

**AGENDA  
OURAY CITY COUNCIL**

**Monday, April 21, 2025 - 4:00 PM**

**Ouray Community Center  
320 6th Ave  
Ouray, CO 81427**

**VIRTUAL OPTION - <https://zoom.us/j/9349389230>**

Meeting ID: 934 938 9230 Passcode: 491878 Or dial: 408 638 0968 or 669 900 6833

**Ouray City Council Work Session**

- Changes to this agenda can be found on the bulletin board at City Hall
- Electronic copies of the Council Packet are available on the City website at [www.cityofouray.com](http://www.cityofouray.com). A hard copy of the Packet is also available at the Administrative Office for interested citizens.
- Notice is hereby given that a majority or quorum of the Planning Commission, Ouray Economic Development Committee, Beautification Committee, Tