOF "A" 6,450 SF.	OUTSIDE AIR 0.17
ROOF "B" 6,960 SF.	ROOF MEMBRANE 0.33
ROOF "C" 21,500 SF.	COVERBOARD 2.20
	5" POLYISO INSUL. 28.7
	EXISTING DECK 1.23
	INSIDE AIR 0.61
TOTAL ROOF AREAS: 34,910 SF. THIS AREA IS APPROXIMATE - V.I.F. ICC CODE REQUIREMENT R-VALUE MIN. R-30 CONNECTICUT ZONE 2B CBCS REQUIREMENT : R-30-UJ.0333	R-VALUE TOTAL 34.24

CODE INFORMATION
 USE GROUP : E
 CONSTRUCTION CLASS: 2B
 RISK CATEGORY #3
 ULTIMATE DESIGN WIND SPEED: 135 MPH
 NOMINAL DESIGN WIND SPEED: 105 MPH
 FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM) : ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 160 FOR FIELD, 175 FOR PERIMETER AND 1-110 FOR CORNERS. IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.



Project Title:
 PARTIAL ROOF REPLACEMENT AT:
BEECHER ROAD ELEMENTARY SCHOOL
 40 BEECHER ROAD.
 WOODBRIDGE, CONNECTICUT 06525

SILVER PETRUCELLI + ASSOCIATES
 3190 WHITNEY AVENUE HAMDEN CT 06518
 311 STATE STREET NEW LONDON CT 06320
 203 230 9007 silverpetrucelli.com

Revision	Description	Date	Revised By

Project Title:
OVERALL ROOF PLAN

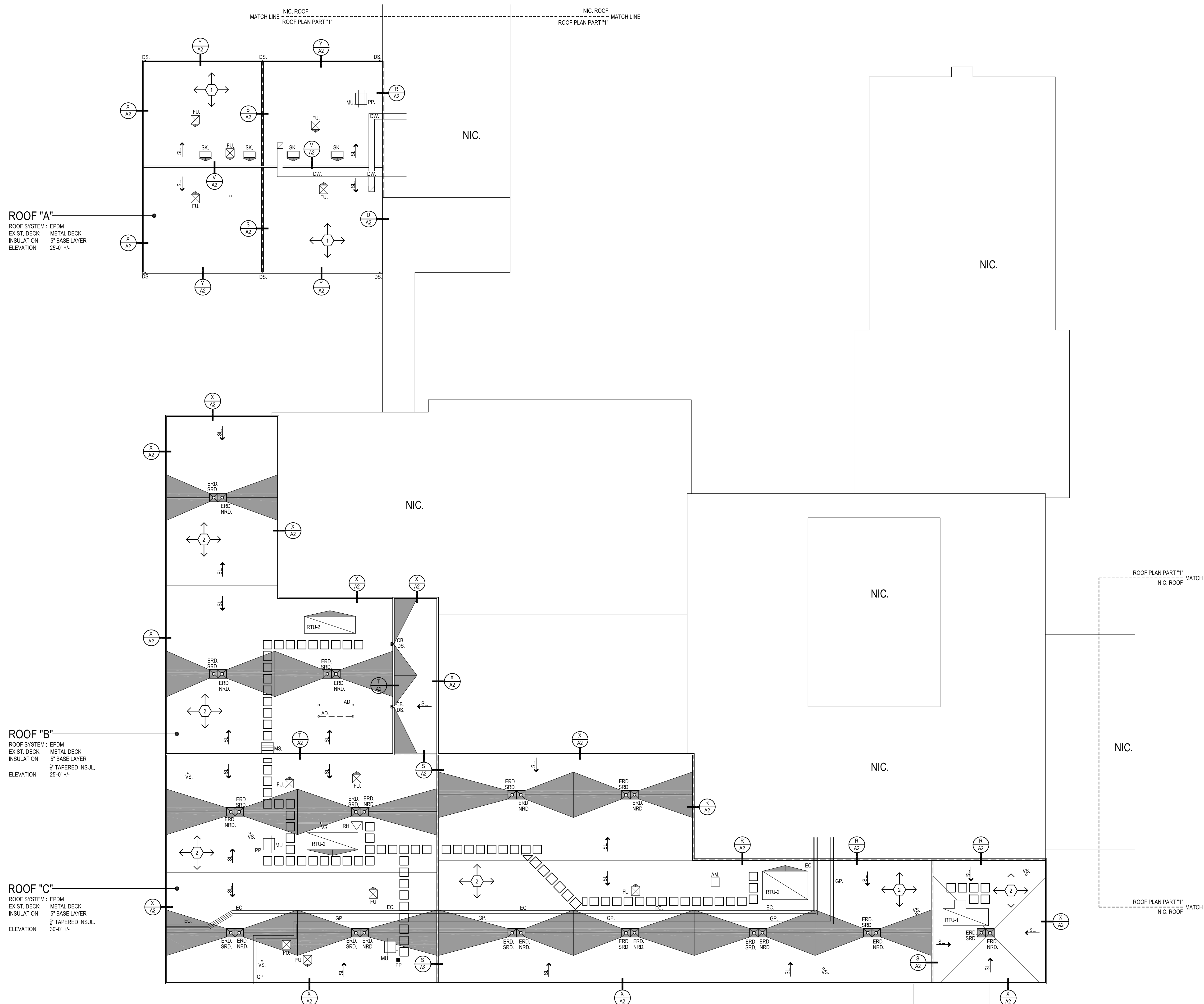
Date:
 10/19/2023

Scale:
 1/32"=1'-0"

Drawn By:
 K.LINSLEY

Project Number:
 23.108

Drawing Number:
A1



ROOF "A"
 ROOF SYSTEM: EPDM
 EXIST. DECK: METAL DECK
 INSULATION: 5" BASE LAYER
 ELEVATION: 25'-0" +/-

ROOF "B"
 ROOF SYSTEM: EPDM
 EXIST. DECK: METAL DECK
 INSULATION: 5" BASE LAYER
 1/2" TAPERED INSUL.
 ELEVATION: 25'-0" +/-

ROOF "C"
 ROOF SYSTEM: EPDM
 EXIST. DECK: METAL DECK
 INSULATION: 5" BASE LAYER
 1/2" TAPERED INSUL.
 ELEVATION: 30'-0" +/-

A2 ROOF PLAN PART "1"
 1/16"=1'-0"

SYMBOL LEGEND	
	PLAN SECTION DETAIL OR ELEVATION-SHEET NUMBER
	INDICATES SLOPE DIRECTION OF SLOPED STRUCTURAL DECK.
	TAPERED INSULATION CRICKET SLOPED @ 1/2" PER FOOT
	INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
	NOT IN CONTRACT SCOPE
	WALKWAY PADS, SEE CONSTRUCTION NOTE #2
	EXISTING ROOF DRAIN TO BE REMOVED, SEE DEMOLITION NOTES.
	NEW ROOF DRAIN TO BE INSTALLED, SEE DETAIL A/A3
	SECONDARY OVERFLOW ROOF DRAIN, SEE DETAIL B/A3
	METAL SCUPPER W/ COLLECTION BOX, SEE DETAIL C/A3
	EXISTING VENT STACK, SEE DETAIL E/A3
	PITCH POCKET, SEE DETAIL F/A3
	ROOF HATCH, SEE DETAIL G & H/A3
	SKYLIGHT, SEE DETAIL J/A3
	NEW METAL STAIRCASE, SEE DETAIL K/A3
	EXISTING ROOF TOP FAN UNIT, SEE DETAIL L/A3
	EXISTING MECHANICAL UNIT, SEE DETAIL M/A3
	EXISTING ROOF TOP MECHANICAL UNIT, SEE DETAIL N/A3
	EXISTING ROOF TOP MECHANICAL UNIT, SEE CONSTRUCTION NOTE #3
	METAL DOWNSPOUT, SEE CONSTRUCTION NOTE #4
	EXISTING ROOF TOP DUCT WORK, SEE CONSTRUCTION NOTE #5
	EXISTING GAS PIPING, SEE CONSTRUCTION NOTE #6
	EXISTING ELECTRICAL CONDUIT, SEE CONSTRUCTION NOTE #7
	ABANDONED METAL DUNNAGE, SEE DEMOLITION NOTE #5
	ABANDONED MECHANICAL CURB, SEE DEMOLITION NOTE #6

- GENERAL NOTES**
- ALL FLAT ROOFS TO RECEIVE 1/2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
 - FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
 - ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED "EXISTING".
 - ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED, (P.T.)
 - ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
 - ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8", (VERTICAL OR HORIZONTAL)
 - CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/ A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE, NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
 - CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/ ADDITIONAL COST TO OWNER.
 - SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/ LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
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- DEMOLITION NOTES** (X) →
- REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" OF RIGID INSULATION DOWN TO EXISTING METAL DECK.
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 - REMOVE EXISTING ROOF DRAINS & SUMP.
 - REMOVE & DISPOSE OF EXISTING METAL DUNNAGE.
 - REMOVE EXISTING ABANDONED MECHANICAL UNIT CURB, PATCH EXISTING METAL DECK TO MATCH EXISTING, SEE DETAIL Z/A3

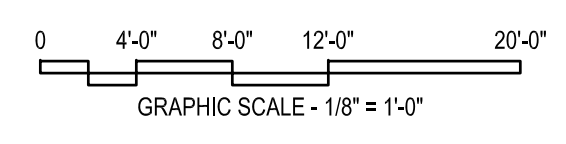
- CONSTRUCTION NOTES** (X) →
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT, SEE PROJECT MANUAL.
 - WALKWAY PADS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION, SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION, COORDINATE & FINALIZE EXACT ROUTE W/ OWNER & ARCHITECT.
 - EXISTING ROOFTOP MECHANICAL UNIT, RAISE ENTIRE UNIT MIN. 8" ABOVE HIGH POINT OF NEW ROOF INSULATION, EXTEND ALL DUCTWORK & ELECTRICAL WIRING, SEE DETAIL P/A3 & PROJECT MANUAL.
 - NEW METAL DOWNSPOUT LOCATION, CONNECT TO EXIST UNDERGROUND PIPING, OR PROVIDE NEW CONCRETE SPLASH BLOCK IF NO UNDERGROUND PIPING EXISTS.
 - EXISTING MECHANICAL UNIT DUCT WORK TO REMAIN, MODIFY ALL STAND-OFFS TO ACCOMMODATE NEW ROOF INSULATION HEIGHT, SEE DETAIL Q/A3 & PROJECT MANUAL.
 - EXISTING GAS PIPING TO BE DISCONNECTED & PURGED, RAISE EXISTING GAS PIPING AS REQUIRED TO ACCOMMODATE NEW ROOFING INSULATION HEIGHTS, PROVIDE NEW PIPING EXTENSIONS, JOINTS, FITTINGS & RECONNECT TO EXISTING GAS MAIN, INSTALL ALL EXIST. & NEW GAS PIPING ON NEW PIPE CURBS 24" O.C. PRIME & PAINT ALL EXISTING & NEW GAS PIPING, SEE DETAIL W/A3 & PROJECT MANUAL.
 - EXISTING ELECTRICAL CONDUIT TO BE DISCONNECTED & RAISED TO ACCOMMODATE NEW ROOF INSULATION HEIGHTS, REMOVE WIRE/CONDUIT & DISPOSE OF, INSTALL NEW CONDUIT & WIRING IN EXIST LOCATIONS & REPLACE ALL EXISTING JUNCTION BOXES TO MATCH EXISTING, EXTEND CONDUIT & WIRING AS REQUIRED TO ACCOMMODATE NEW ROOF HEIGHTS & ADD NEW JUNCTION BOXES AS REQUIRED, SEE DETAIL W/A3 & PROJECT MANUAL.

ROOF AREAS	ROOF ASSEMBLY
ROOF "A" 6,430 SF.	OUTSIDE AIR 0.17
ROOF "B" 6,960 SF.	ROOF MEMBRANE 0.33
ROOF "C" 21,500 SF.	COVERBOARD 2.20
	5" POLYISO INSUL. 28.7
	EXISTING DECK 1.23
	INSIDE AIR 0.61
TOTAL ROOF AREAS: 34,890 SF. THIS AREA IS APPROXIMATE - V.I.F. IECC CODE REQUIREMENT R-VALUE MIN. R-30 CONNECTICUT ZONE 2B CBCS REQUIREMENT : R-30-U.0333	R-VALUE TOTAL 34.24

CODE INFORMATION

USE GROUP : E
 CONSTRUCTION CLASS: 2B
 RISK CATEGORY #3
 ULTIMATE DESIGN WIND SPEED: 135 MPH
 NOMINAL DESIGN WIND SPEED: 105 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 140 FOR FIELD, 175 FOR PERIMETER AND 140 FOR CORNERS, IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.



Project Title:
**PARTIAL ROOF REPLACEMENT AT:
 BEECHER ROAD ELEMENTARY SCHOOL**
 40 BEECHER ROAD,
 WOODBRIDGE, CONNECTICUT 06525

SILVER PETRUCELLI + ASSOCIATES

3190 WHITNEY AVENUE HAMDEN CT 06518
 311 STATE STREET NEW LONDON CT 06320
 203 230 9007 silverpetrucelli.com

Revision	Description	Date	Revised By

Drawing Title:
ROOF PLAN PART "1"

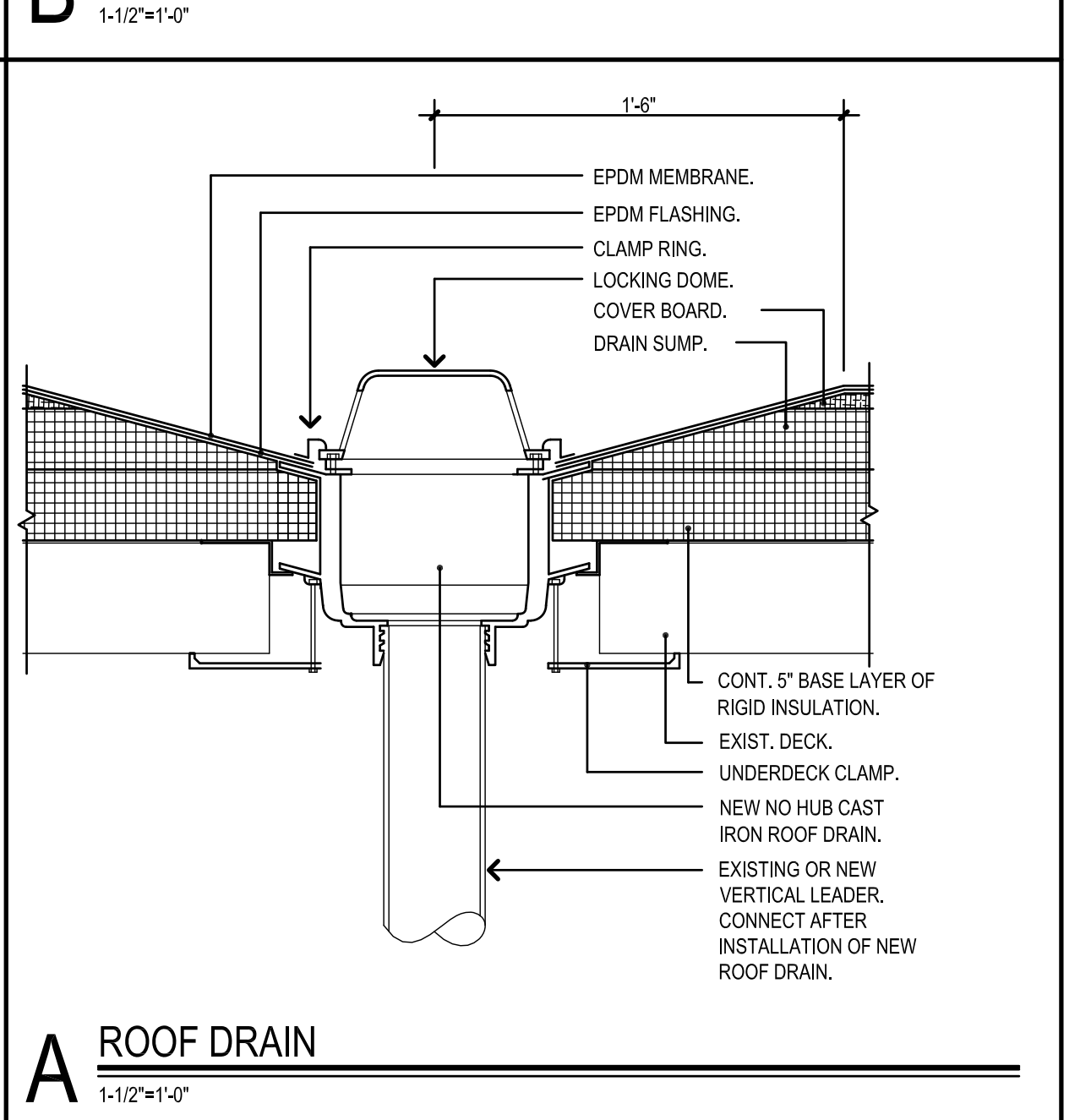
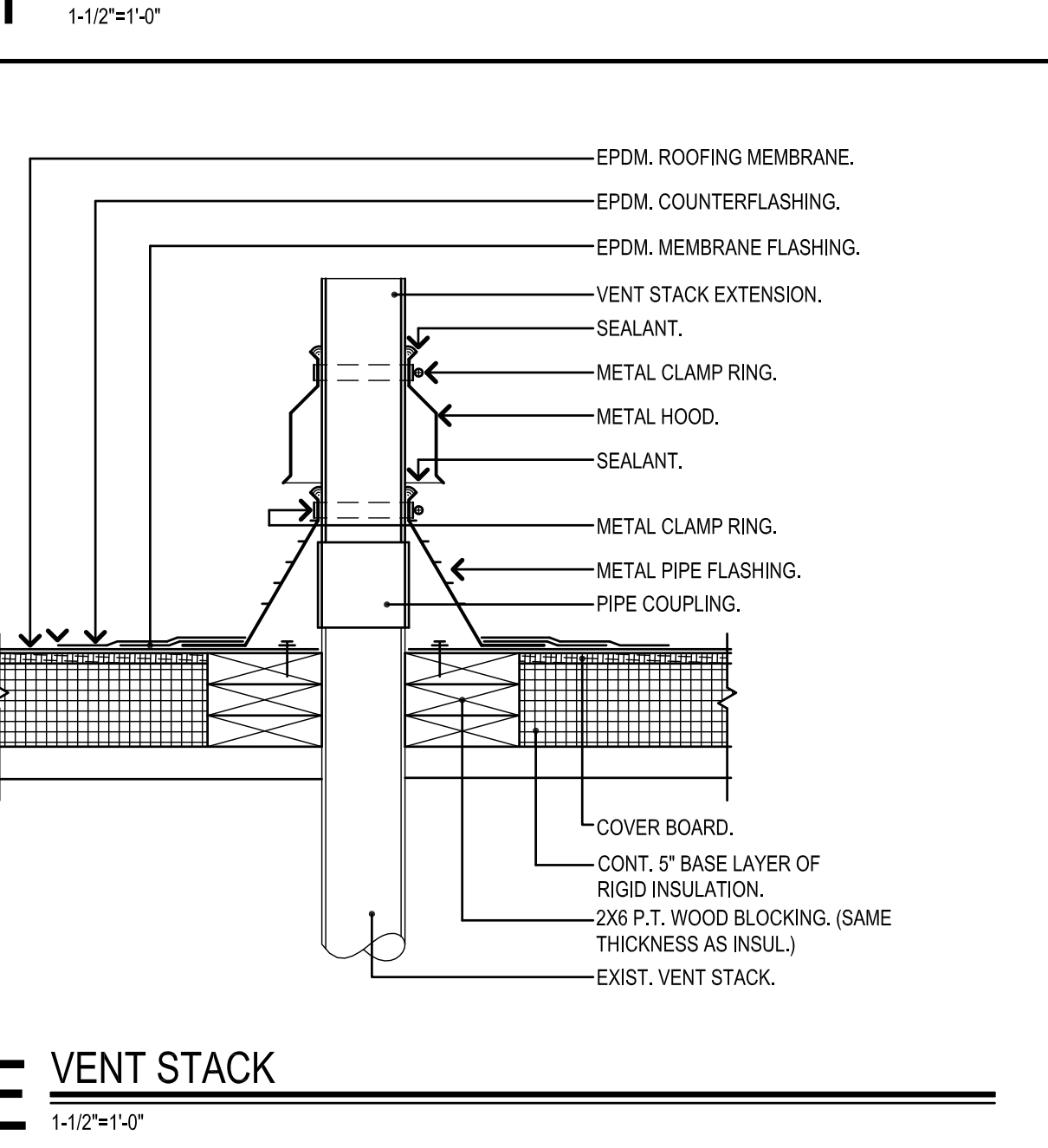
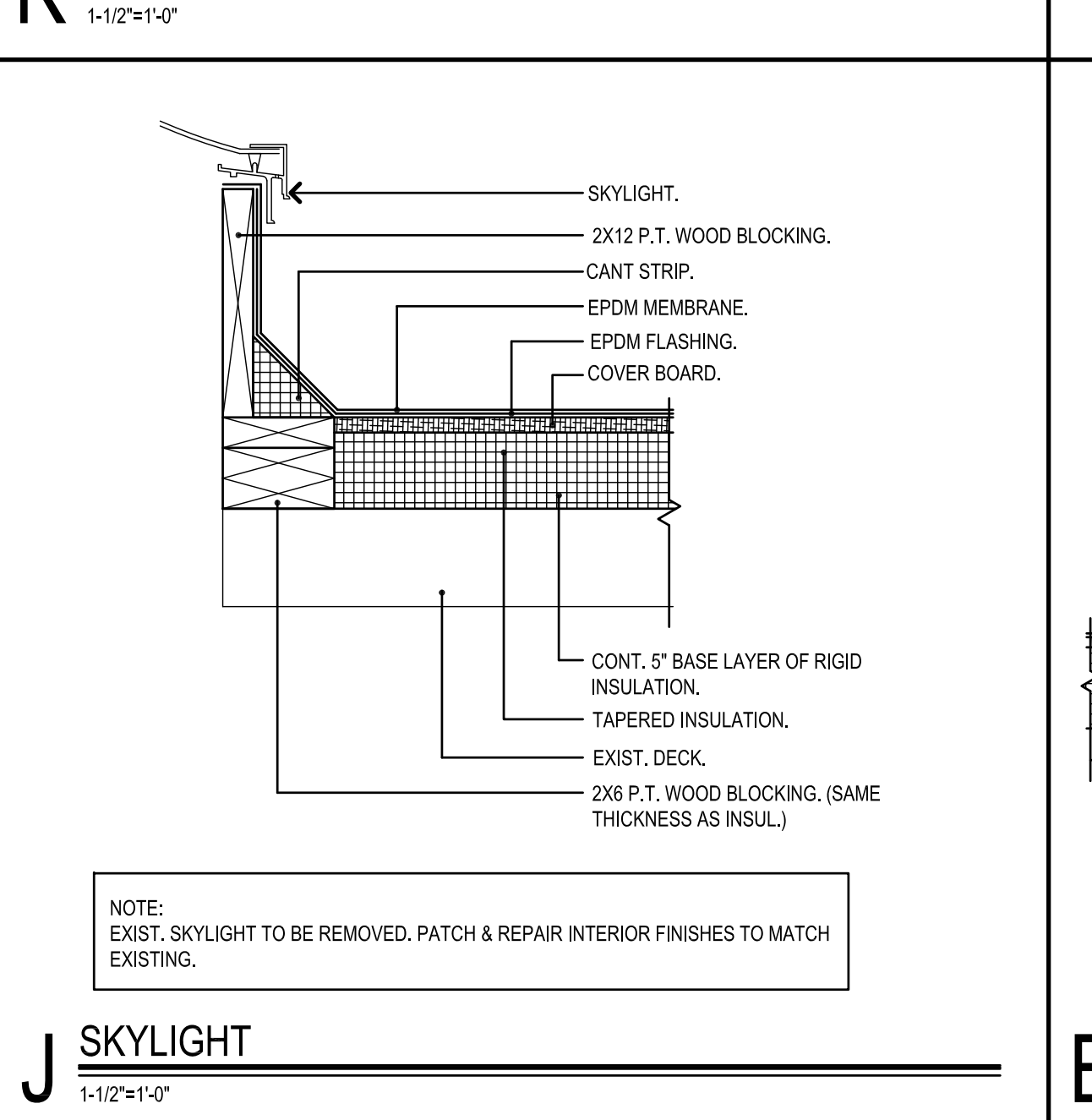
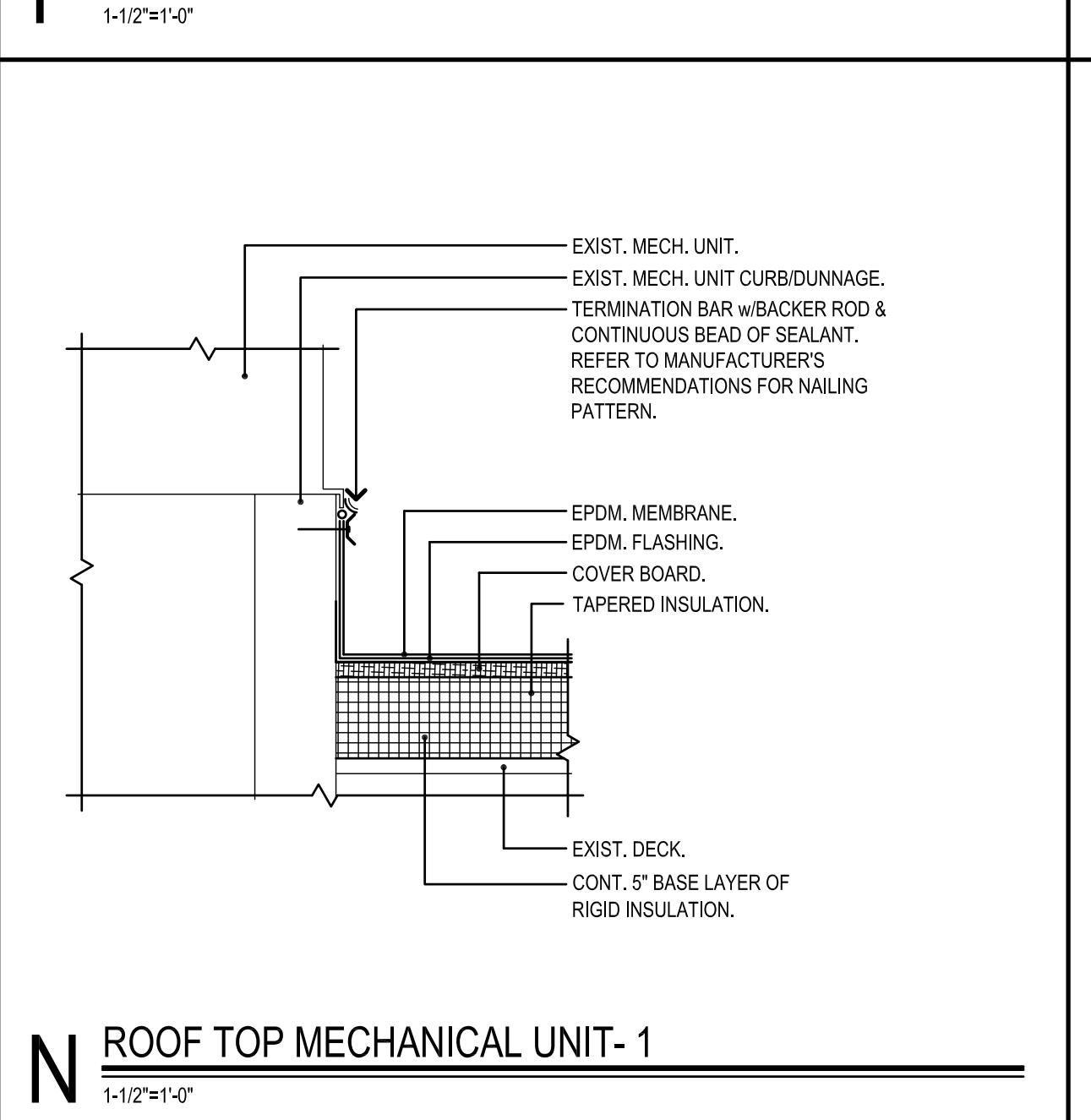
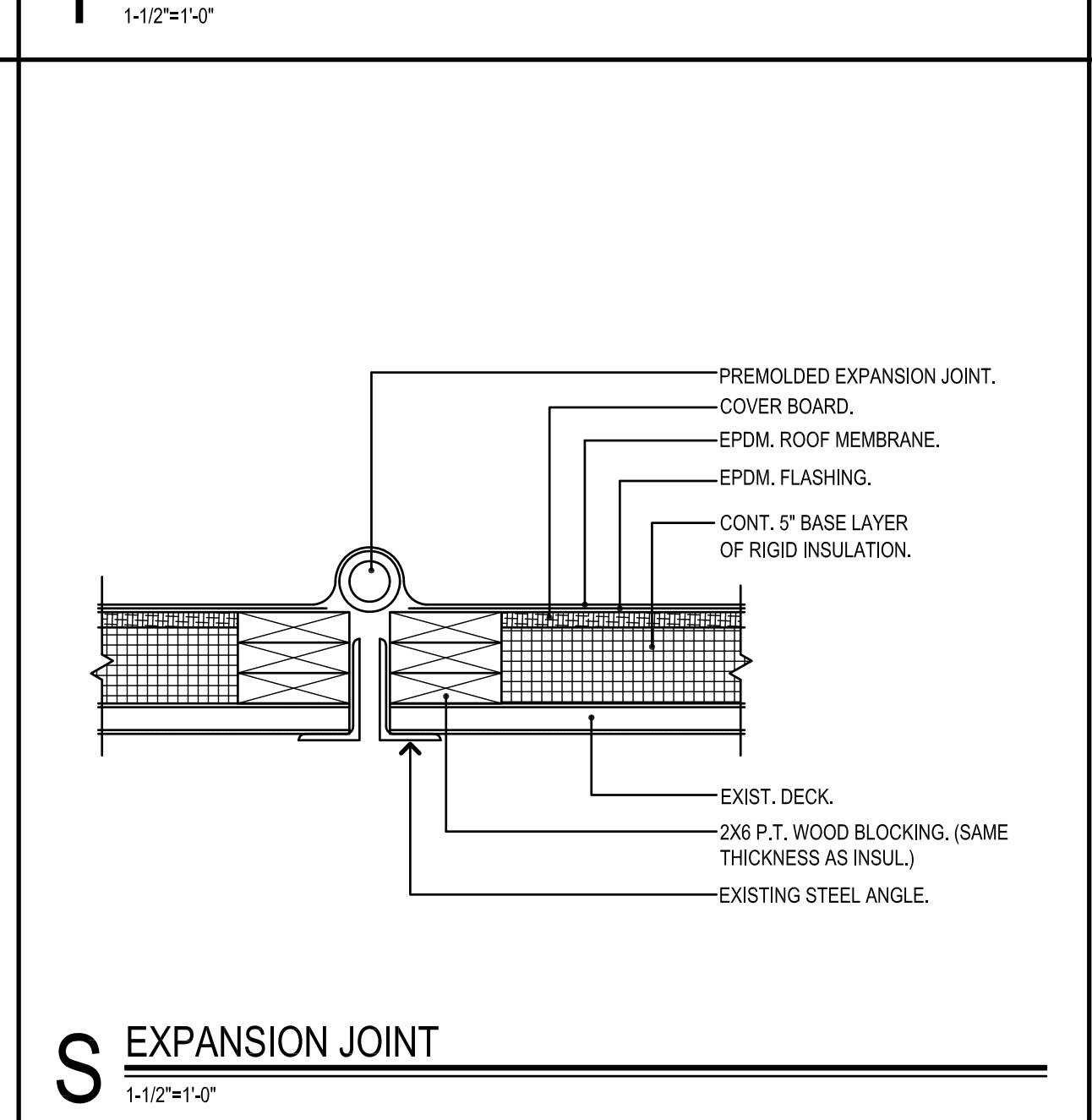
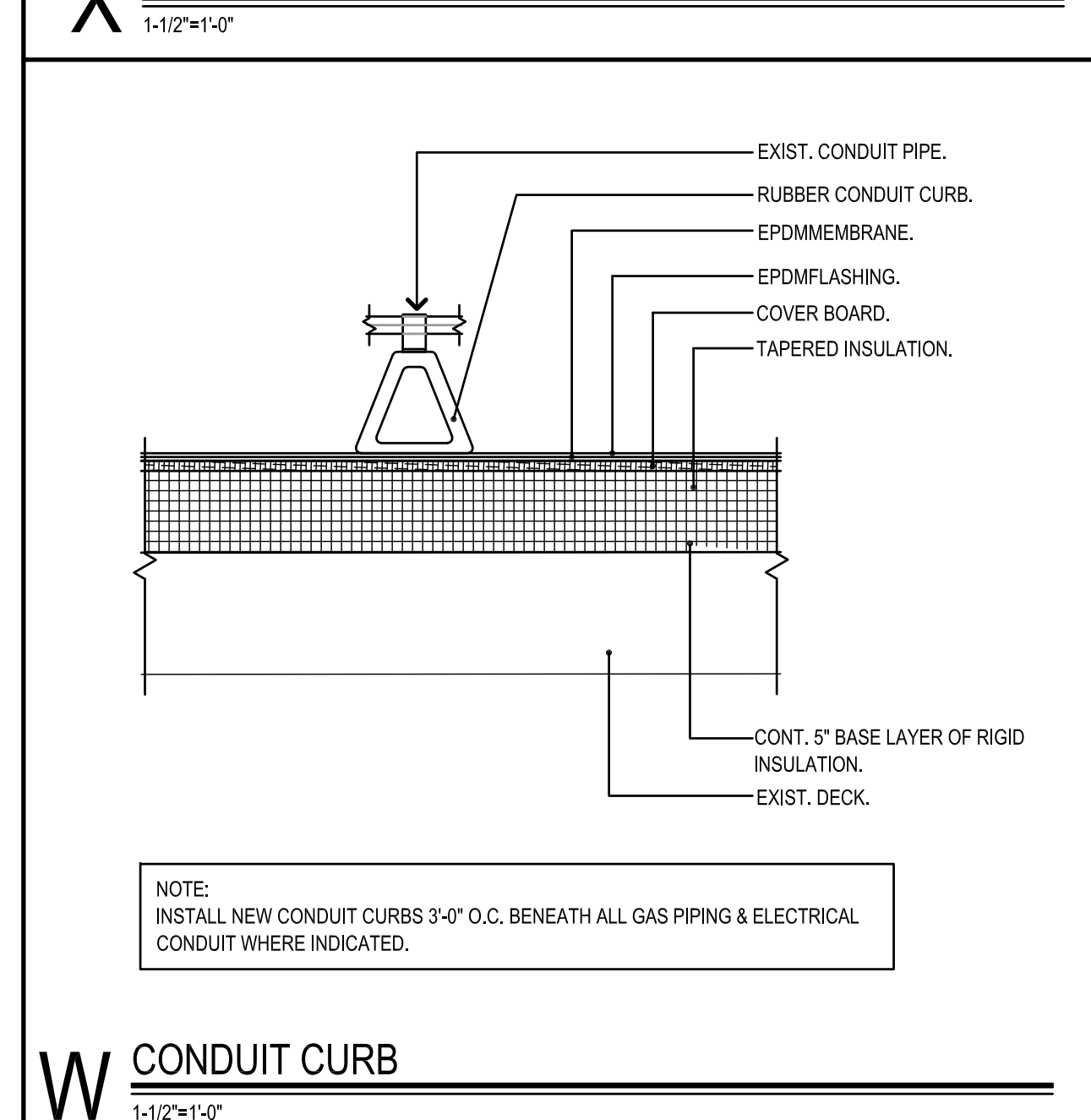
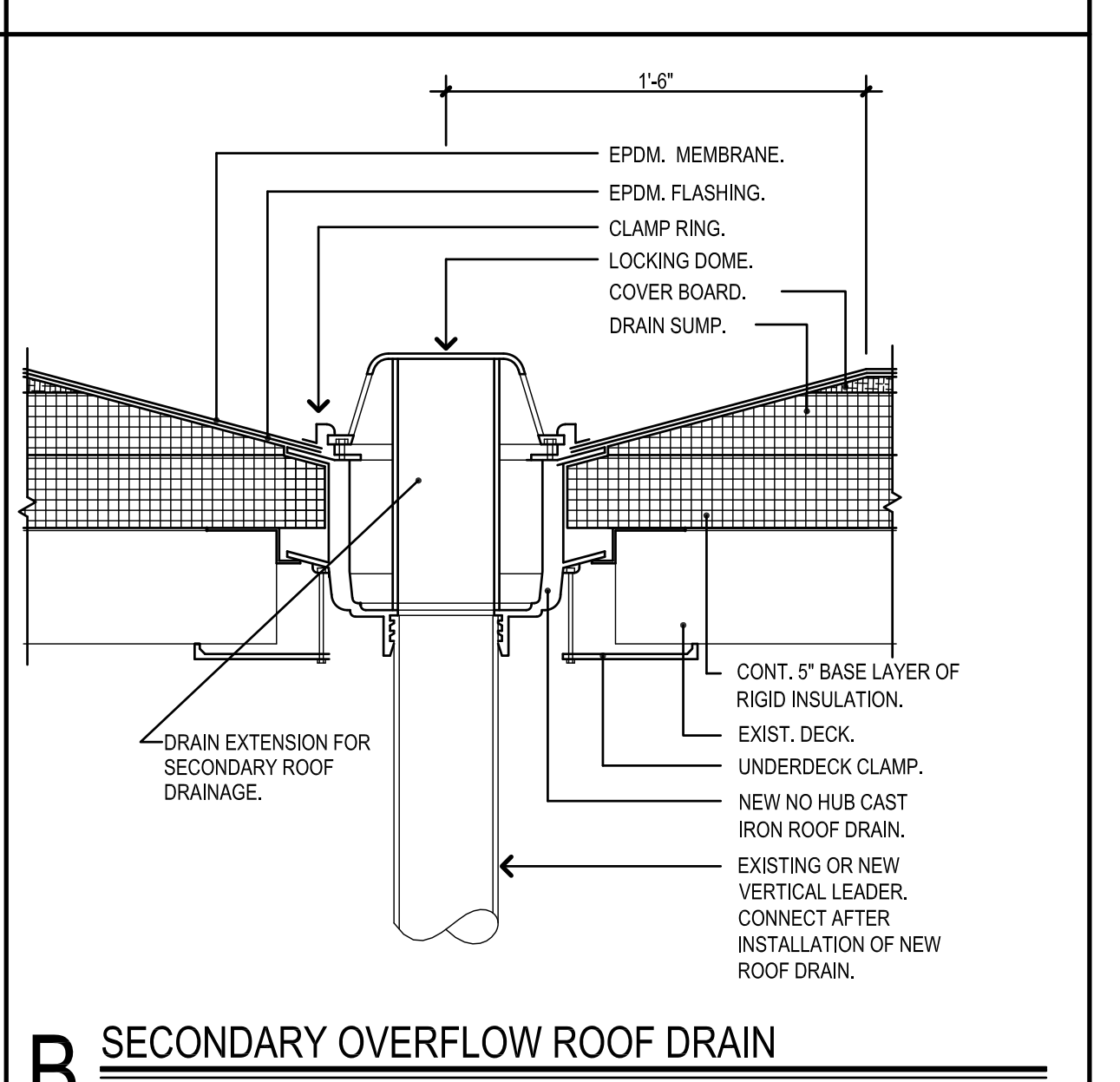
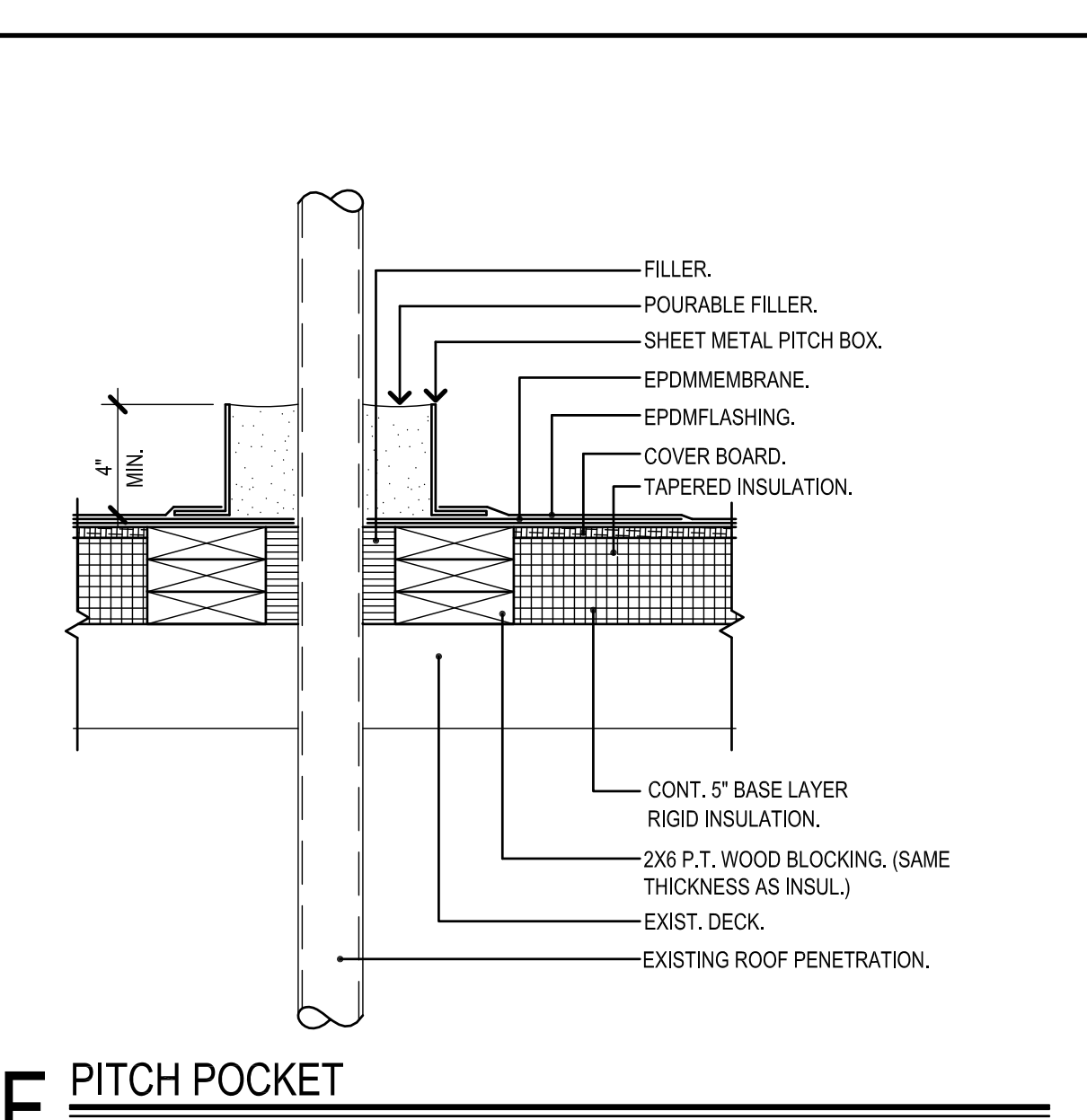
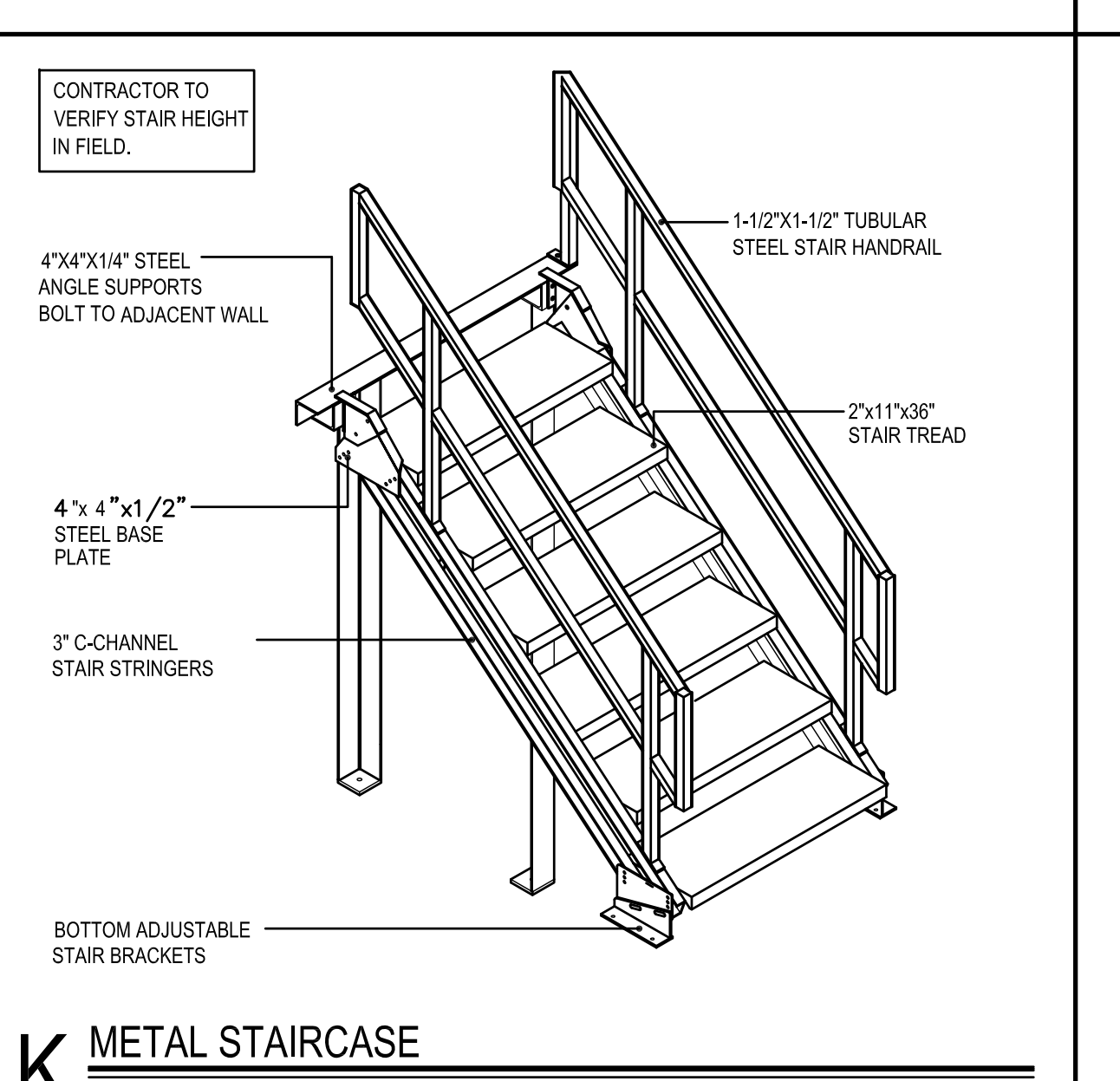
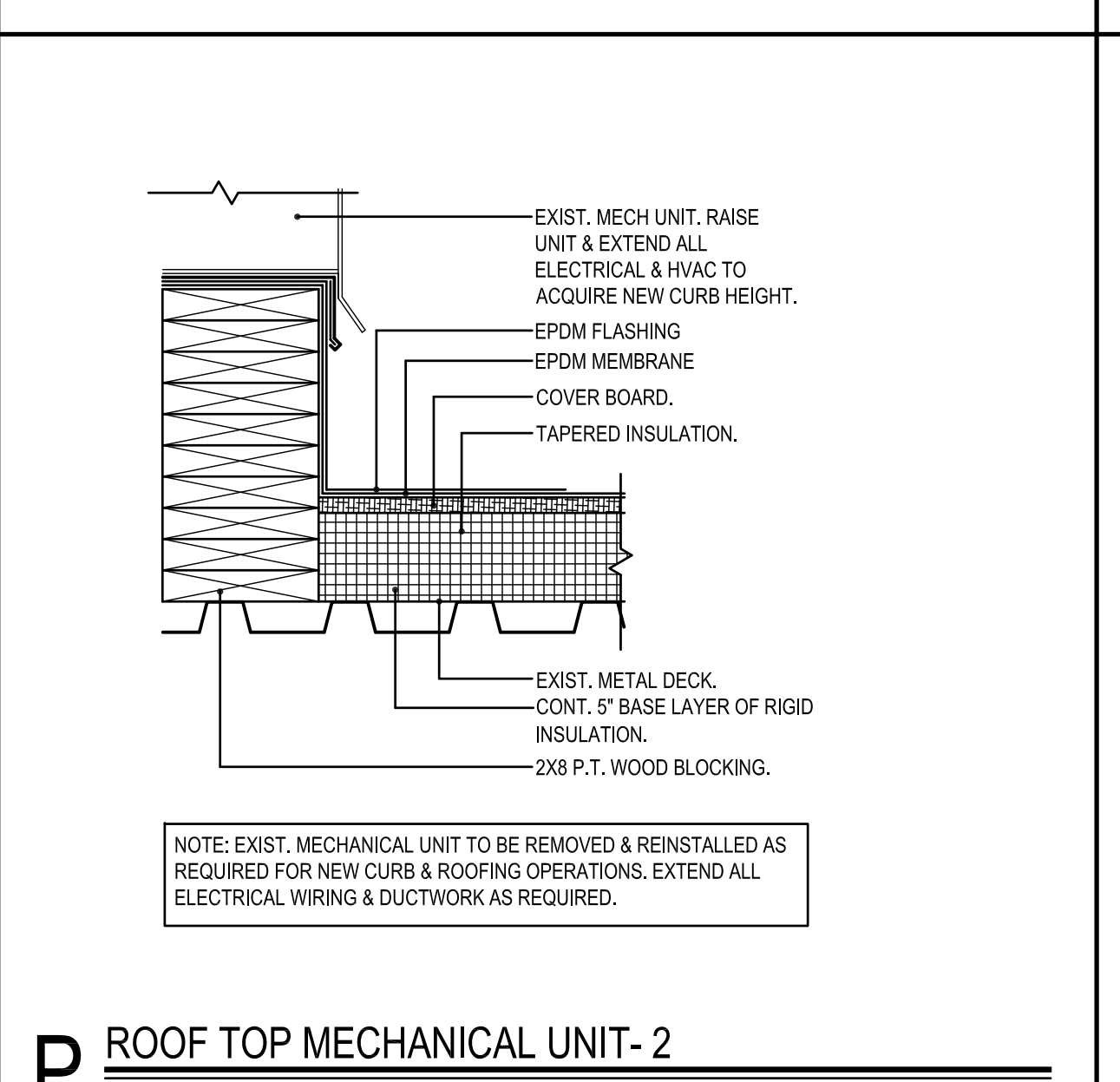
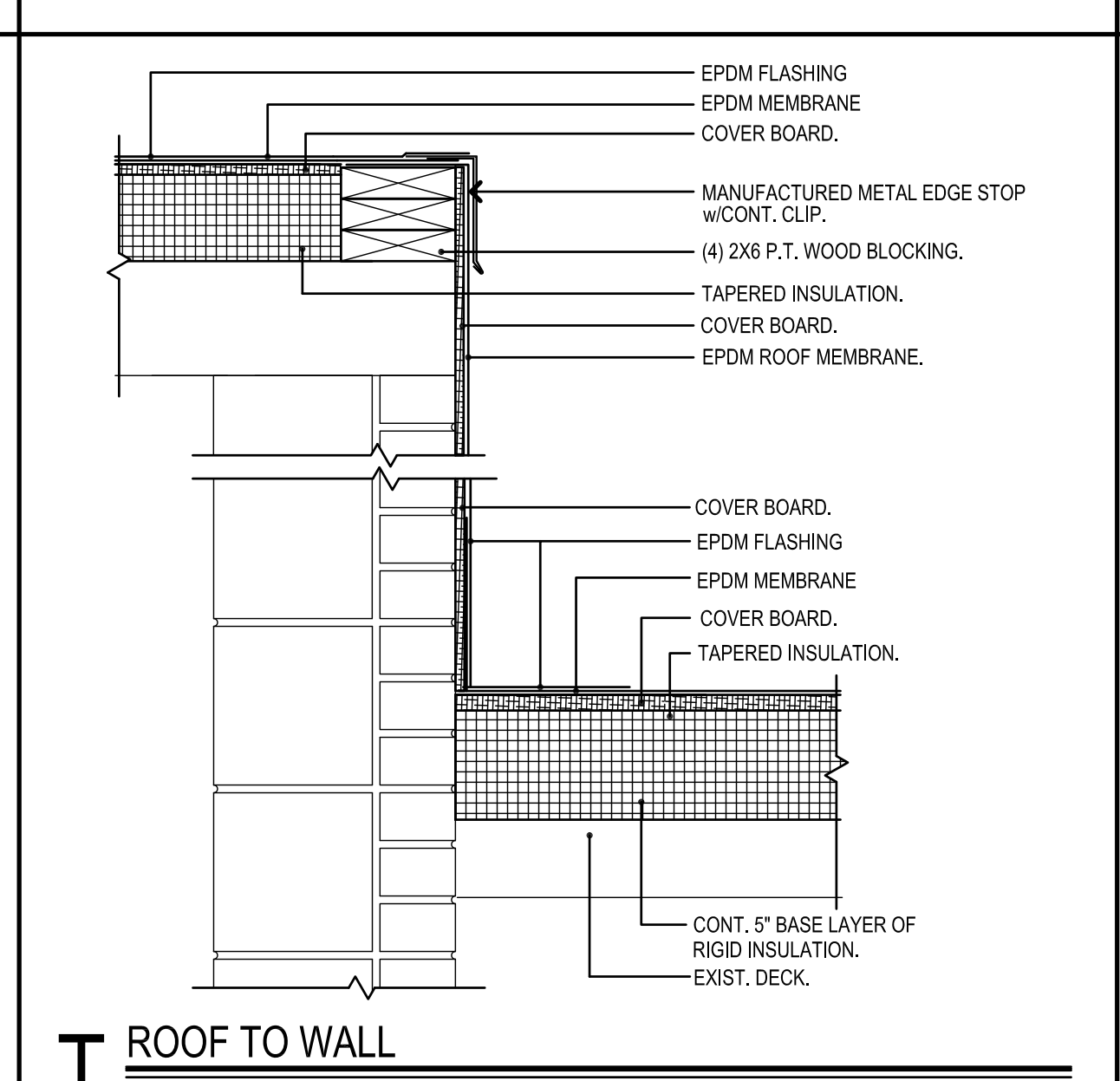
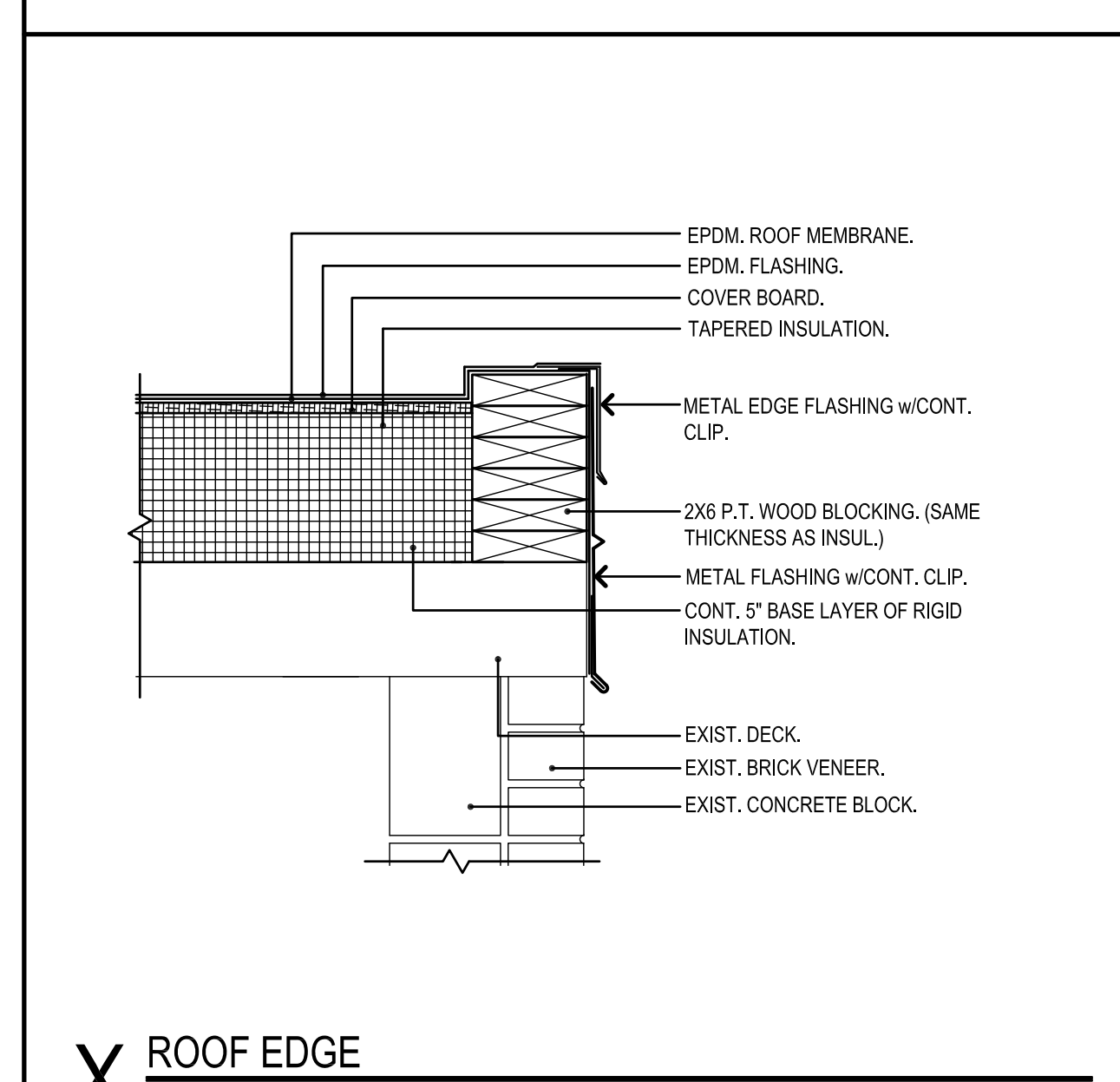
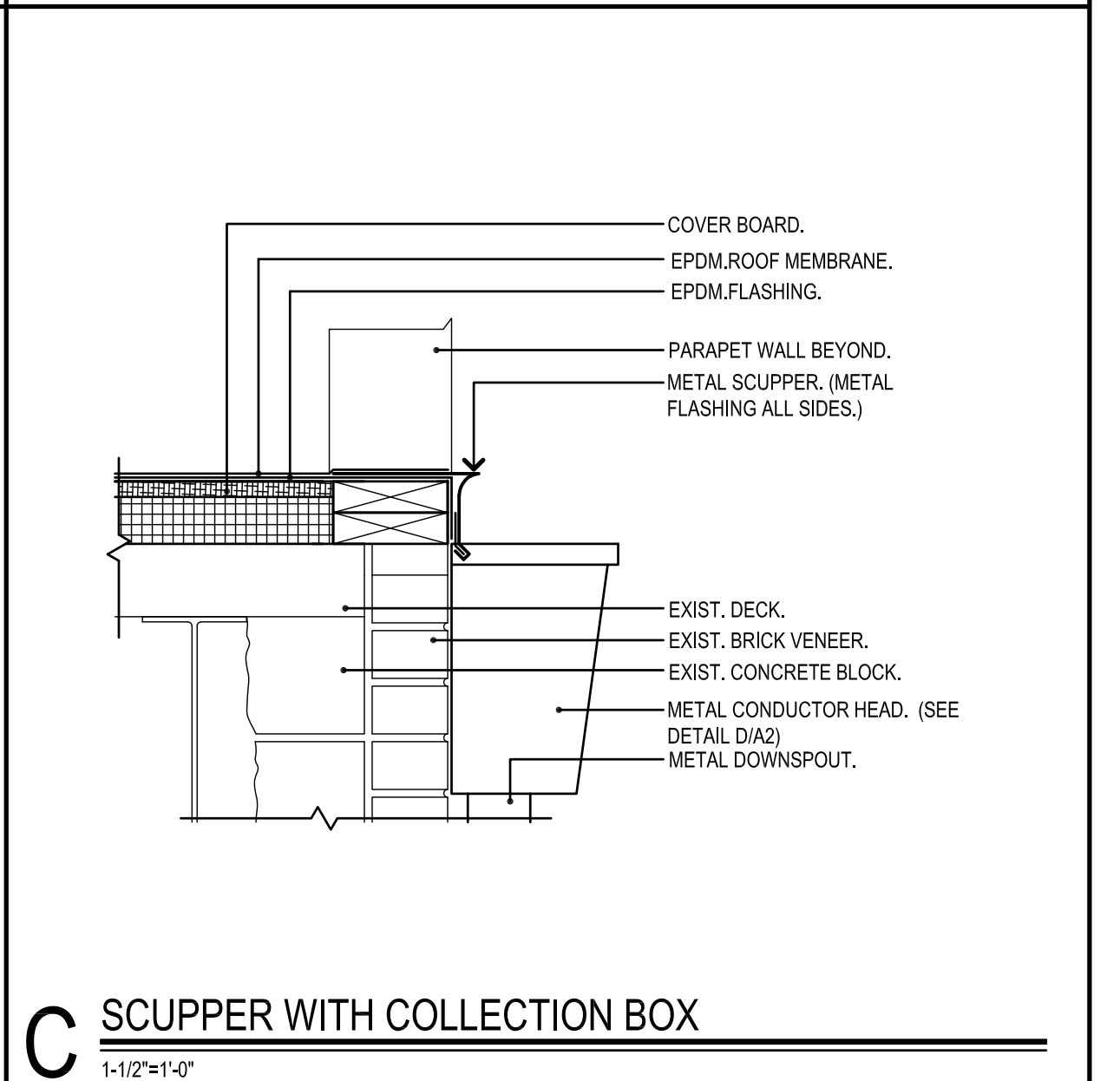
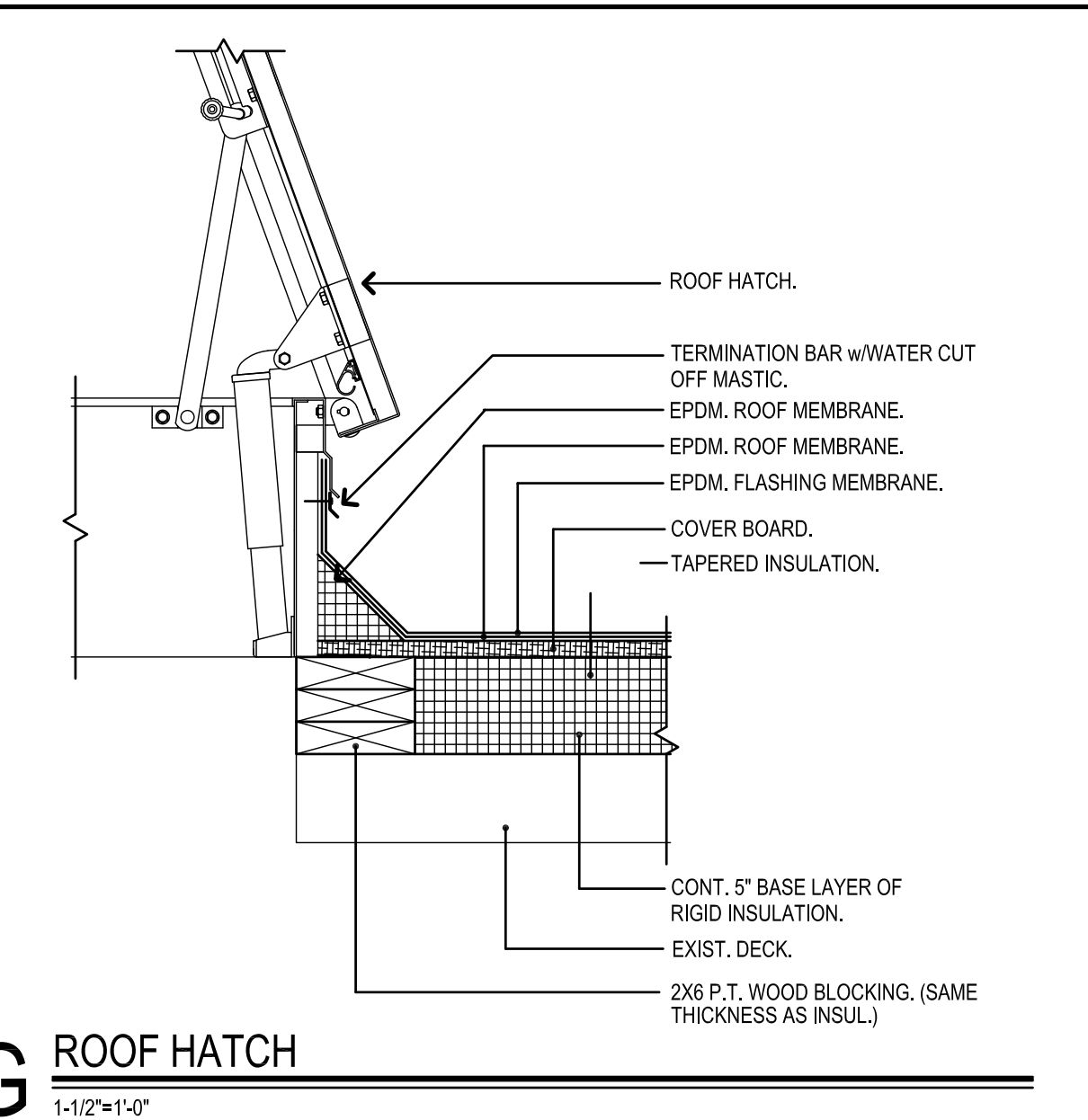
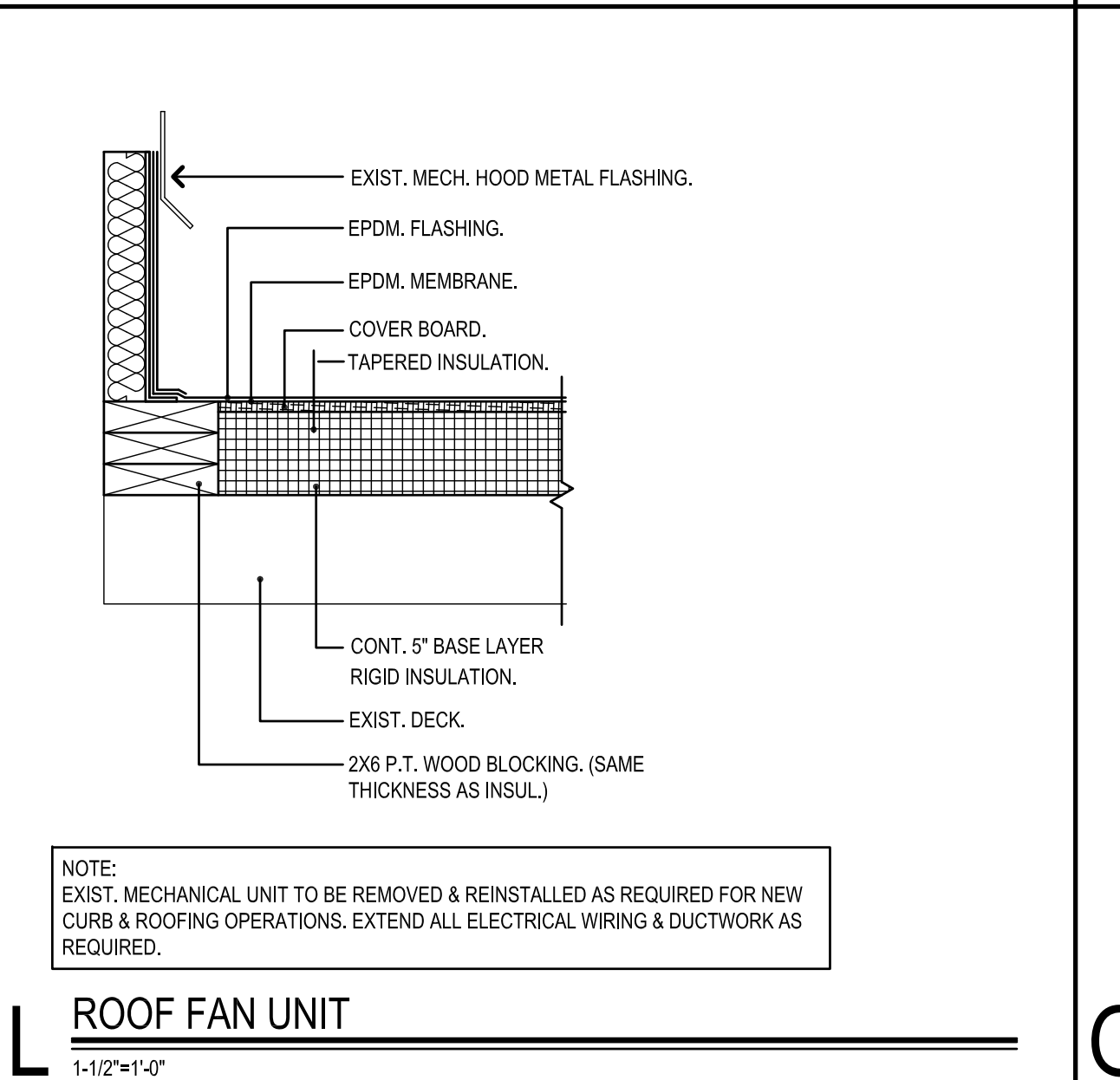
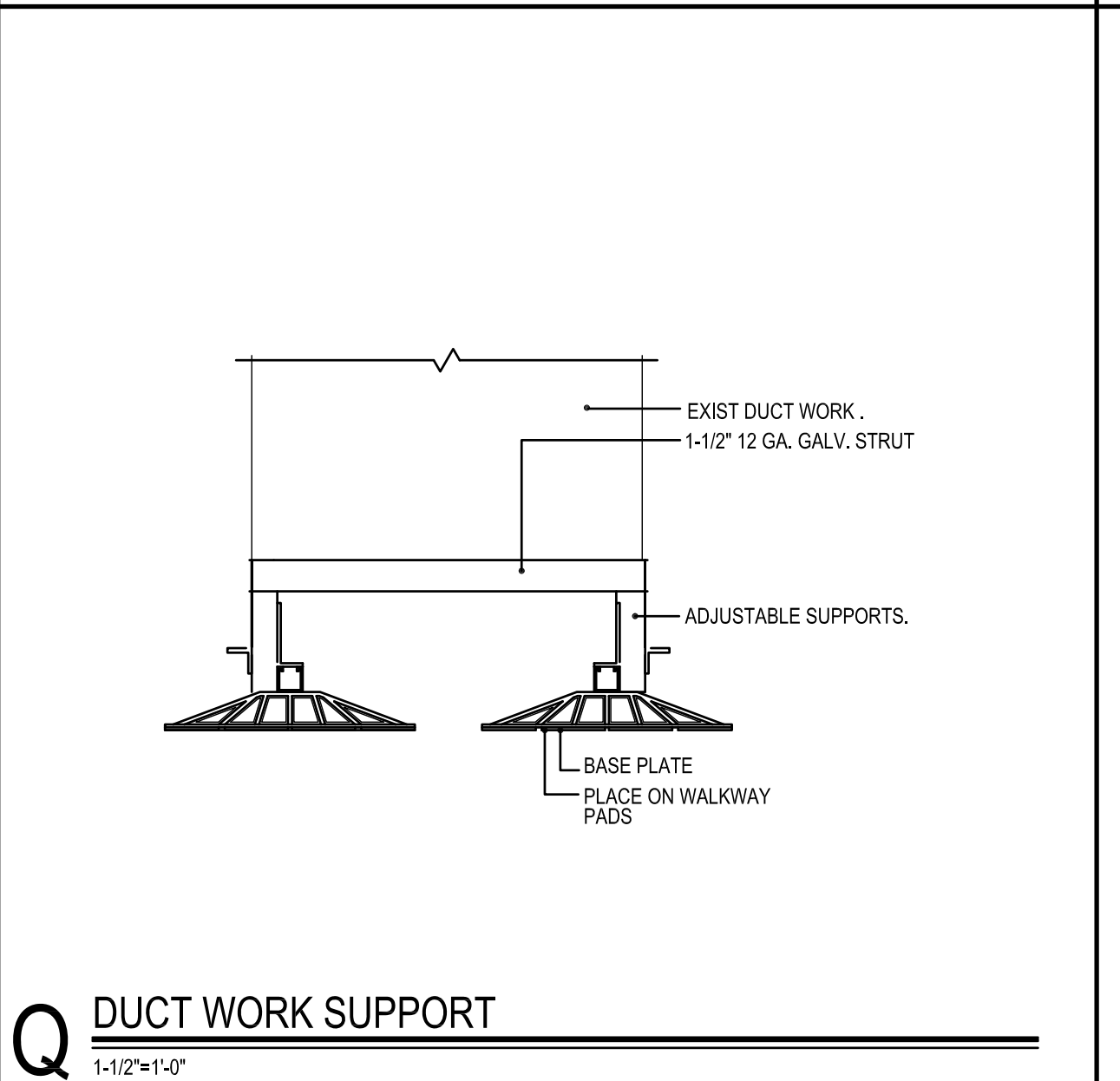
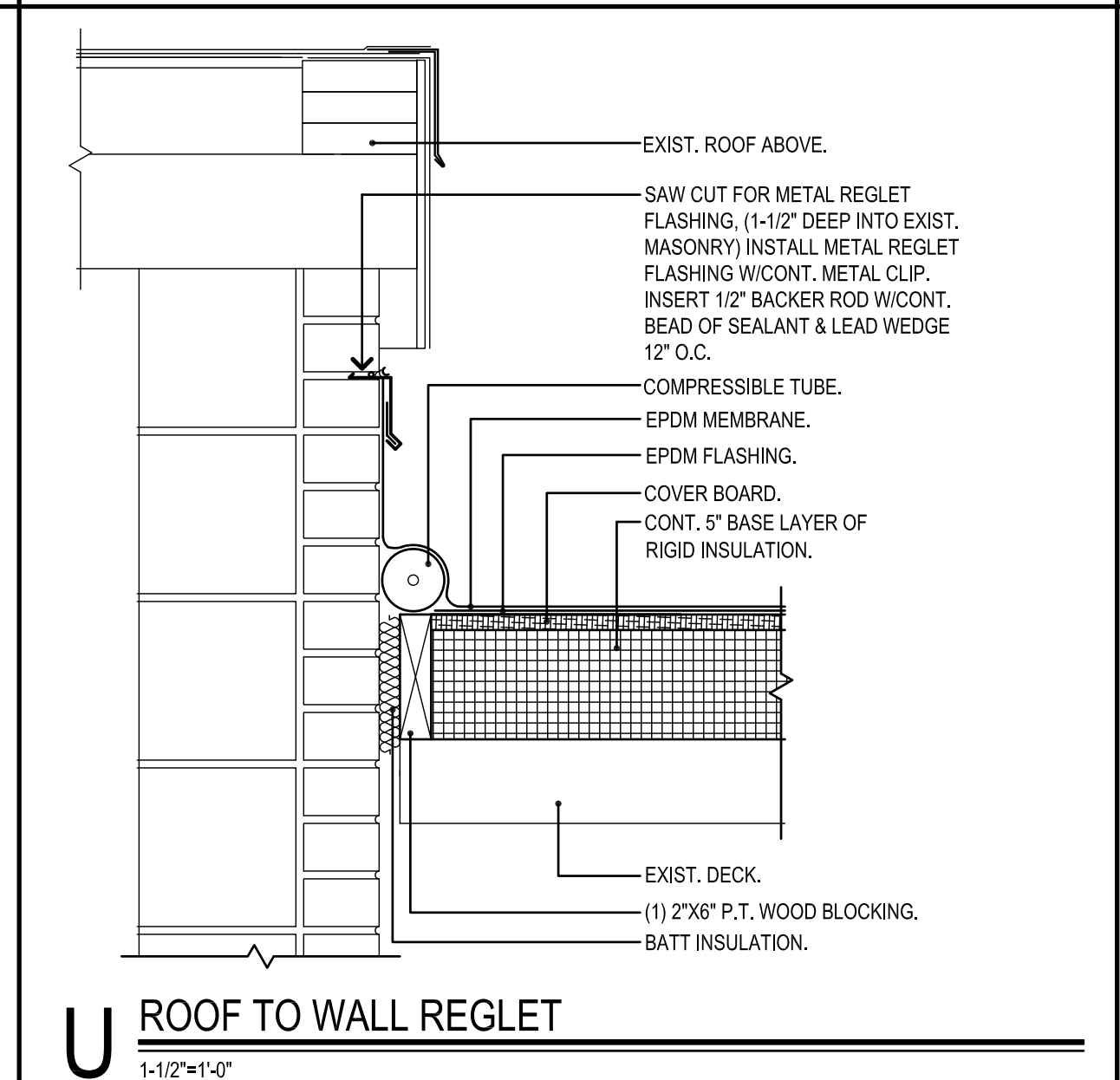
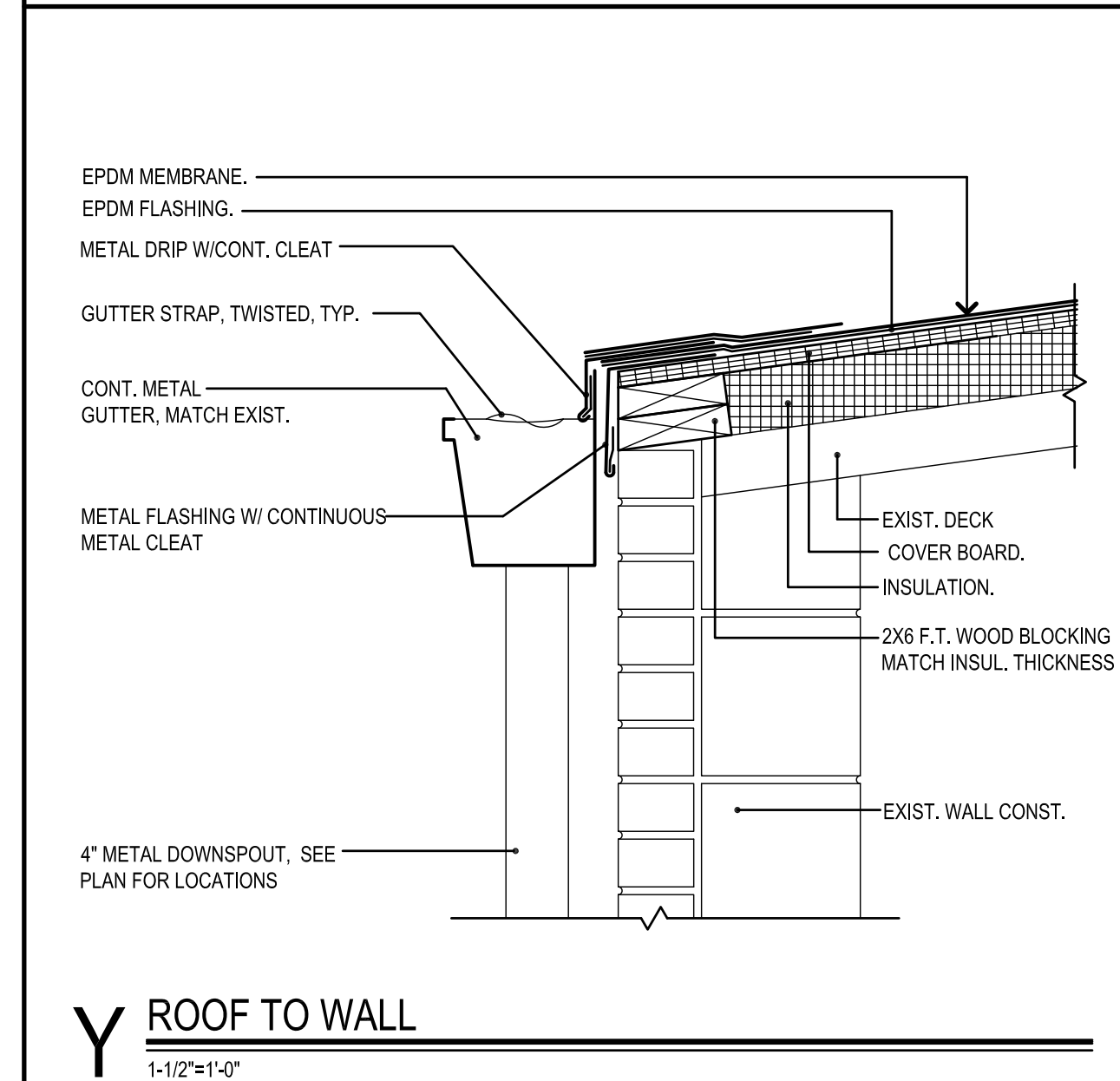
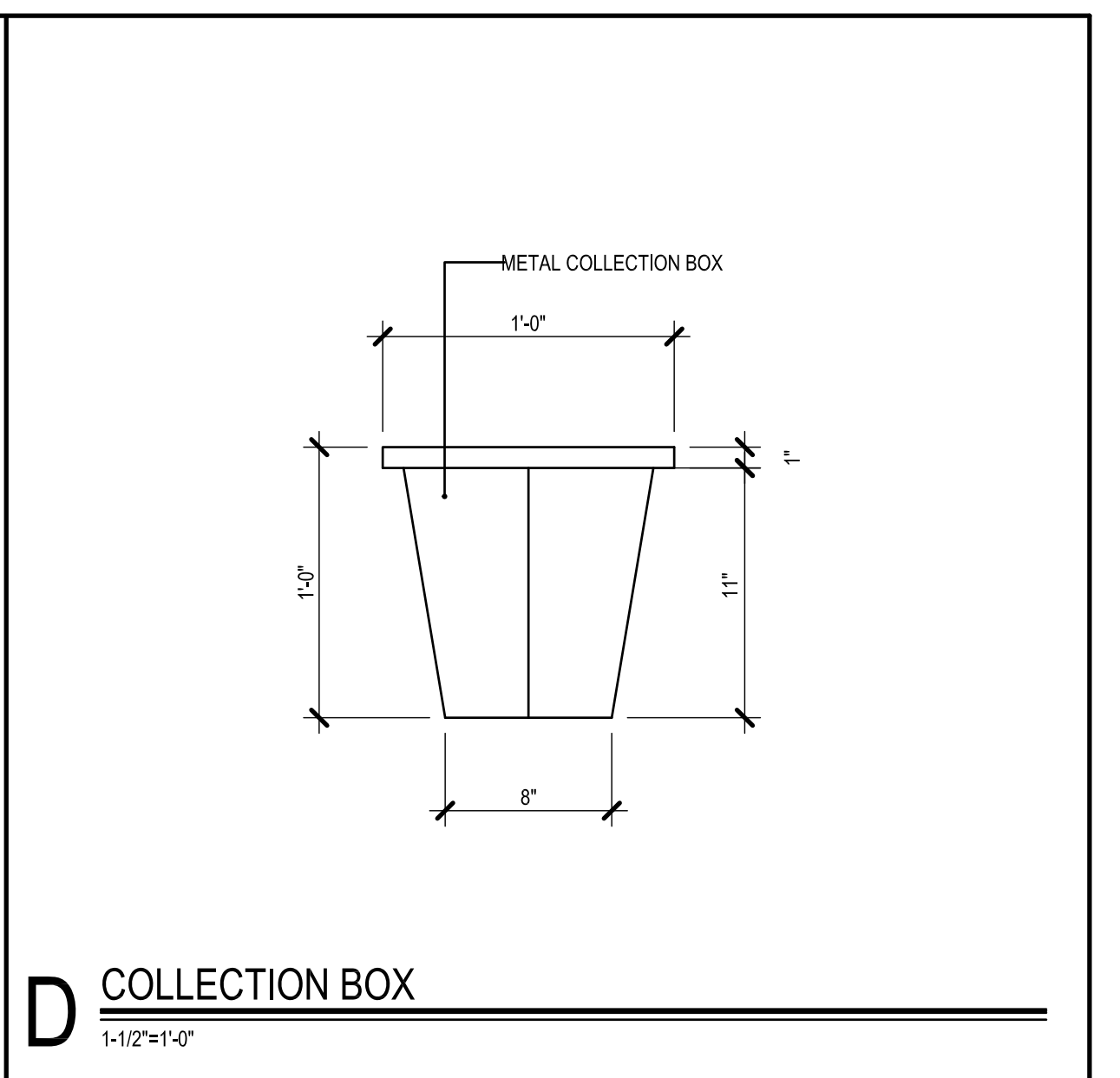
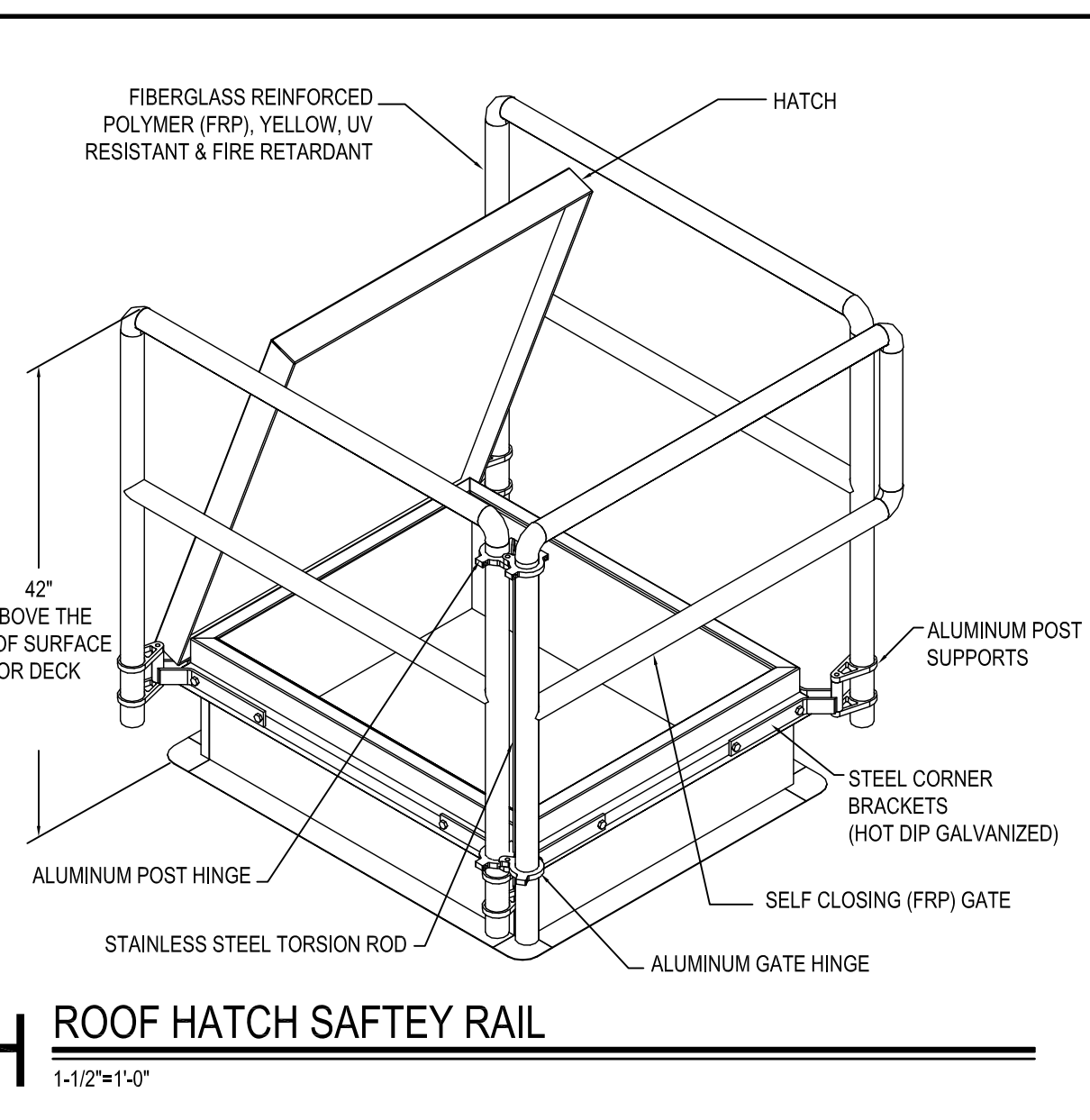
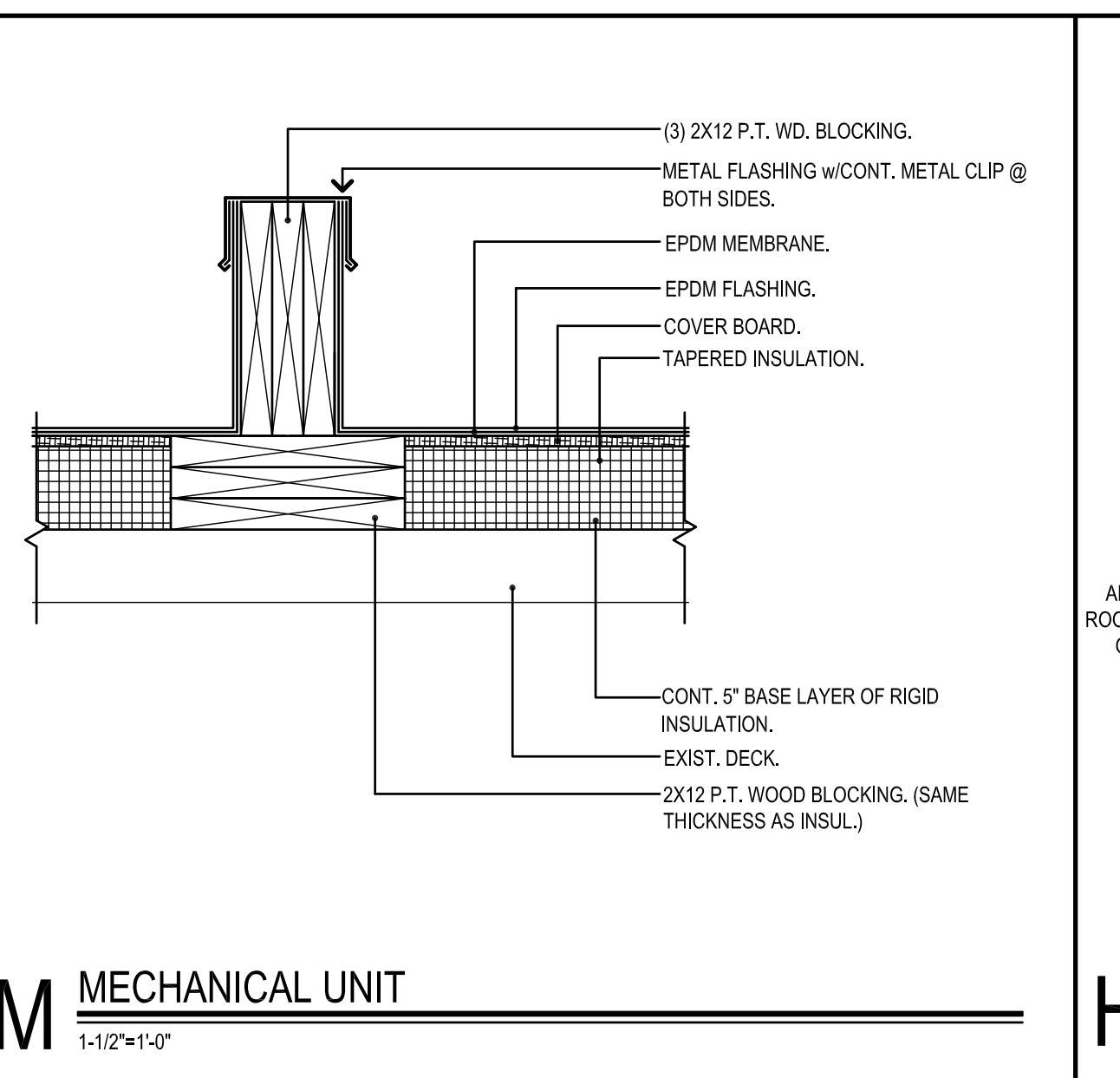
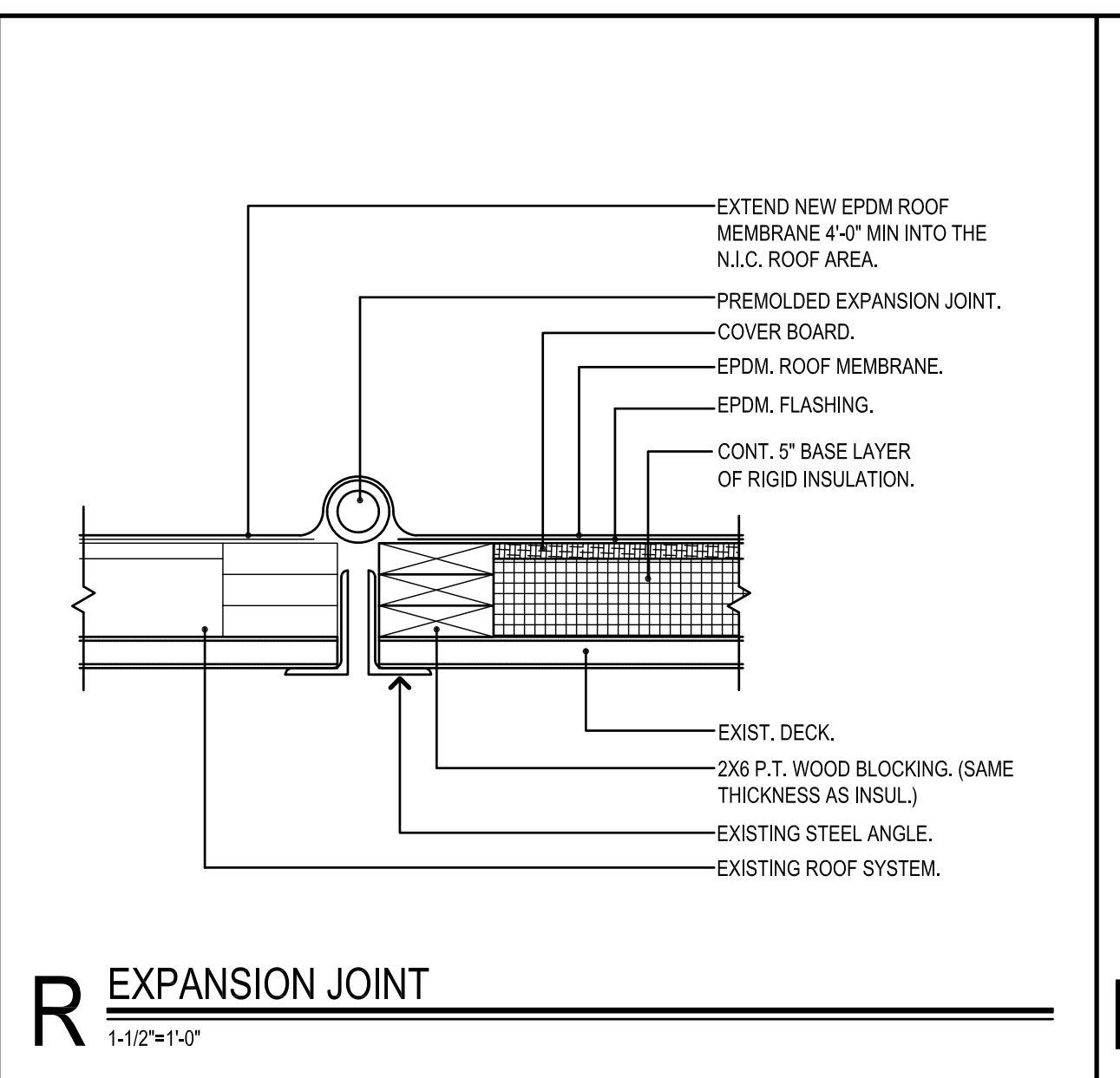
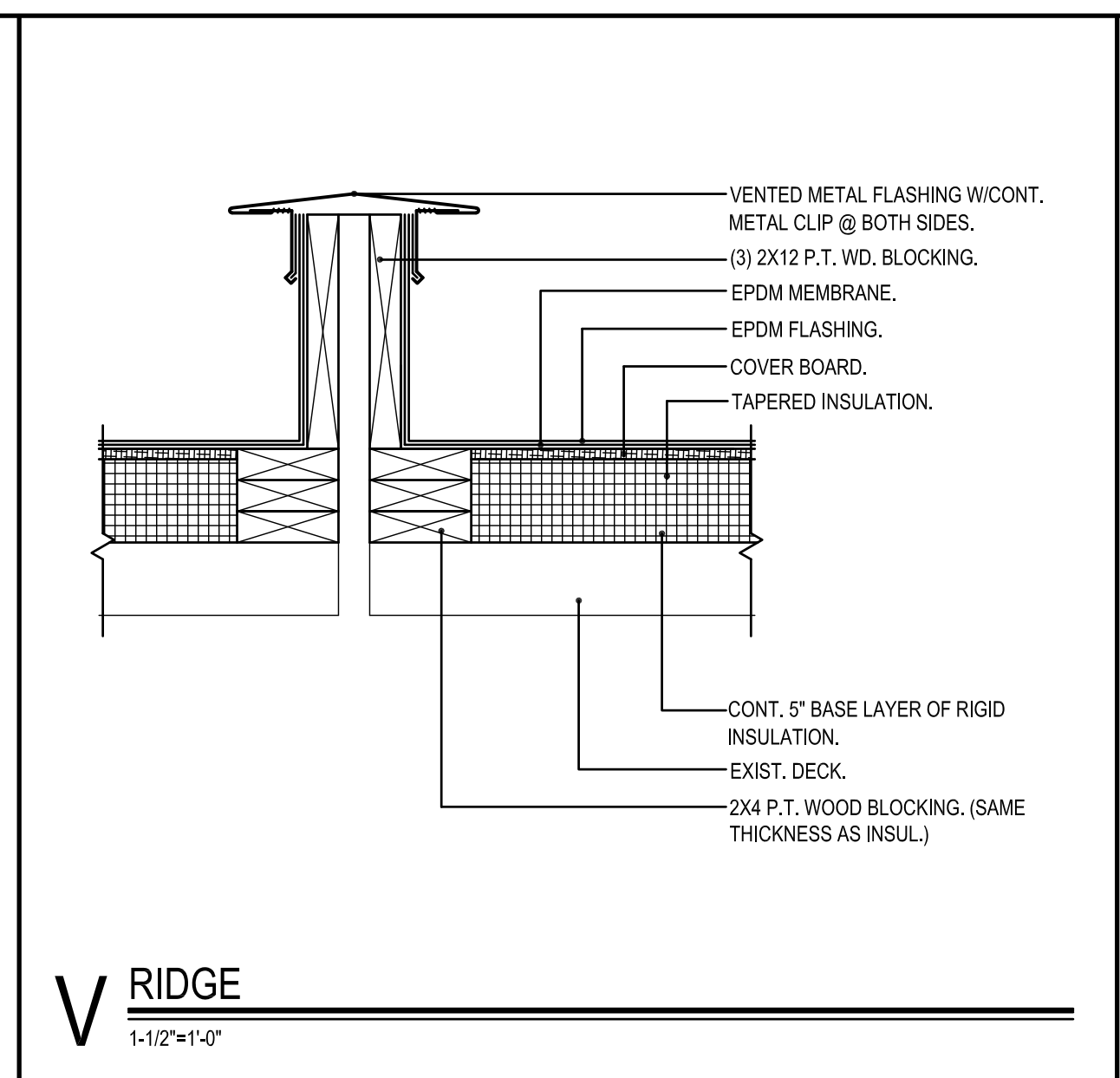
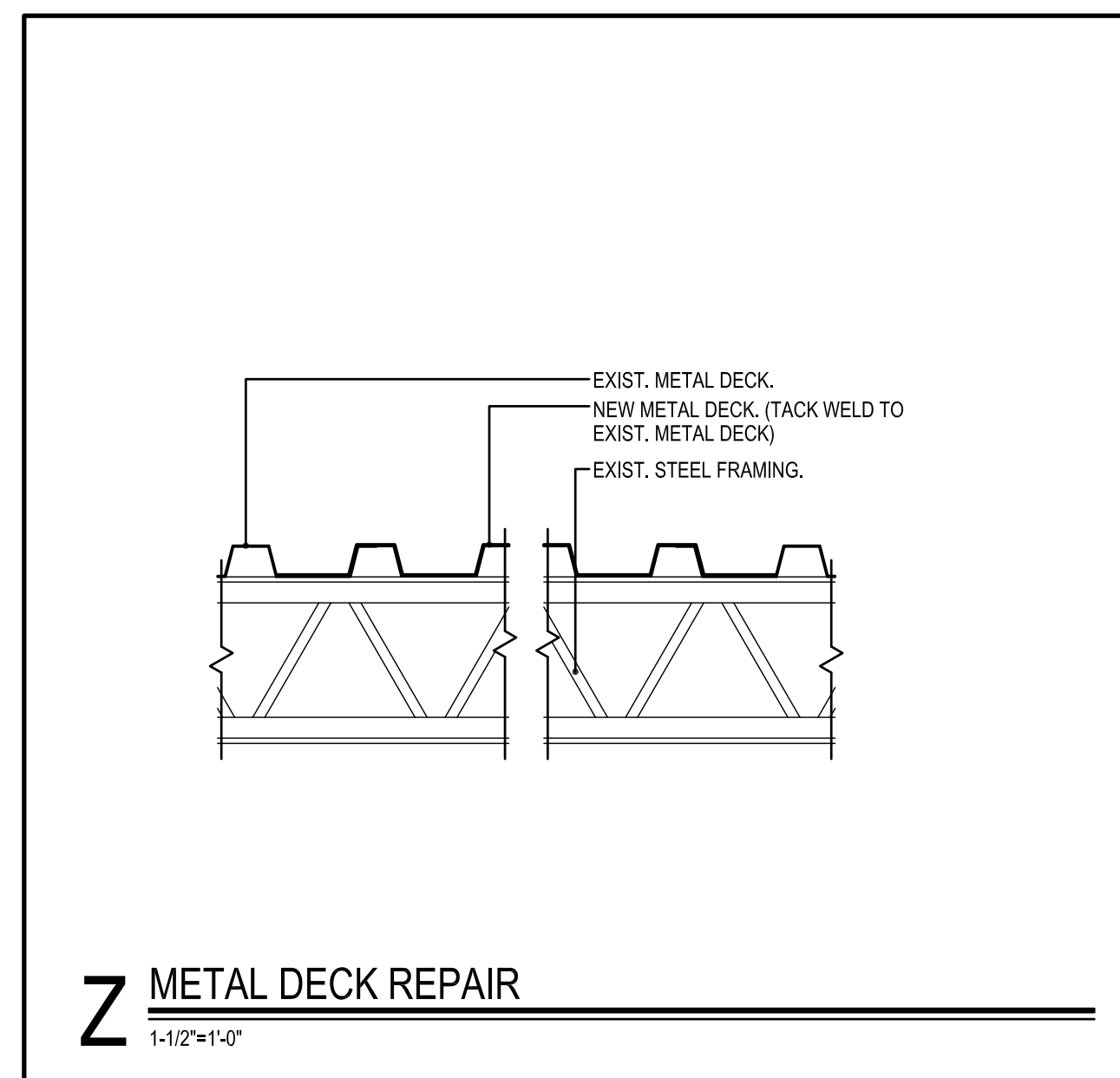
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 10/19/2023

Scale:
 1/16"=1'-0"

Drawn By:
 K.LINSLEY

Project Number:
 23.108

Drawing Number:
A2



Project Title:
PARTIAL ROOF REPLACEMENT AT:
BEECHER ROAD ELEMENTARY SCHOOL
40 BEECHER ROAD.
WOODBIDGE, CONNECTICUT 06525

Project Title:
ROOF DETAILS

SILVER PETRUCELLI + ASSOCIATES
3190 WHITNEY AVENUE HAMDEN CT 06518
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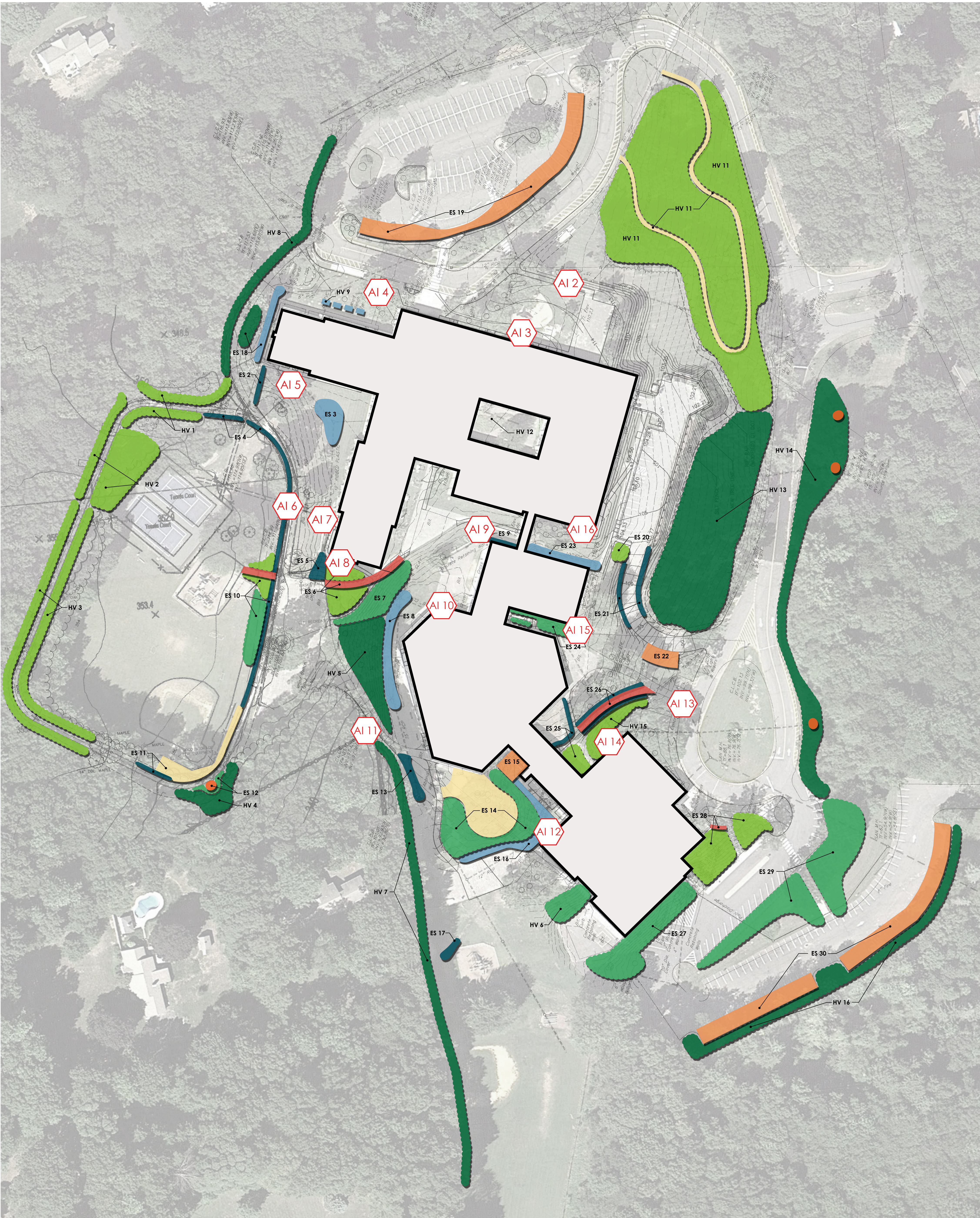
Revision	Description	Date	Revised By

Project Title:
ROOF DETAILS

Date:
10/19/2023
Scale:
1-1/2" = 1'-0"
Drawn By:
K.LINSLEY
Project Number:
23.108

A3

AREAS RECOMMENDED FOR IMPROVEMENT



LOW IMPACT DESIGN STORMWATER MANAGEMENT

- Rain Garden
- Biofiltration Swale
- Green Roof / Blue Roof

VEGETATION

- High Visibility Landscape
- Slope Stabilization
- Woodland Buffer

HARDSCAPE

- Gravel / Stonedust
- Pervious Pavement
- Rip Rap Energy Dissipater
- Concrete Walk

LABELS

- ES** Erosion & Sedimentation Mitigation
- HV** Habitat & Vegetation Improvement
- AI** **2023 Additional Improvements Areas**

EROSION & SEDIMENTATION MITIGATION



**Catch Basin Cleaning
Energy Dissipater Outfalls**
All Drainage Areas

Priority: High

Status of each catch basin structure was not verified during 9/25/2023 visit. Some observed grated inlets need to be cleared of leaves/sticks/debris. Riprap energy dissipaters were not verified during 9/25/2023 visit.



Biofiltration Swale
Drainage Area 1

Priority: Med/High

Biofiltration swale was not installed at this location. The walk at this location has been repaved since 2011



**Rain Garden /
Retention Basin**
Drainage Area 1

Priority: Low/Med

CArea remains lawn with no rain garden installed. Grades and catch basin invert do not appear different from 2011 condition. Catch basin grate has not been converted to dome top yard drain.



Biofiltration Swale
Drainage Area 1

Priority: Med/High

Biofiltration swale has not been installed at this location.



Biofiltration Swale
Drainage Area 1

Priority: Med

Biofiltration swale has not been installed at this location. Previously eroded area appeared more vegetated than 2011 condition.



**Formalize Walk
Revegetate Slope**
Drainage Area 1

Priority: Med

New walk has been installed at this location since 2011 condition. Eroded areas here have been revegetated with grass, not the ornamental shrubs as indicated in 2011 recommendation.



Revegetate Slope
Drainage Area 1

Priority: High

Portions of slopes remain unvegetated at this location. Shrubs have not been installed. Stormwater runoff was observed streaming down the slope during the 9/25/2023 visit.



Rain Garden
Drainage Area 1

Priority: Med/High

Portions of slopes remain unvegetated at this location. Shrubs have not been installed. Stormwater runoff was observed streaming down the slope during the 9/25/2023 visit.



Rain Garden
Drainage Area 1

Priority: High

Rain garden / biofiltration swale have not been installed. Grades appear unmodified from 2011 condition. Ponding was observed at this location per 9/25/2023 visit.



**Formalize Walk
Revegetate Slope
Biofiltration Swales**
Drainage Area 1

Priority: Med/High

A formalized walk to the playground has been installed at this location. Ornamental shrubs and bioswale have not been installed per 2011 recommendation. Bare spots remain at this location



**Establish Gravel Edge
Biofiltration Swale**
Drainage Area 1

Priority: High

AOC ES 11 was not verified during 9/25/2023 visit.



**Energy Dissipater
Revegetate Slopes**
Drainage Area 1

Priority: High

AOC ES 12 was not verified during 9/25/2023 visit.



**Remove Pavement
Biofiltration Swale**
Drainage Area 1

Priority: Med/Low

Pavement swale at this location has not been removed. Biofiltration swale has not been installed.



**Establish Gravel
Gathering Area
Revegetate Slopes**
Drainage Area 1

Priority: High

A formalized gathering / volleyball area has not been established. Evergreen groundcover and native shrubs have not been installed. Portions of this area remain bare and erodible.



**Remove Pavement
New Pervious Pavement**
Drainage Area 1

Priority: Med/Low

Bituminous concrete pavement was present at this location. The permeable property of the pavement was not verified. A yard drain was present at this location. Minimal ponding observed during 9/25/2023 visit.



Rain Garden
Drainage Area 1

Priority: High

Rain garden has not been installed at this location. Catch basin invert appears unchanged with no dome top frame. Major sedimentation and ponding was observed at this location during 9/25/2023 visit.



Biofiltration Swale
Drainage Area 1

Priority: Low

AOC ES 17 was not verified during 9/25/2023 visit.



Rain Garden
Drainage Area 1 & 2

Priority: High

Lawn area has been converted to rain garden. Ponding was observed at this location during 9/25/2023 visit. Catch basin invert appears unchanged with no dome top frame. Some selective clear cutting has occurred since 2011.



**Remove Pavement
New Pervious Pavement**
Drainage Area 2

Priority: Low

Pavement appeared relatively new. The permeable property of the pavement was not verified. Minor ponding was observed along gutterline during 9/25/2023 visit. Conveyance to leakoffs could be improved.



Revegetate Slope
Drainage Area 4

Priority: Low

Evergreen groundcover and native shrubs have not been installed at this location.



Biofiltration Swales
Drainage Area 4

Priority: Med

Biofiltration swales have not been installed along the existing drive at this location.



Pervious Pavement
Drainage Area 4

Priority: Med/Low

Pervious parking spaces did not appear to be installed at this location. Some ponding observed here during 9/25/2023 visit.



Rain Garden
Drainage Area 5

Priority: Med

Grades appear similar to 2011 condition at this location. No rain garden has been installed here.



**Revegetate Slopes
Rain Garden**
Drainage Area 5

Priority: Med

Evergreen groundcover, native shrubs, and rain garden have not been installed at this location.



**Biofiltration Swale
Revegetate Slope**
Drainage Area 5

Priority: Low/Med

Biofiltration swale and ornamental shrubs have not been installed along walk. Ramp railings are no longer plumb with ground.



Biofiltration Swales
Drainage Area 5

Priority: Med/High

New concrete walk has been installed at this location since 2011. Biofiltration swales have not been installed along new walkway.



Revegetate Slope
Drainage Area 6

Priority: Med/Low

AOC ES 27 was not verified during 9/25/2023 visit. Google maps aerials depict no further vegetation than lawn at this location.



**Revegetate Slope /
New Walk & Stairs**
Drainage Area 6

Priority: High

AOC ES 27 was not verified during 9/25/2023 visit. Google maps aerials depict no further vegetation than lawn at this location.



Revegetate Slope
Drainage Area 6

Priority: High

AOC ES 29 was not verified during 9/25/2023 visit. Google maps aerials depict no further vegetation than lawn at this location.



Pervious Pavement
Drainage Area 6

Priority: Low

AOC ES 30 was not verified during 9/25/2023 visit.

VEGETATION IMPROVEMENTS



1
Define Edge with Low Understory Natives
Drainage Area 1

Priority: Med
AOC HV 1 was not verified during 9/25/2023 visit.



7
Woodland Buffer Remove Invasives
Drainage Area 1

Priority: Low
AOC was not verified during 9/25/23 site visit.



13
Selective Clear Cut Remove Invasives Woodland Buffer
Drainage Area 4

Priority: Low
AOC HV 13 was not verified during 9/25/2023 visit.



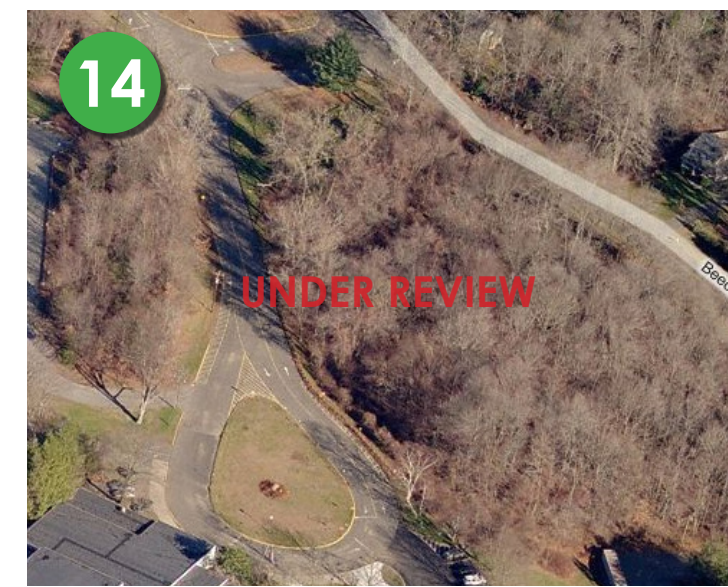
2
Establish Gravel Viewing Area Define with Low Understory Natives
Drainage Area 1

Priority: Med
AOC HV 2 was not verified during 9/25/2023 visit.



8
Woodland Buffer Remove Invasives
Drainage Area 2

Priority: Low
Conditions appear similar to 2011. Ponding was observed along pathway during 9/25/23 visit. Invasive removal was not verified.



14
Remove Invasives Woodland Buffer
Drainage Area 4

Priority: Low
AOC HV 14 was not verified during 9/25/2023 visit.



3
Define Edge with Low Understory Natives Bird/Bat Boxes
Drainage Area 1

Priority: Med
AOC HV 3 was not verified during 9/25/2023 visit.



9
Butterfly/Rain Gardens
Drainage Area 2

Priority: Med
Butterfly / rain gardens have not been installed at this location.



15
Woodland Buffer Remove Invasives
Drainage Area 5

Priority: Med
At this location during 9/25/2023 visit, it was unclear if invasives had been replaced with native understory since 2011.



4
Woodland Buffer Remove Invasives
Drainage Area 1

Priority: Med
AOC HV 4 was not verified during 9/25/2023 visit.



10
Green Roof / Blue Roof
All Drainage Areas

Priority: Low
AOC HV 10 (Roof) was not verified during 9/25/2023 visit. Google maps aerials show that portions of the roof are lighter in color than the 2011 condition.



16
Woodland Buffer Remove Invasives
Drainage Area 6

Priority: Low
At this location during 9/25/2023 visit, it was unclear if invasives had been replaced with native understory since 2011.



5
Woodland Buffer Remove Invasives
Drainage Area 1

Priority: Low/Med
Woodland buffer appears unchanged from 2011 condition. Invasive removal was not verified during 9/25/23 visit.



11
Selective Clear Cut Remove Invasives Native Display Garden Bird/Bat Boxes
Drainage Area 2

Priority: Low
AOC HV 11 was not verified during 9/25/2023 visit.



6
Remove Invasives Revegetate Slope
Drainage Area 1

Priority: Med
Invasives appear to have been removed. Slope is sparsely vegetated now. Evergreen groundcover and native shrubs have not been planted here.



12
Ornamental Sustainability Garden
Drainage Area 3

Priority: Low/Med
AOC HV 12 (Interior courtyard) was not verified during 9/25/2023 visit.

2023 ADDITIONAL IMPROVEMENTS



Pavement Modifications Drainage Improvements

Priority: Med/High

Repave/regrade pavement to achieve positive drainage. Install additional drains. Pervious pavement is recommended.



Pavement Modifications Drainage Improvements

Priority: High

Grade and protect corner of playground experiencing runoff. Install additional drains. Regrade to ensure positive drainage.



Pavement Modifications Drainage Improvements

Priority: High

Repave walk to slope away from building. Remove low spots from pavement settling.



Pavement Repair Drainage Improvements Erosion Protection

Priority: High

Portion of walk requires repair and runoff was observed eroding adjacent lawn. Repave walk and provide swale to guide water to nearby drain. Provide stone shoulder.



Pavement Repair Drainage Improvements Erosion Protection

Priority: Med/High

Ponding and sedimentation were observed at this portion of walk. Repave walk and provide swale to nearby drain.

Pavement Repair Drainage Improvements

Priority: High

Walk was observed to be heaving and ponding was present. Repave and ensure positive drainage. Install additional drain.

Pavement Repair Drainage Improvements

Priority: High

Drainage is impeded by surrounding lawn at several walks along the building. Grade lawn or excavate and provide stone shoulder at edge of walk. Repave as required.

Pavement Repair Drainage Improvements

Priority: Med

Ponding was observed at this portion of walk. Provide swale to nearby drain. Reset and lower basin. Repave as required.

Pavement Repair Drainage Improvements

Priority: High

Ponding was observed at this portion of walk. Regrade lawn to ensure positive drainage. Install additional drains. Repave as required.

2023 ADDITIONAL IMPROVEMENTS



10 Pavement Repair Drainage Improvements

Priority: High

Significant ponding was observed near doorway. Regrade lawn to ensure positive drainage. Install additional drains. Repave as required.



11 Curb Installation Drainage Improvements Erosion Protection

Priority: Med/High

Install curbing or swale along edge of drive to channel runoff to drain.



12 Pavement Repair Drainage Improvements Erosion Protection

Priority: High

Walk was observed to be heaving and ponding was present. Erosion and sedimentation observed at downspout. Repave walk, install outlet protection and install additional drains.



13 Pavement Modification Drainage Improvements

Priority: Low/Med

Ponding was present in observed parking area. Additional drains should be installed. Pervious pavement is recommended.



14 Pavement Repair Drainage Improvements

Priority: Med

Pavement was observed to be heaving and ponding was present at loading dock. Repave to ensure positive drainage.



15 Pavement Repair Drainage Improvements Erosion Protection

Priority: High

Pavement was observed to be broken. Ponding and sediments were present. Repave to ensure positive drainage to nearby drain structure.



16 Ramp Repair

Priority: High

Heaving of concrete ramp was observed creating a tripping hazard / accessibility issue. Repair ramp.



Town Building Committee for BRS Capital Projects **Friday, November 3rd 2023 (hybrid meeting)**

Meeting Minutes

The following committee members were present: Sheila McCreven (BOS), Donavon Lofters (BOF), Jeff Hughes (WBOE). The following were also present: Tony Genovese (Town Administrative Officer and Director of Finance), Lynn Piascyk (WBOE Chairman), Vonda Tencza (WSD Superintendent), Donna Coonan (WSD Director of Business Services and Operations), David Stein (SP&A), Enzo Chiarelli (SP&A), Joseph Lenahan and Daniel Chiburis (F&O).

Chairman Sheila McCreven called the meeting to order at 8:38am.

On a motion by Jeff, seconded by Donavon, the committee voted unanimously to approve the previous meeting's minutes.

Sheila welcomed everyone and asked David to begin the presentation of construction document schematics and budget materials related to the roofing portion of the project for the committee's consideration. He noted that this will be a full roof replacement for the areas included in the project, which are past their useful life and now beyond warranty – key requirements for maximizing state reimbursement for the project.

The project plans as presented include safety enhancements such as a ladder between roof elevations, secondary drains, pitching of roof segments to meet current requirements, and the addition of 5" of insulation that will improve energy savings. He also answered several questions from committee members regarding the project plans and cost estimates, noting that the cost of approximately \$1.4mn calculates out to roughly \$37 per square foot, and that the new roof sections will have a 20-year warranty.

On a motion by Jeff, seconded by Donavon, the committee voted unanimously to recommend to the BOS for its consideration the plan and cost estimate materials as presented (attachment A). Upon approval by the BOS, David's team is prepared to submit the project to the state.

David then provided a brief overview of the timeline and stated that the project is on or slightly ahead of schedule and noted that among upcoming key dates he expects to have a contractor onboard by the end of March so work can begin on schedule as the close of the school year approaches.

Joe and Enzo then walked the committee through a detailed overview of current grounds conditions, including an update on 30 areas of concern that had been noted in the 2011 F&O report, as well as 17 additional areas of concern added as of 2023. The committee agreed that next steps for this portion of the project will be for the WBOE team to meet to determine scope and sequence preferences, and then the TBC will meet to receive these recommendations in the form of project plans and cost estimates so these can be considered for forwarding to the BOS for action in tandem with the annual capital budget requests in January 2024.

The committee will set its next meeting date once the WBOE has had a chance to complete its consideration and finalize its recommendations.

On a motion by Jeff, seconded by Donavon, the committee voted unanimously to adjourn its meeting at 9:53am.

Beecher Road Elementary School Partial Roof Replacement							19-Oct-23			
40 beecher Road. Woodbridge, Connecticut 06525							JOB NO:23.108			
Owner: Town of Woodbridge										
OPINION OF PROBABLE CONSTRUCTION COST				EPDM ROOF MEMBRANE			CT STATE PROJECT #			
34,860 (SQURE FEET)										
SECTION NUMBER	WORK CATEGORIES	QTY.	UNIT	MATERIAL COST		LABOR COST		ALLOWANCE	TOTAL \$	CT INELIGIBLE
				UNIT \$	TOTAL	UNIT \$	TOTAL			
OTHER COSTS										
	STATE PERMIT FEE (.26 PER 1,000)	1	LS				\$390		\$390	\$390
OTHER SUB-TOTAL								\$390		TOTAL: \$390
DIVISION TWO										
	DUMPSTERS	15	EA	\$1,000.00	\$15,000				\$15,000	\$0
	EXISTING ROOF INSULATION	34,860	SF		\$0	\$0.50	\$17,430		\$17,430	\$0
	DEMO - WOOD BLOCKING	1,400	LF	\$0.00	\$0	\$5.00	\$7,000		\$7,000	\$0
	CRANE RENTAL (UNIT LIFTING)	1	LS				\$15,000		\$15,000	\$0
	DEMO - METAL FLASHING	1,800	LF			\$4.00	\$7,200		\$7,200	\$0
DIVISION TWO SUB-TOTAL								\$61,630		TOTAL: \$0
DIVISION FIVE										
	METAL FLASHING	1,800	LF	\$15.00	\$27,000	\$9.00	\$16,200		\$43,200	\$0
	SAW CUTTING FOR REGLETS & METAL	1,000	LF	\$4.45	\$4,450	\$4.00	\$4,000		\$8,450	\$0
	5% TOTAL DECK REPLACEMENT ALLOWANCE	1	EA				\$10,000	\$	10,000	\$ 10,000
DIVISION FIVE SUB-TOTAL								\$61,650		TOTAL: \$10,000
DIVISION SIX										
	PERIMETER WOOD BLOCKING	6,800	BF	\$3.00	\$20,400	\$2.00			\$20,400	\$0
	MECH. UNIT WOOD BLOCKING	1,500	BF	\$3.50	\$5,250	\$2.00	\$3,000		\$8,250	\$0
DIVISION SIX SUB-TOTAL								\$	28,650	TOTAL: \$0
DIVISION SEVEN										
	BASE LAYER INSULATION (5" THICK)	34,860	SF	\$3.00	\$104,580	\$2.00	\$69,720		\$174,300	\$0
	TAPERED INSULATION INSULATION (1/4")	34,860	SF	\$3.00	\$104,580	\$3.50	\$122,010		\$226,590	\$0
	COVERBOARD	34,860	SF	\$1.50	\$52,290	\$2.00	\$69,720		\$122,010	\$0
	EPDM ROOFING MEMBRANE	34,860	SF	\$3.00	\$104,580	\$3.25	\$113,295		\$217,875	\$0
	METAL ROOF STAIR	1	LS	\$6,000			\$6,000		\$12,000	\$0
	VENT STACKS	20	EA	\$25.00	\$500	\$60.00	\$1,200		\$1,700	\$0
	PITCH POCKET	25	EA	\$25.00	\$625	\$25.00	\$625		\$1,250	\$0
	WALKWAY PADS	2,500	SF	\$2.00	\$5,000	\$4.00	\$10,000		\$15,000	\$0
	RAISE EXISTING GAS PIPE/ ELECTRICAL CONDU	1	LS	\$5,000			\$20,000		\$25,000	\$0
	RAISE EXISTING MECHANICAL UNIT	3	EA	\$5,000	\$15,000	\$15,000	\$45,000		\$60,000	\$0
	SEALANTS	1	LS	\$2,000			\$2,000		\$4,000	\$0
	MISC ROOF ACCESSORIES	1	LS	\$2,500			\$2,500		\$5,000	\$0
	ADHESIVES	1	LS	\$2,500			\$2,500		\$5,000	\$0
DIVISION SEVEN SUB-TOTAL								\$869,725		TOTAL: \$0
DIVISION FIFTEEN										
	ROOF DRAIN & SUMP	14	EA	\$400.00	\$5,600	\$300.00	\$4,200		\$9,800	\$0
	SECONDARY ROOF DRAIN & SUMP	14	EA	\$400.00	\$5,600	\$300.00	\$4,200		\$9,800	\$0
DIVISION FIFTEEN SUB-TOTAL								\$19,600		TOTAL: \$0
CONSTRUCTION COST PER SQUARE FOOT = \$37.35										
SUBTOTAL =								\$1,041,645		TOTAL: \$10,390
GEN. CONDITIONS								10.00%	\$104,165	\$831
OVERHEAD & PROFIT								15.00%	\$156,247	\$1,247
Subtotal									\$1,302,056	
CONSTRUCTION TOTAL =								\$1,302,056		TOTAL: \$12,468
A/E FEES =								\$61,109		\$488
ENVIRONMENTAL FEE								\$0		\$0
CONTINGENCY = .5%								\$65,103		\$65,103
GRAND TOTAL								\$1,428,268		TOTAL: \$78,058



SILVER PETRUCCELLI + ASSOCIATES

3190 WHITNEY AVENUE HAMDEN CT 06518
 311 STATE STREET NEW LONDON CT 06320
 203 230 9007 silverpetrucci.com

PROJECT NAME: _____

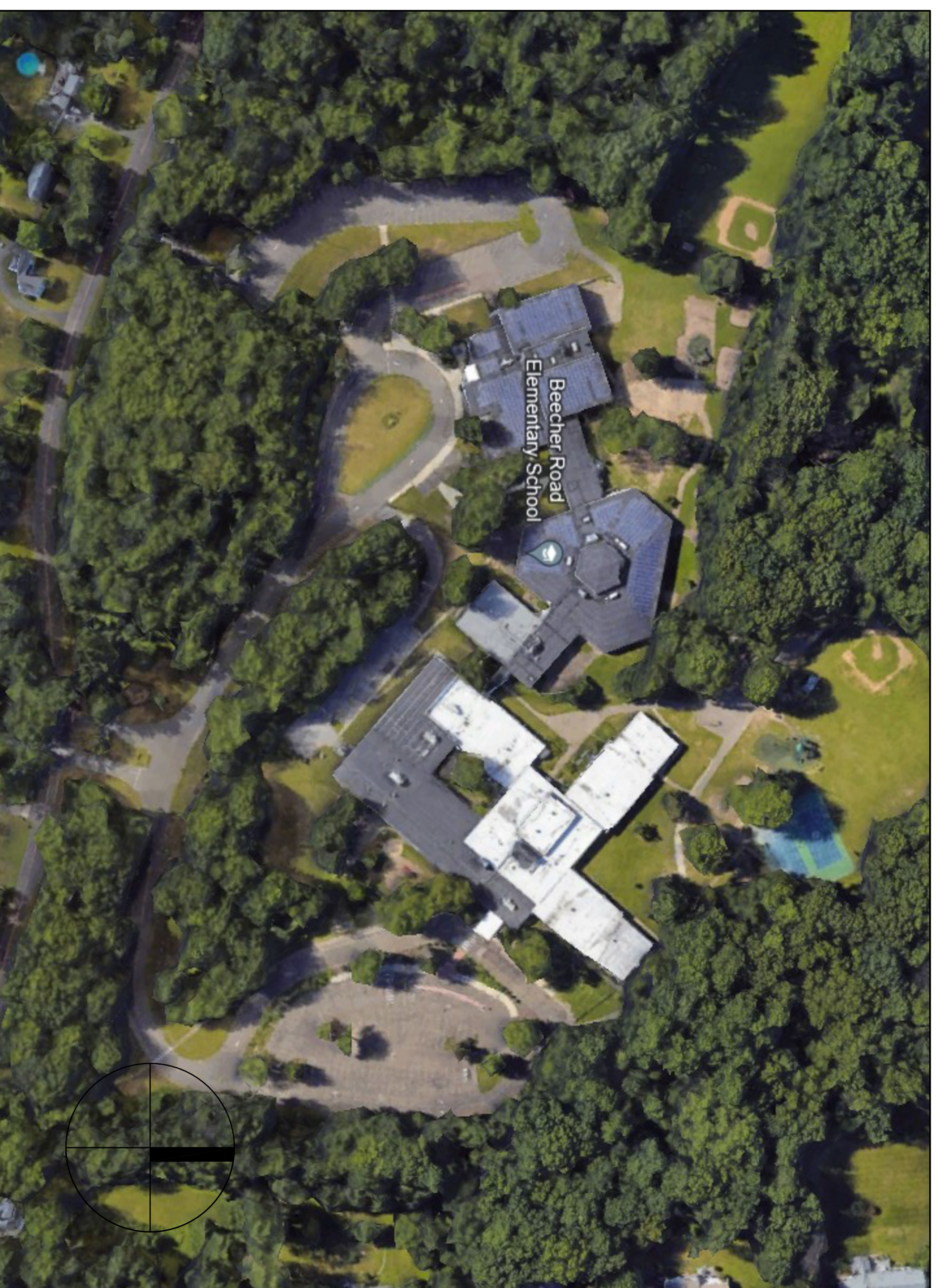
PARTIAL ROOF REPLACEMENT AT:

BEECHER ROAD ELEMENTARY SCHOOL

40 BEECHER ROAD.

WOODBIDGE, CONNECTICUT 06525

PROJECT LOCATION: _____



DRAWING LIST

COVER SHEET

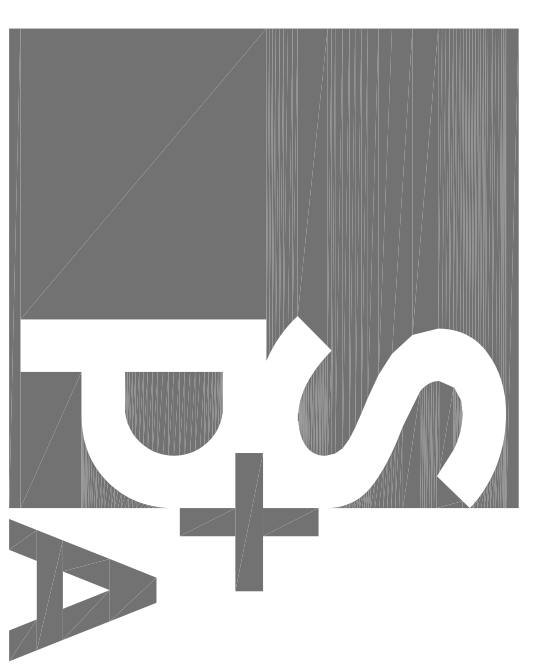
ARCHITECTURAL:

C1 CODE INFORMATION
A1 OVERALL ROOF PLAN
A2 ROOF PLAN PART "1"
A3 ROOF DETAILS

ARCHITECT
SILVER PETRUCELLI & ASSOC.
3190 WHITNEY AVENUE, HAMDEN CT 06518
311 STATE STREET NEW LONDON, CT 06320
PHONE 203 230 9007 silverpetrucelli.com

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SILVER PETRUCELLI + ASSOCIATES



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203 230 9007 silverpetrucelli.com

CONSTRUCTION DOCUMENT SUBMISSION: 10/19/2023

SYMBOL LEGEND

- PLAN SECTION DETAIL OR ELEVATION - SHEET NUMBER
- INDICATES SLOPE DIRECTION OR SLOPED STRUCTURAL DECK
- TAPERED INSULATION GROMMET SLOPED @ 2 PER FOOT
- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH
- NOT IN CONTRACT SCOPE
- WALKWAY PADS - SEE CONSTRUCTION NOTE #2
- EXISTING ROOF DRAIN TO BE REMOVED - SEE DEMOLITION NOTES.
- NEW ROOF DRAIN TO BE INSTALLED - SEE DETAIL A43
- SECONDARY OVERFLOW ROOF DRAIN - SEE DETAIL B43
- METAL SOPPER w/ COLLECTION BOX - SEE DETAIL C43
- EXISTING VENT STACK - SEE DETAIL E43
- PITCH POCKET - SEE DETAIL F43
- ROOF HATCH - SEE DETAIL G & H43
- SKYLIGHT - SEE DETAIL J43
- NEW METAL STAIRCASE - SEE DETAIL K43
- EXISTING ROOF TOP FAN UNIT - SEE DETAIL L43
- EXISTING MECHANICAL UNIT - SEE DETAIL M43
- EXISTING ROOF TOP MECHANICAL UNIT - SEE DETAIL N43
- EXISTING ROOF TOP FAN UNIT - SEE DETAIL O43
- METAL DOWNSPOUT - SEE CONSTRUCTION NOTE #4
- EXISTING ROOF TOP DUCT WORK - SEE CONSTRUCTION NOTE #5
- EXISTING GAS PIPING - SEE CONSTRUCTION NOTE #6
- EXISTING ELECTRICAL CONDUIT - SEE CONSTRUCTION NOTE #7
- ABANDONED METAL DAMAGE - SEE DEMOLITION NOTE #8
- ABANDONED MECHANICAL CURB - SEE DEMOLITION NOTE #8

GENERAL NOTES

1. ALL FLAT ROOFS TO RECEIVE 2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
2. FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
3. ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED - EXISTING.
4. ALL WOOD BLOCKING, PL WOOD, & WELERS TO BE PRESSURE TREATED (P.T.).
5. ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
6. ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 6" (VERTICAL OR HORIZONTAL).
7. CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/ LEVEL (AFTR DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
8. CONTRACTOR IS TO INSPECT THE UNDERSIDES OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE DAMAGED OR COMPROMISED BY ANY ADDITIONAL COSTS TO OWNERS.
9. CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED SITE AREAS DISTURBED SHALL BE CLEANED & REVEALED. WALKWAY AREAS INDICATEDLY TYPED TO BE REMOVED SHALL BE REINSTALLED TO ORIGINAL FINISHES.
10. SETBACKS SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.
11. CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT REMAINS ON THE ROOF SURFACE OR IN THE DRAINAGE SYSTEMS PRIOR TO THE START OF THE CONSTRUCTION.
12. SMOKE/HEAT OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
13. ALL CHANGES ARE TO BE SCHEDULED @ A MINIMUM OF 2 WEEKS PRIOR TO COMMENCEMENT OF WORK.
14. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & REINSTALLATION OF ALL WALKWAY AREAS INCLUDING ANY EXISTING ELECTRICAL, MECHANICAL, OR PLUMBING SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBS & NEW ROOFING SYSTEMS.
15. SMOKE/HEAT OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVES.
16. ALL DRAIN PIPING IS TO BE INSTALLED ABOVE THE CEILING. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
17. NEW ROOF INSULATION TO BE A MINIMUM OF R20 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
18. ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK TO BE REMOVED & REINSTALLED.

DEMOLITION NOTES

1. REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" OF RIGID INSULATION DOWN TO EXISTING METAL DECK.
2. REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" BASE LAYER OF POLYISO & 2" TAPERED INSULATION SYSTEM DOWN TO EXISTING METAL DECK.
3. REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
4. REMOVE EXISTING ROOF DRAINS & SUMP.
5. REMOVE & DISPOSE OF EXISTING METAL DAMAGE.
6. REMOVE EXISTING ABANDONED MECHANICAL UNIT CURB. PATCH EXISTING METAL DECK TO MATCH EXISTING. SEE DETAIL Z43.

CONSTRUCTION NOTES

1. CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT - SEE PROJECT MANUAL.
2. WALKWAY PADS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION, COORDINATE & FINALIZE EXACT ROUTE W/ OWNER & ARCHITECT.
3. EXISTING ROOF TOP MECHANICAL UNIT - RAISE ENTIRE UNIT MIN. 8" ABOVE HIGH POINT OF NEW ROOF INSULATION. EXTEND ALL DUCTWORK & ELECTRICAL WIRING. SEE DETAIL P43 & PROJECT MANUAL.
4. NEW METAL DOWNSPOUT LOCATION, CONNECT TO EXIST UNDERGROUND PIPING, OR PROVIDE NEW CONCRETE SPLASH BLOCK IF NO UNDERGROUND PIPING EXISTS.
5. EXISTING MECHANICAL UNIT DUCT WORK TO REMAIN. ADOPT ALL STAND-OFFS TO ACCOMMODATE NEW ROOF INSULATION HEIGHT. SEE DETAIL Q43 & PROJECT MANUAL.
6. EXISTING GAS PIPING TO BE DISCONNECTED & RIGID. RAISE EXISTING GAS PIPING AS REQUIRED TO RECONNECT TO EXISTING GAS MAIN. INSTALL ALL EXIST. & NEW GAS PIPING ON NEW PIPE CURBS 24" O.C. PRIME & PAINT ALL EXISTING & NEW GAS PIPING. SEE DETAIL W43 & PROJECT MANUAL.
7. EXISTING ELECTRICAL CONDUIT TO BE DISCONNECTED & RAISED TO ACCOMMODATE NEW ROOF INSULATION HEIGHTS. REMOVE UNNECESSARY CONDUIT & WIRING IN EXIST. ELECT. CABINETS TO ACCOMMODATE NEW ROOF HEIGHTS & ADD NEW JUNCTION BOXES AS REQUIRED. SEE DETAIL W43 & PROJECT MANUAL.

ROOF AREAS

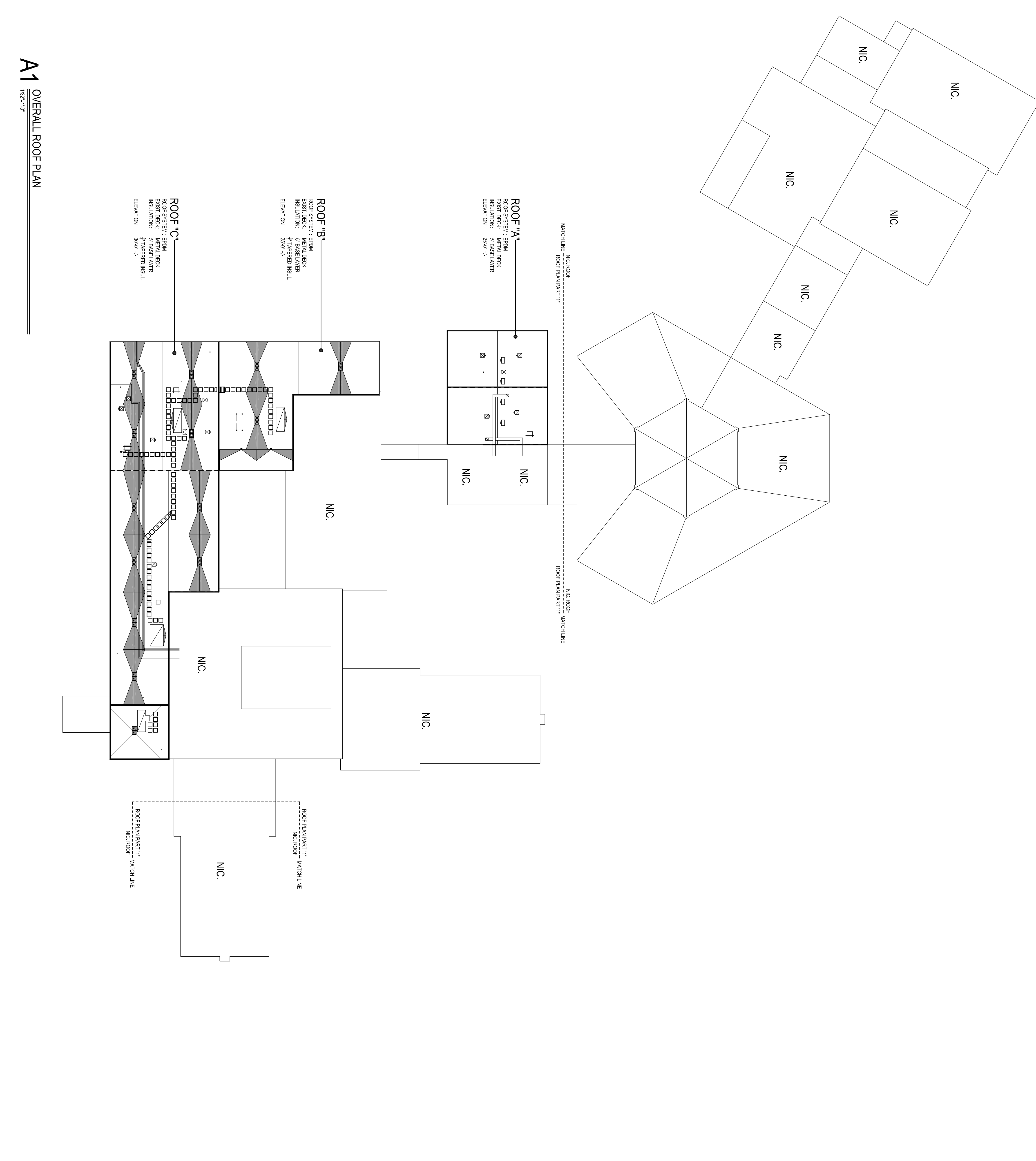
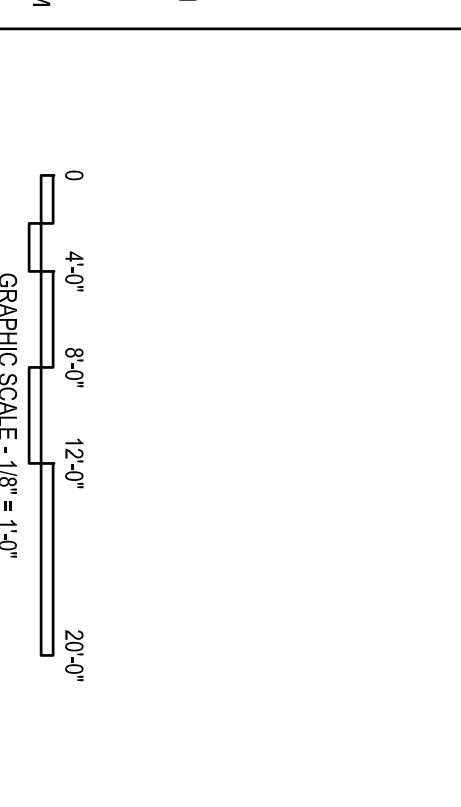
ROOF 'A'	5,400	SF
ROOF 'B'	6,880	SF
ROOF 'C'	21,900	SF
TOTAL ROOF AREAS:	34,180	SF
THIS AREA IS APPROXIMATE. V.I.T. SHALL VERIFY VALUE MIN. R-20 CONNECTICUT ZONE 2B		
CRSP REQUIREMENT:	18-20	UJ 03333

CODE INFORMATION

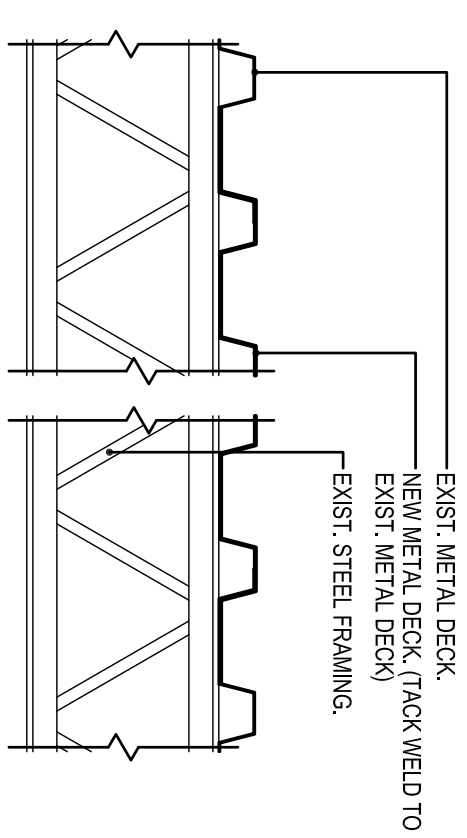
- USE GROUP: E - CLASS 2B
- MINIMUM DESIGN WIND SPEED: 130 MPH
- ULTIMATE DESIGN WIND SPEED: 135 MPH
- NOMINAL DESIGN WIND SPEED: 105 MPH
- FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION HAS CONDUCTED WIND TUNNEL TESTING OF THIS ROOF ASSEMBLY. SEE REPORT FOR PERMITTER AND ARCHITECT. WIND UPLIFT REQUIREMENT PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

ROOF ASSEMBLY

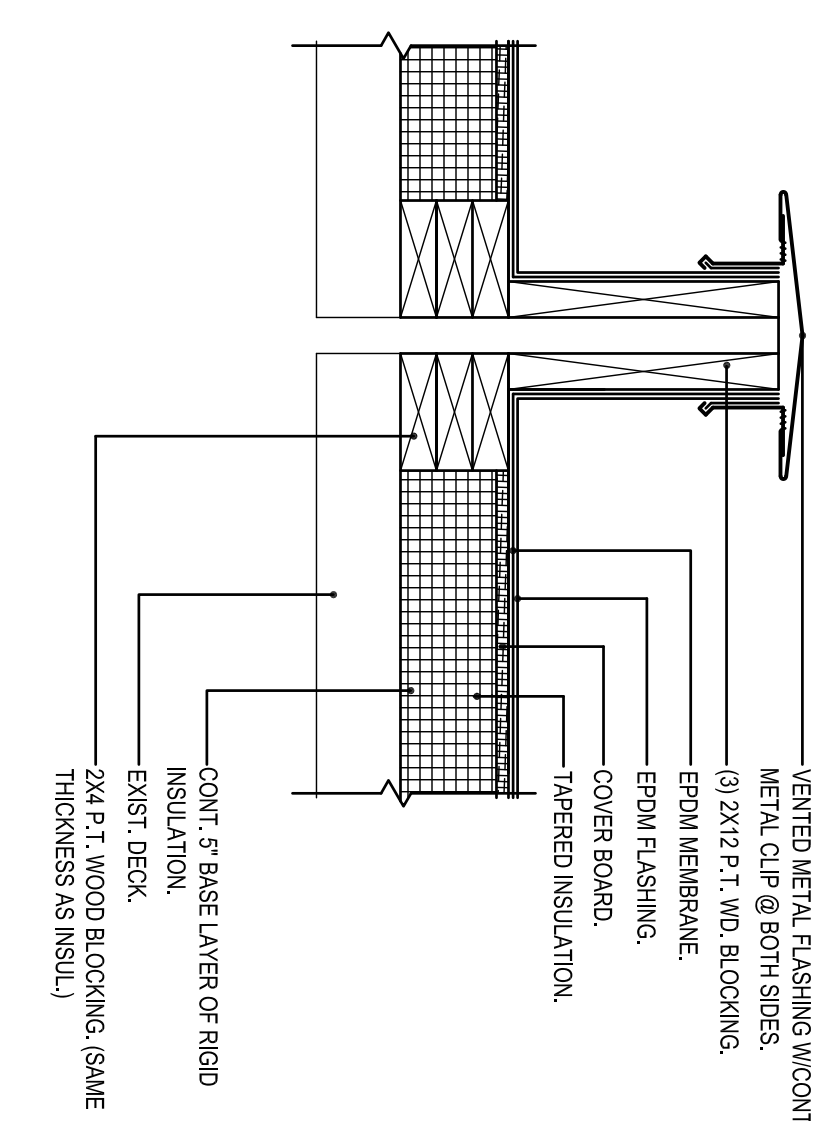
ROOF MEMBRANE	0.33
COVERBOARD	2.20
EXISTING DECK	1.20
INSIDE AIR	0.81
RAVALLIE TOTAL	34.54



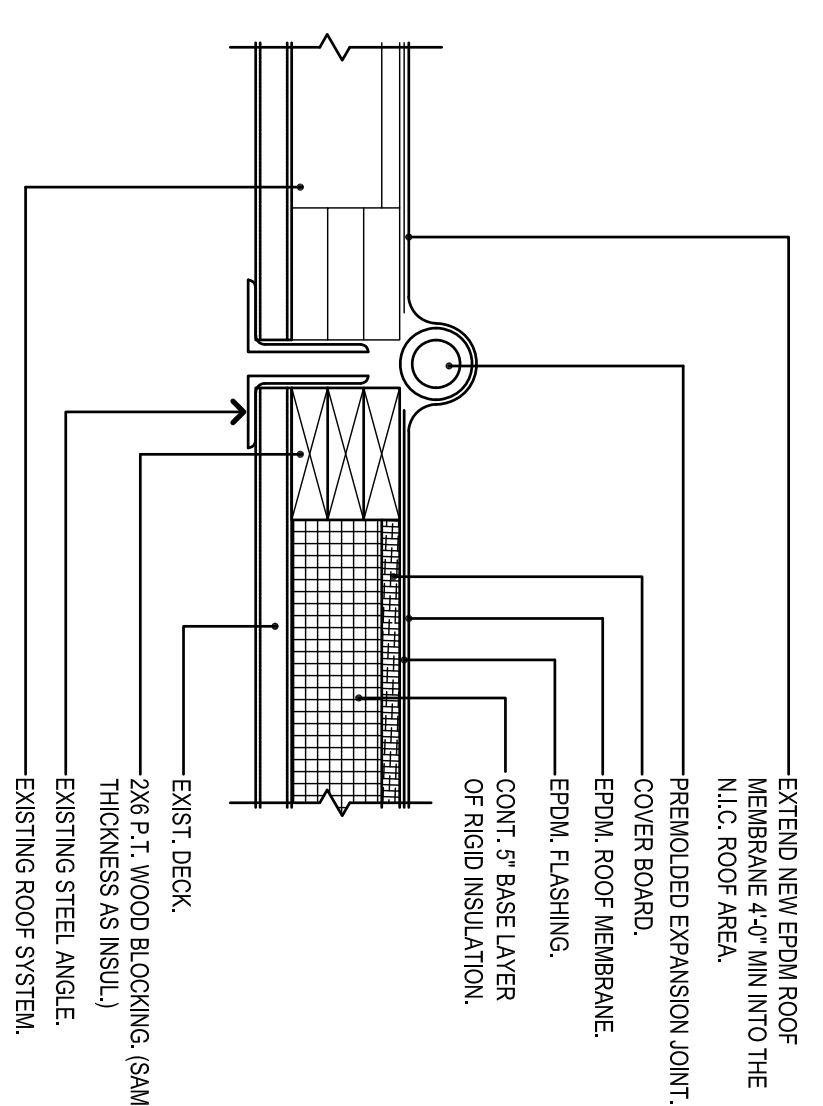
A1 OVERALL ROOF PLAN
1/32"=1'-0"



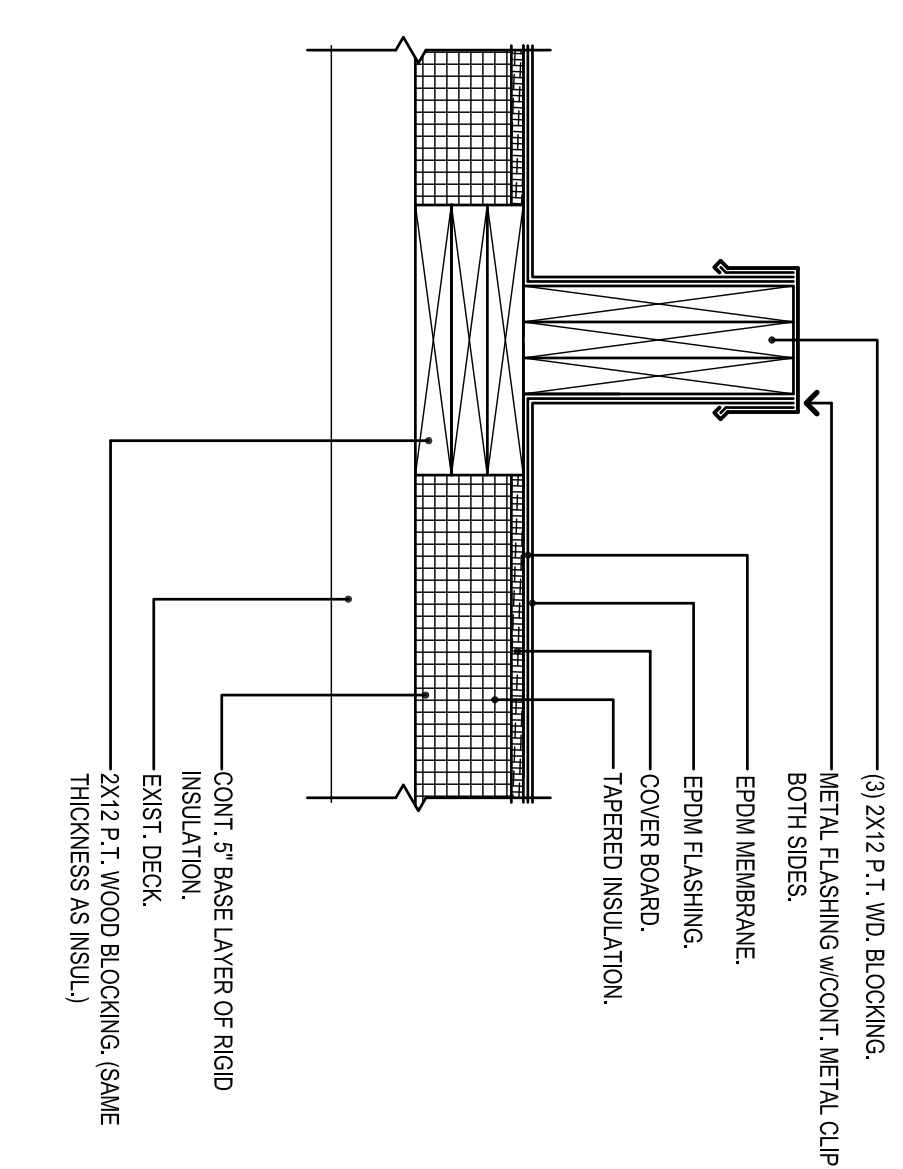
Z METAL DECK REPAIR
1:1/2"=1'-0"



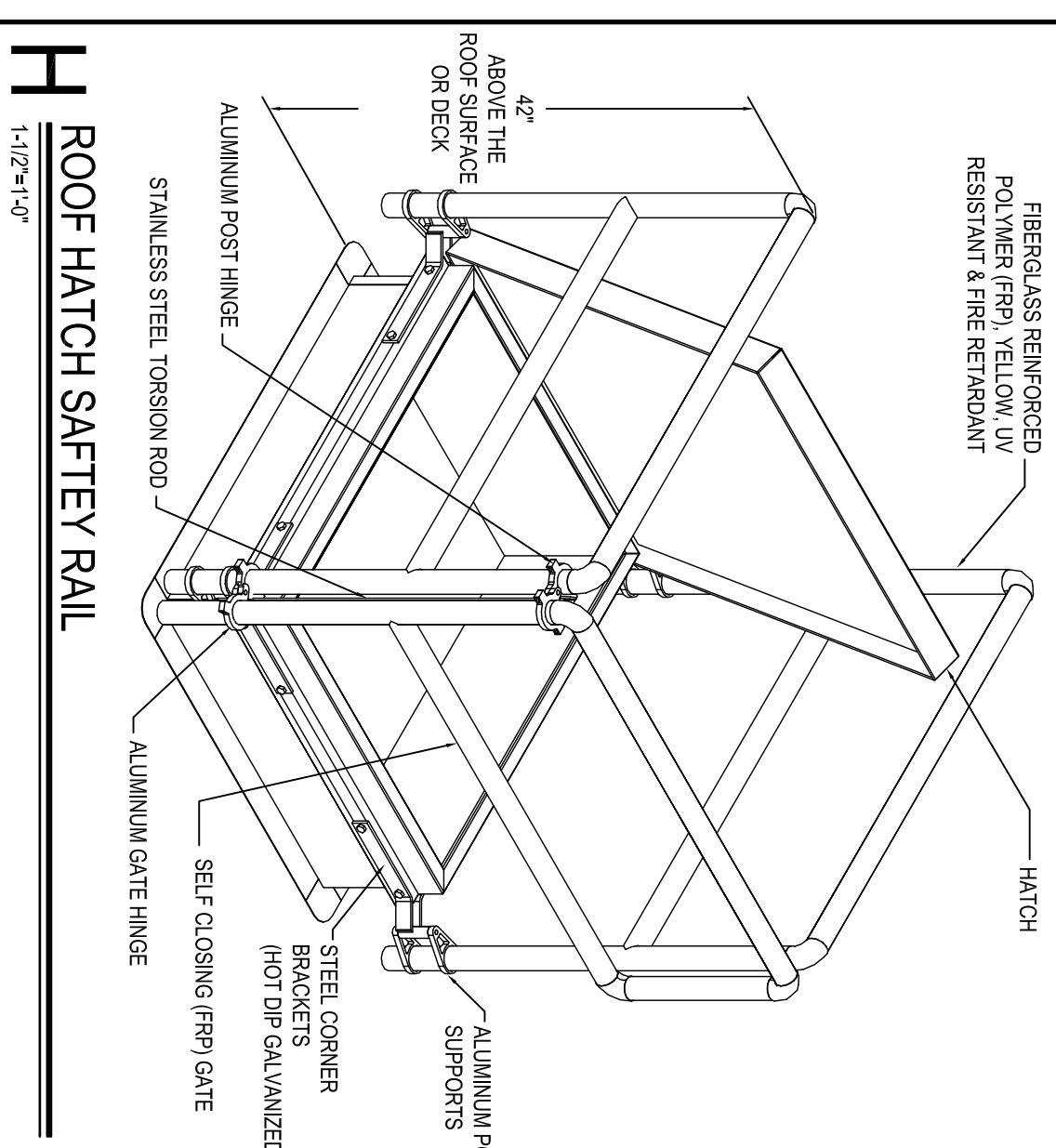
V RIDGE
1:1/2"=1'-0"



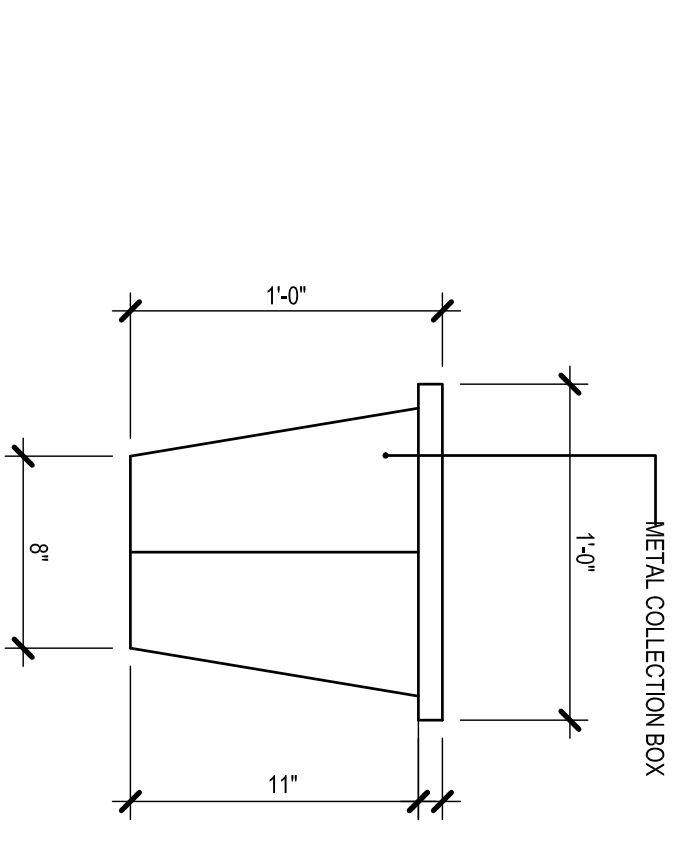
R EXPANSION JOINT
1:1/2"=1'-0"



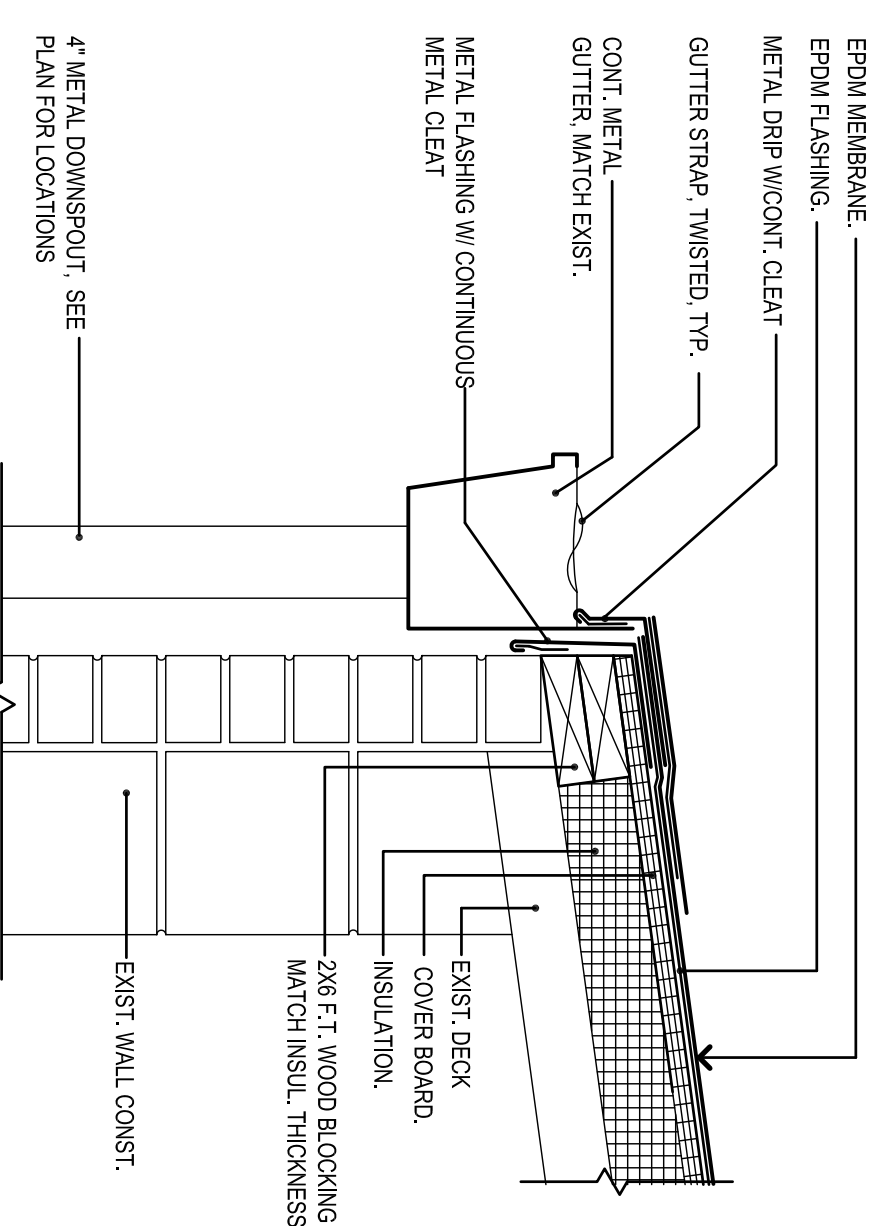
M MECHANICAL UNIT
1:1/2"=1'-0"



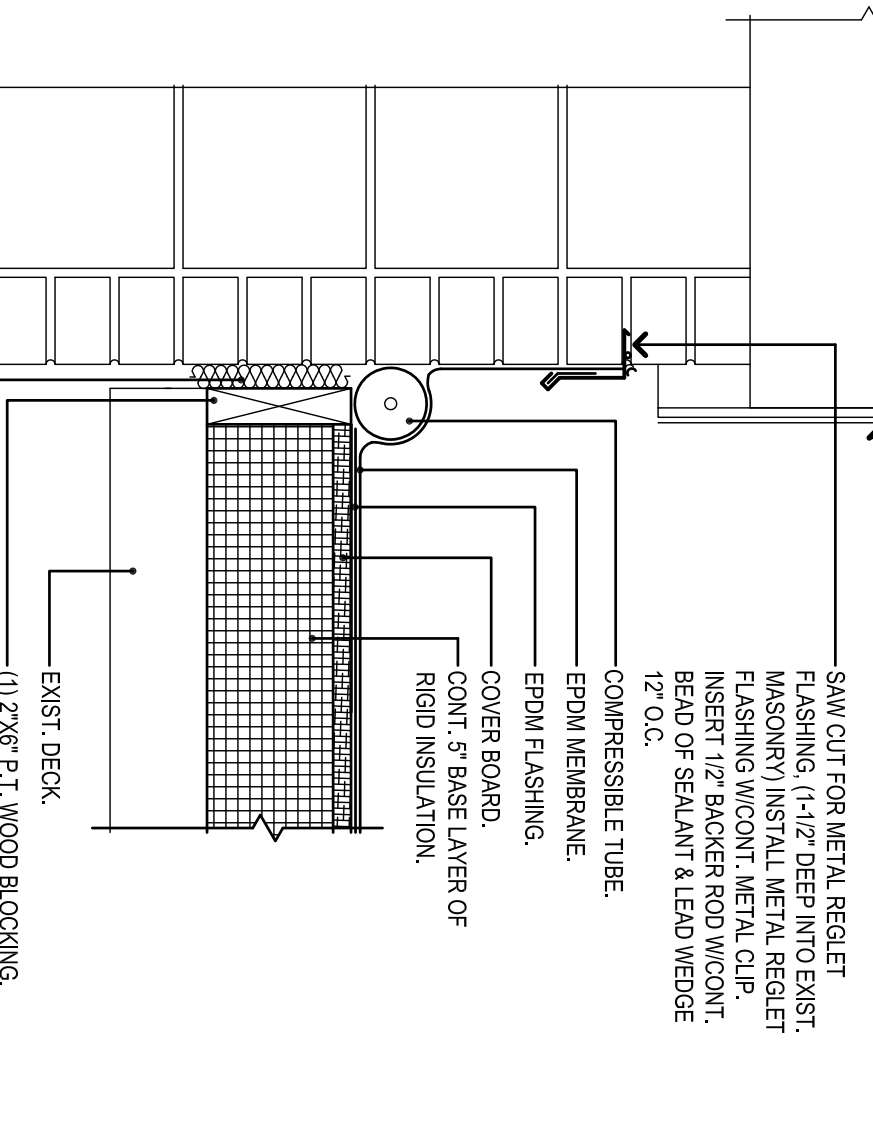
H ROOF HATCH SAFETY RAIL
1:1/2"=1'-0"



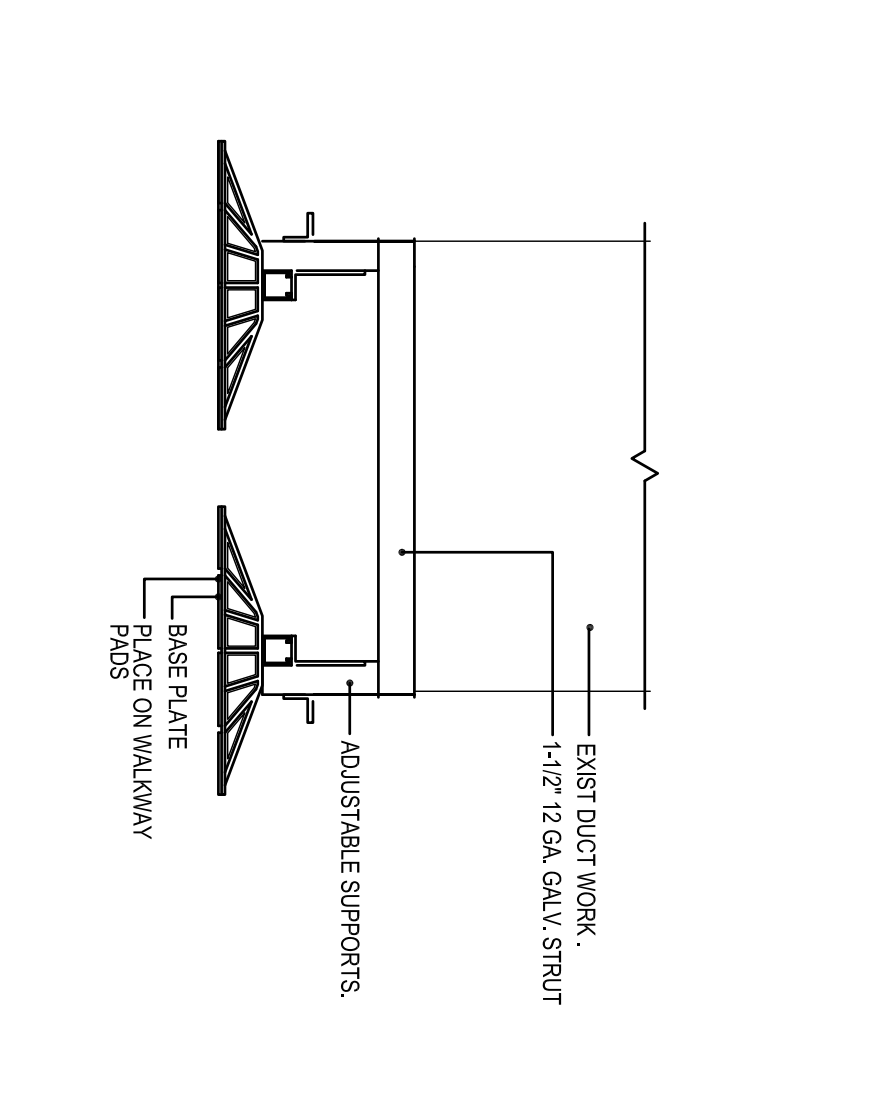
D COLLECTION BOX
1:1/2"=1'-0"



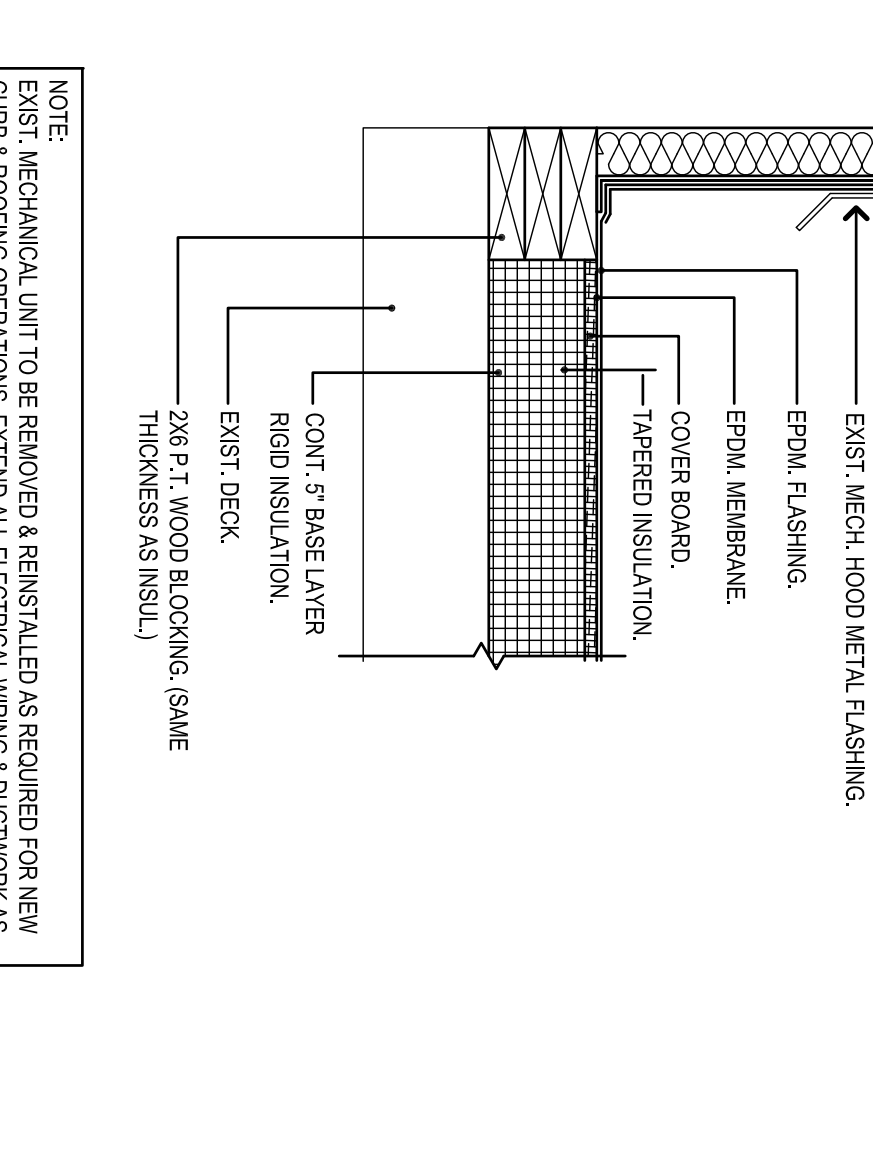
Y ROOF TO WALL
1:1/2"=1'-0"



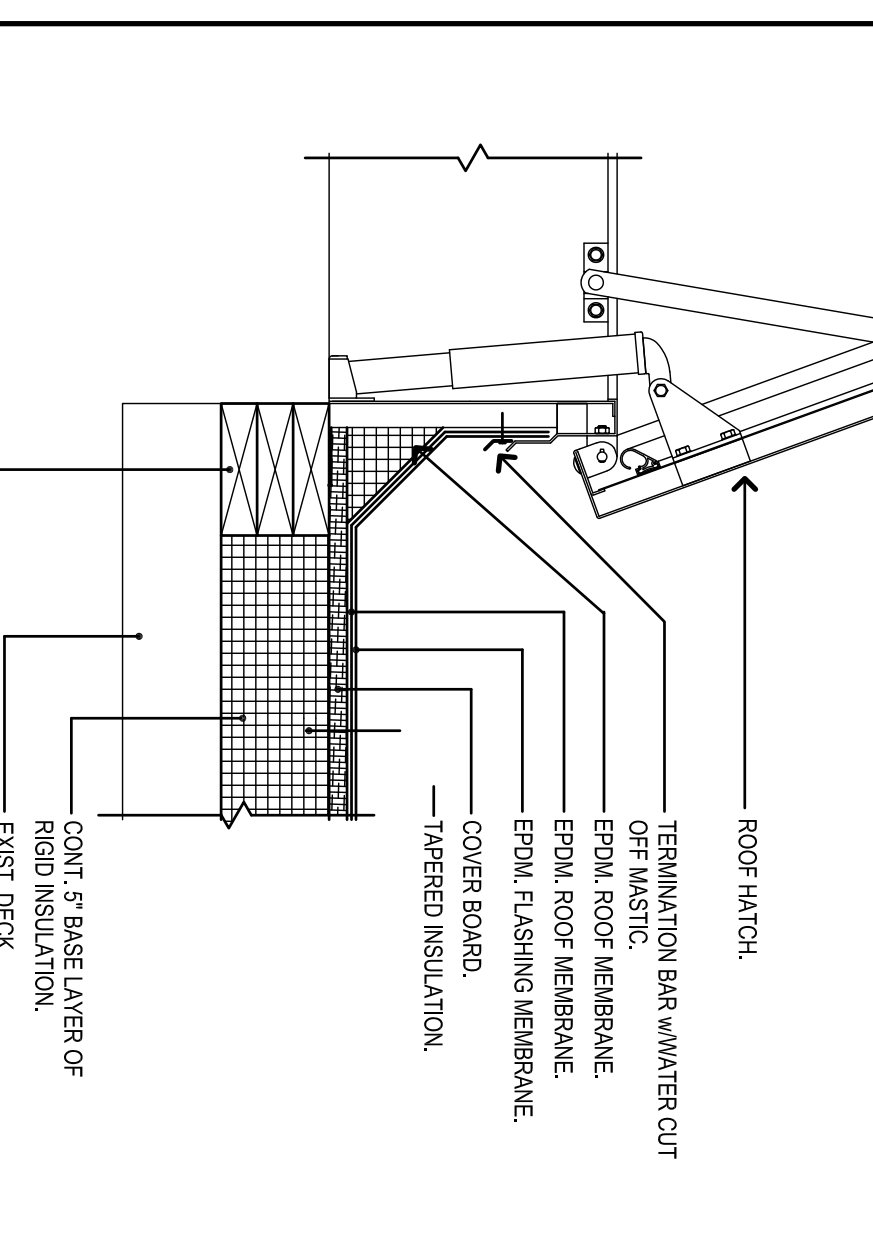
U ROOF TO WALL REGLET
1:1/2"=1'-0"



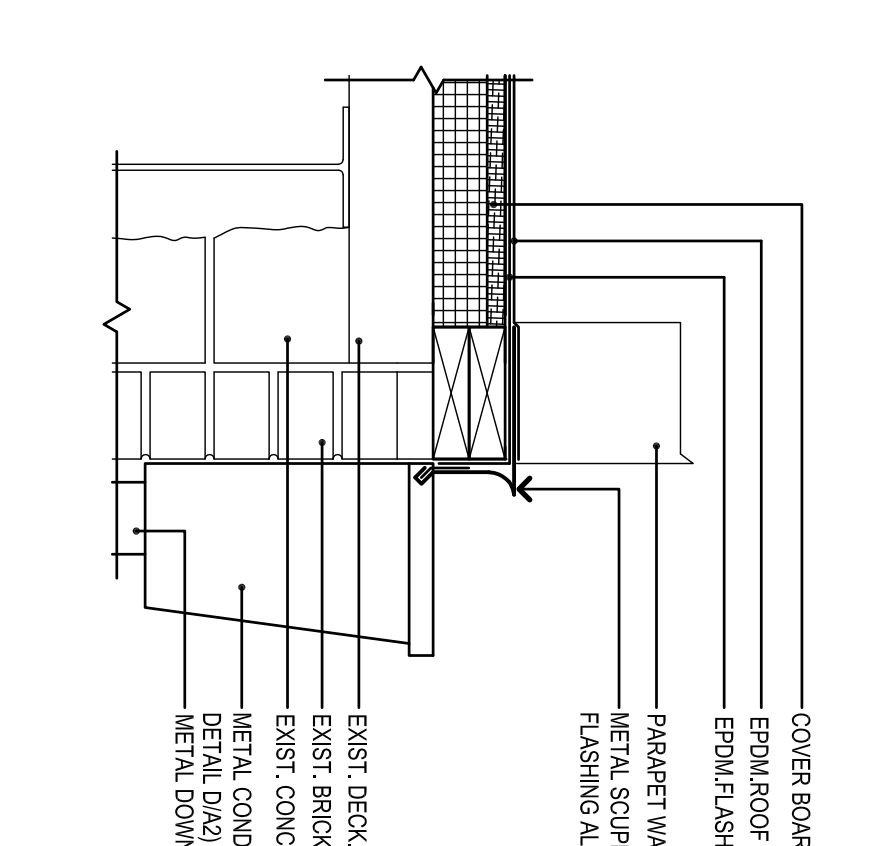
Q DUCT WORK SUPPORT
1:1/2"=1'-0"



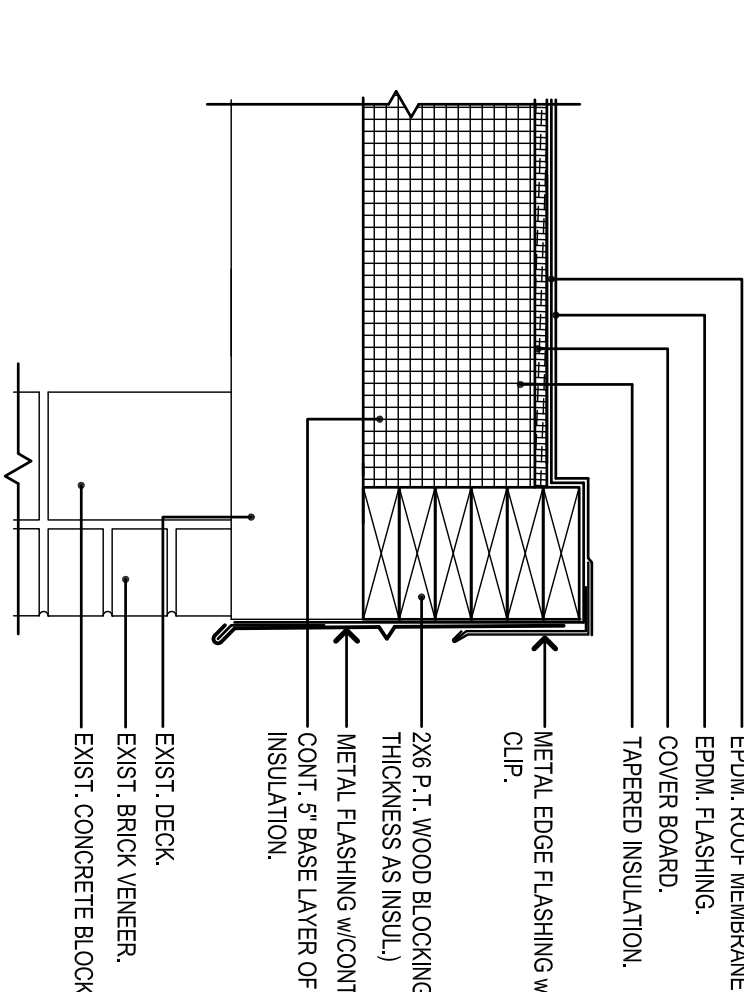
L ROOF FAN UNIT
1:1/2"=1'-0"



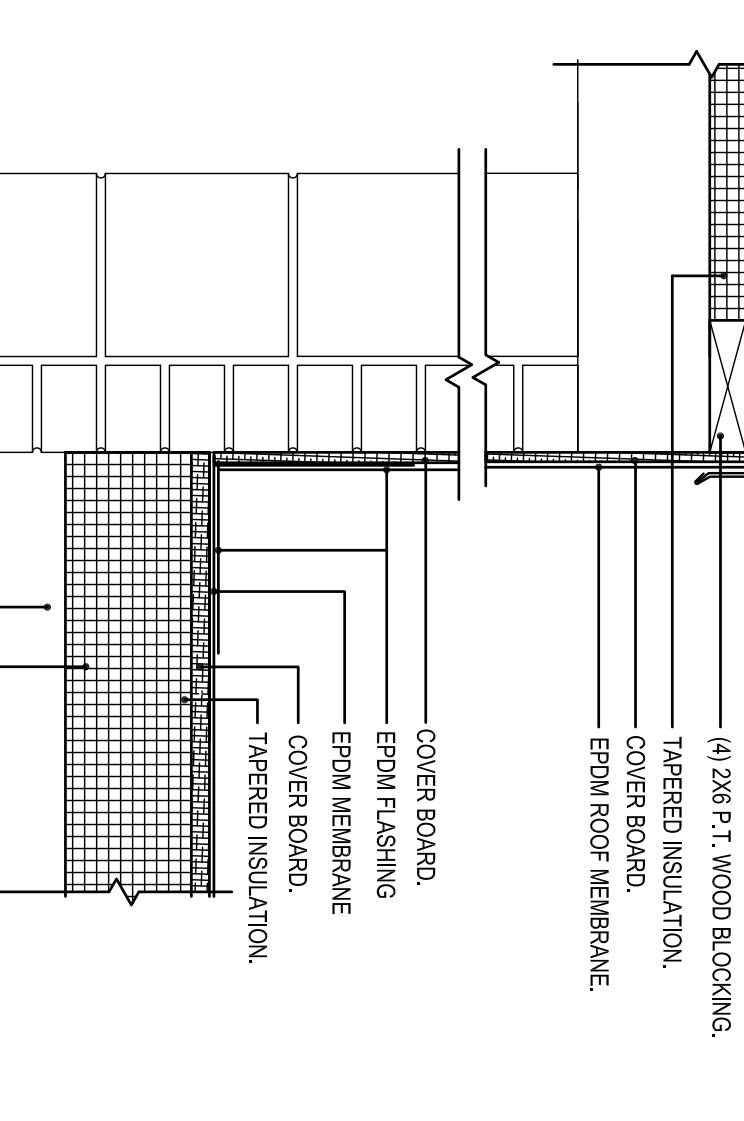
G ROOF HATCH
1:1/2"=1'-0"



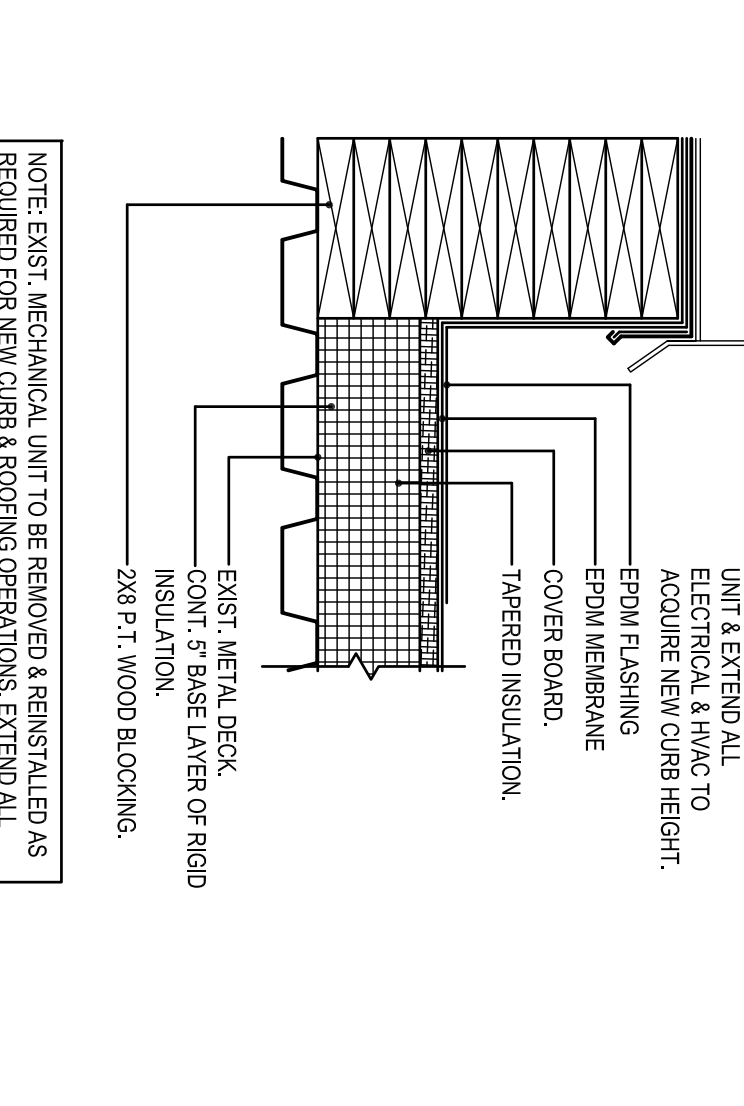
C SCUPPER WITH COLLECTION BOX
1:1/2"=1'-0"



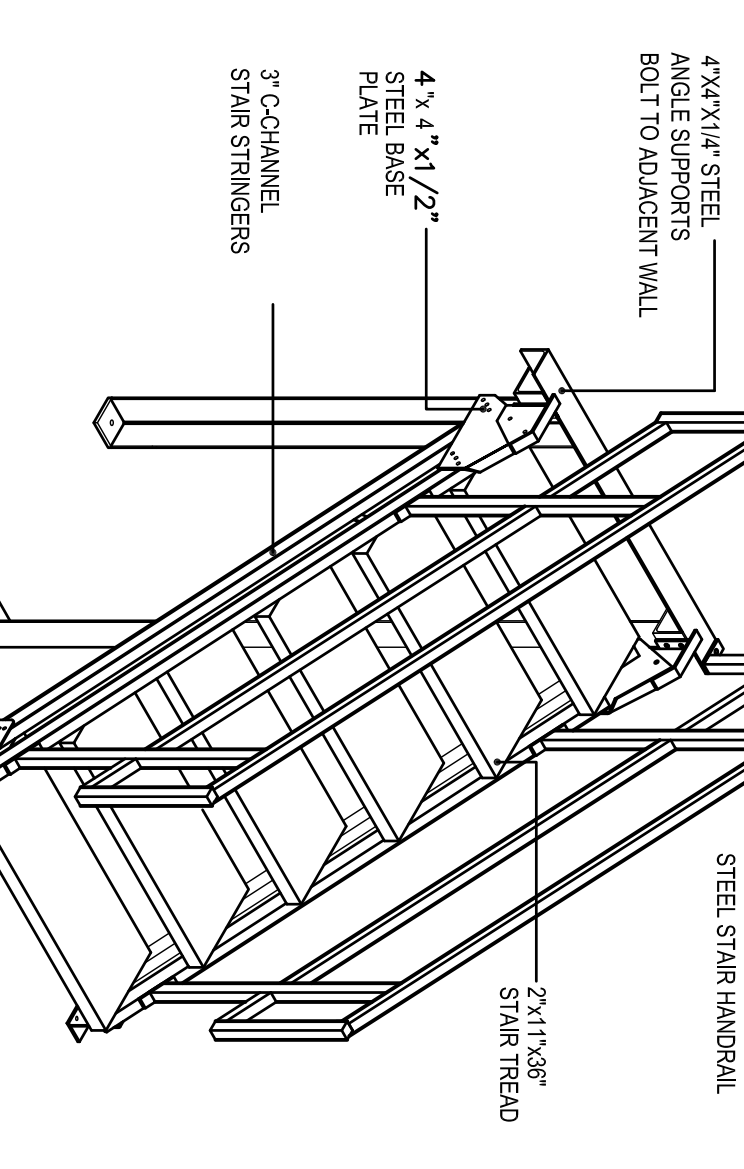
X ROOF EDGE
1:1/2"=1'-0"



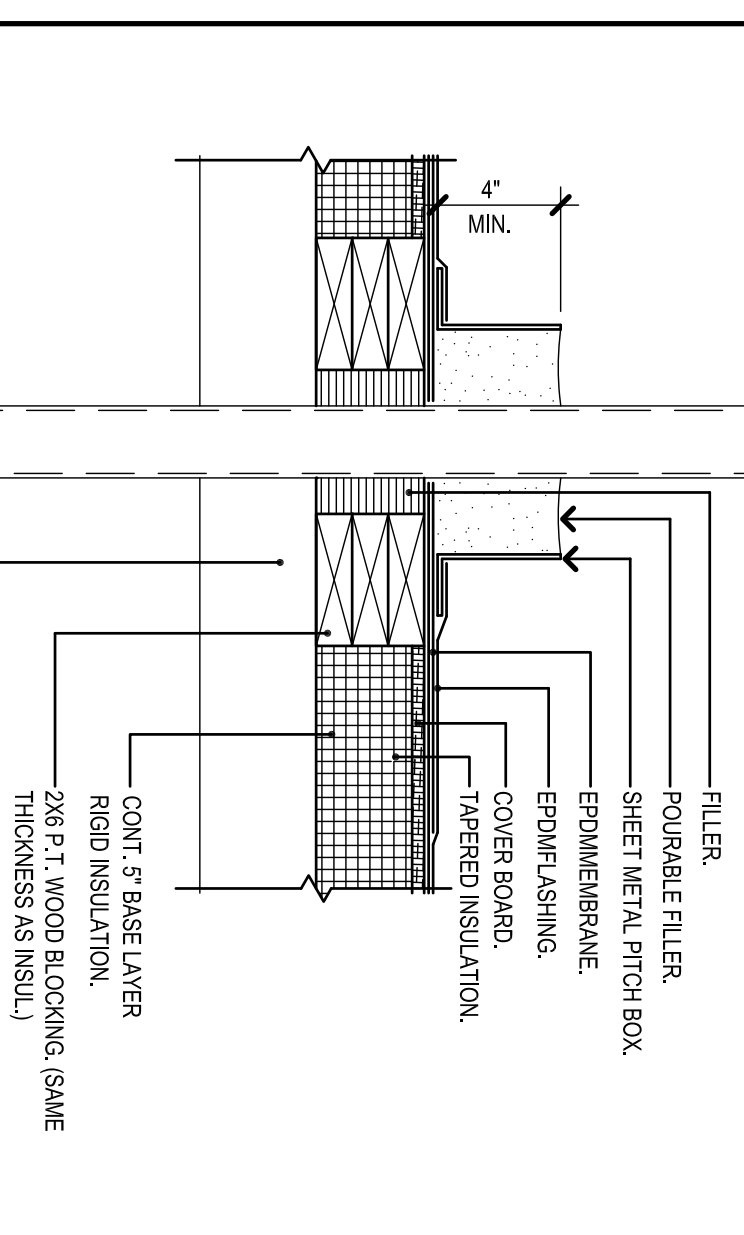
T ROOF TO WALL
1:1/2"=1'-0"



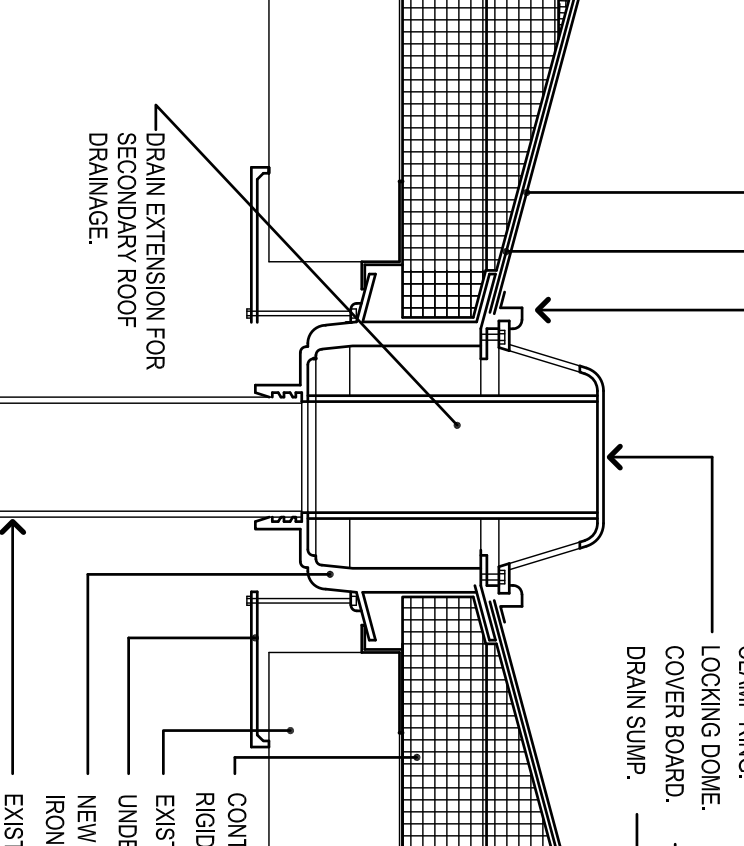
P ROOF TOP MECHANICAL UNIT - 2
1:1/2"=1'-0"



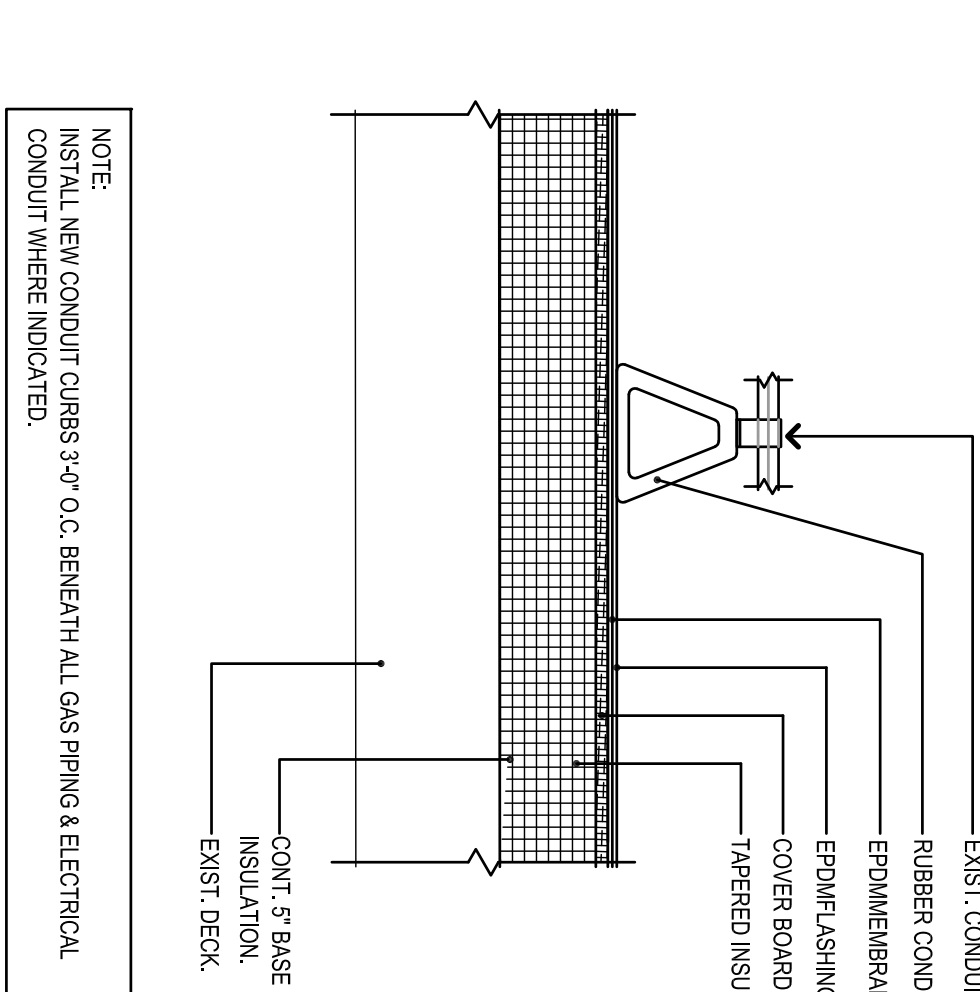
K METAL STAIRCASE
1:1/2"=1'-0"



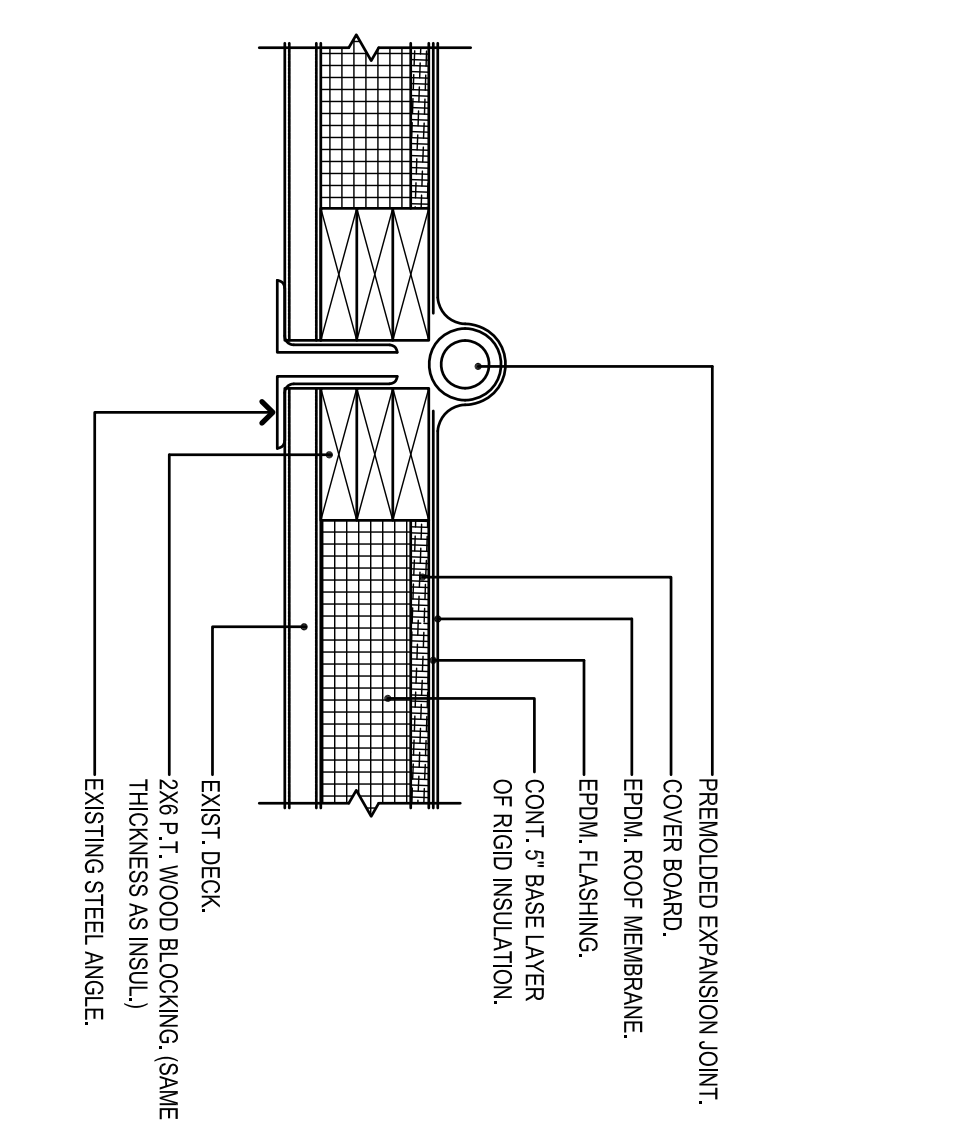
F PITCH POCKET
1:1/2"=1'-0"



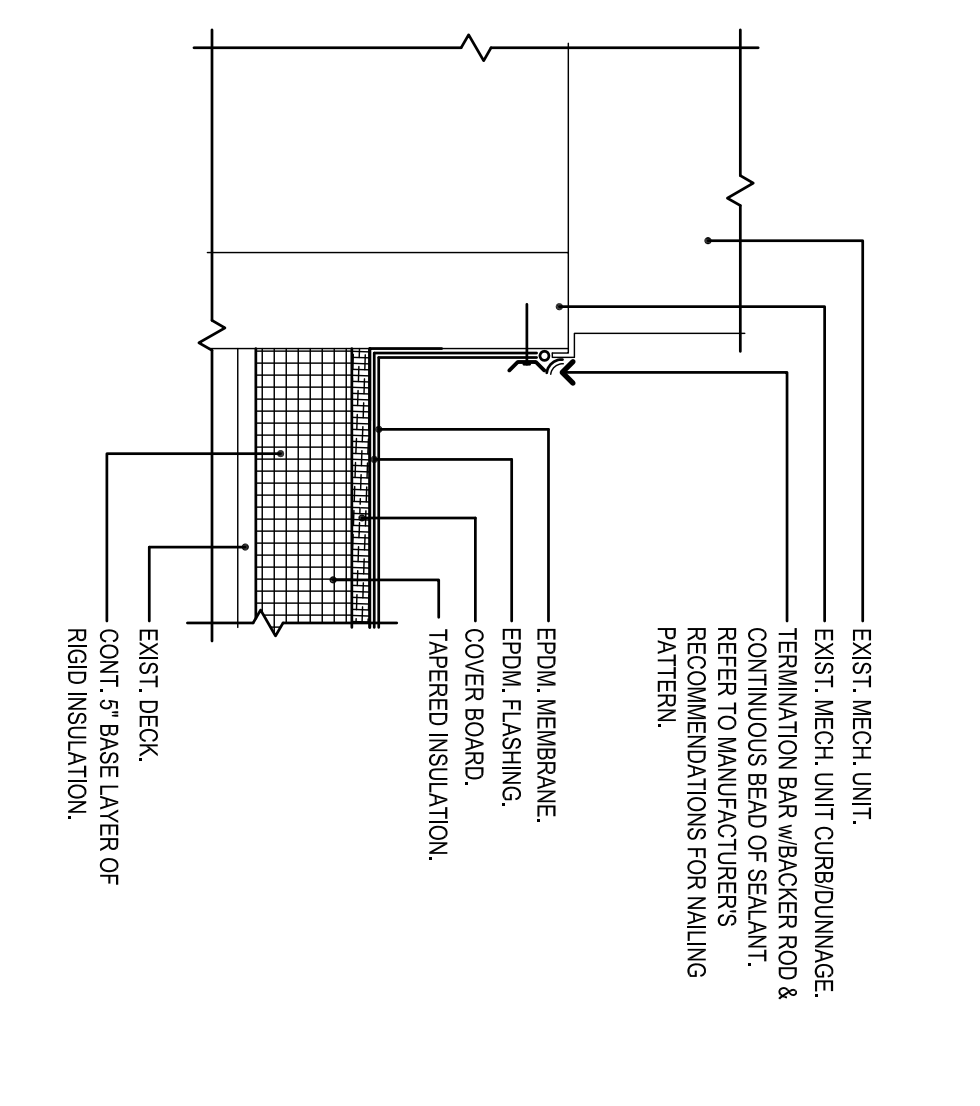
B SECONDARY OVERFLOW ROOF DRAIN
1:1/2"=1'-0"



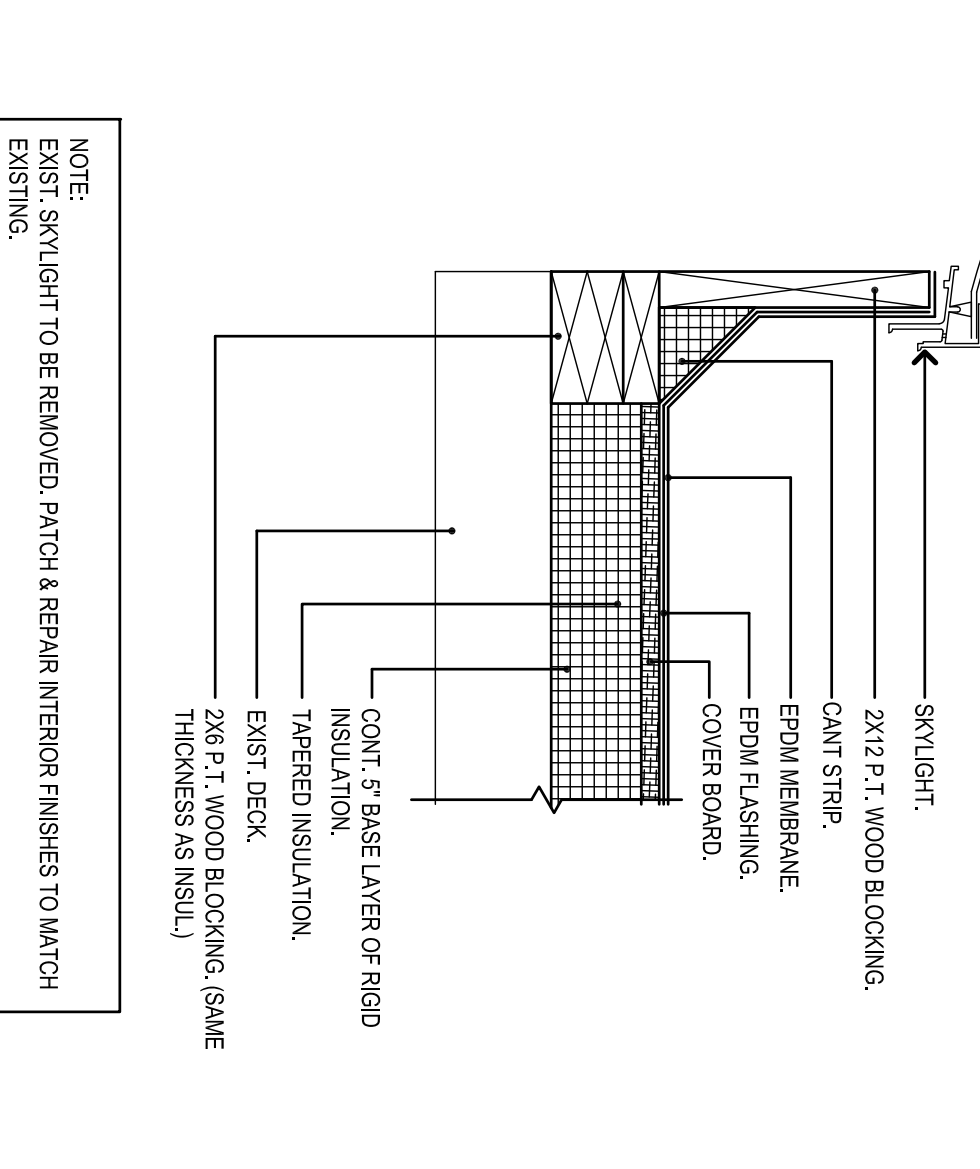
W CONDUIT CURB
1:1/2"=1'-0"



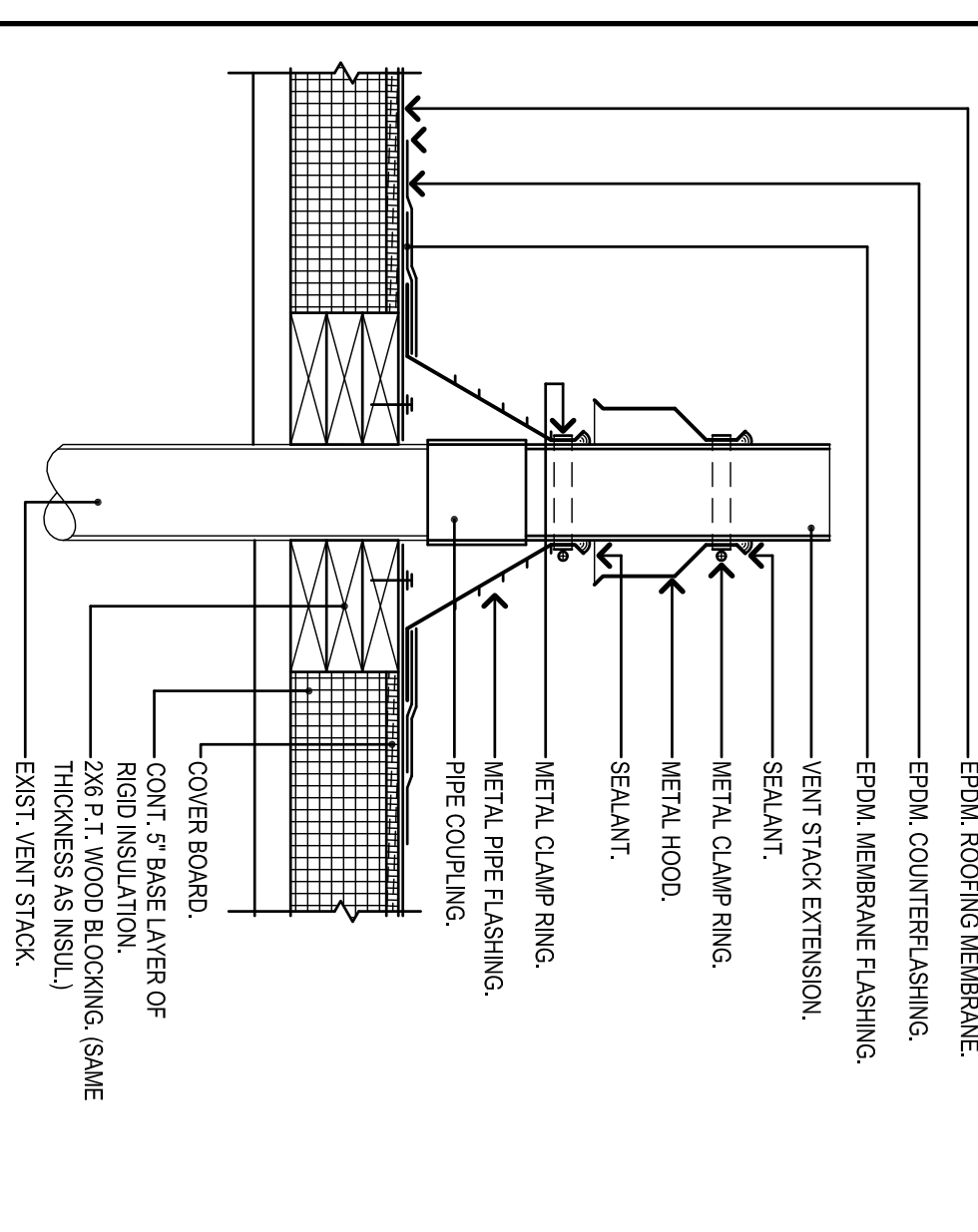
S EXPANSION JOINT
1:1/2"=1'-0"



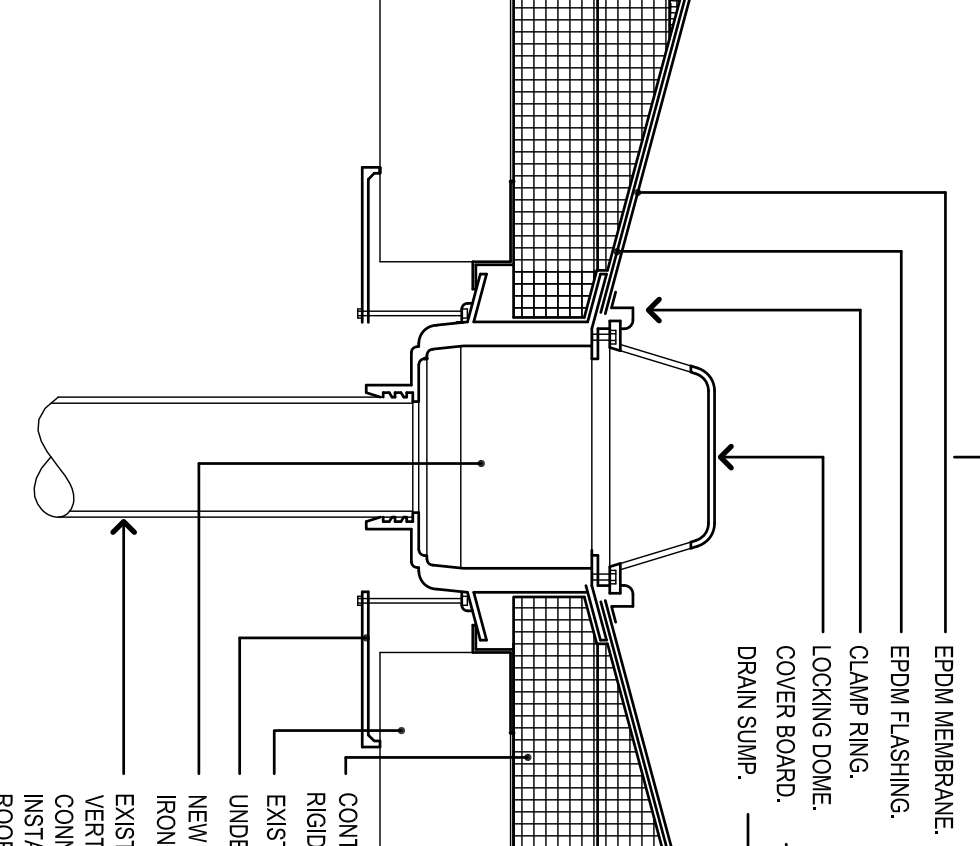
N ROOF TOP MECHANICAL UNIT - 1
1:1/2"=1'-0"



J SKYLIGHT
1:1/2"=1'-0"



E VENT STACK
1:1/2"=1'-0"



A ROOF DRAIN
1:1/2"=1'-0"

Project Name: PARTIAL ROOF REPLACEMENT AT: **BEECHER ROAD ELEMENTARY SCHOOL**
40 BEECHER ROAD, WOODBRIDGE, CONNECTICUT 06525

SILVER PETRUCELLI + ASSOCIATES
3190 WHITNEY AVENUE HAMDEN CT 06518
311 STATE STREET NEW LONDON CT 06320
203 230 9007 silverpetrucci.com

Contractor: _____
Designer: _____
Date: _____
Revised By: _____

Drawing Title: **ROOF DETAILS**
Scale: 1:1/2"=1'-0"
Date: _____
Drawn By: _____
Checked By: _____
Project Number: 23 108

Sheet Number: **A3**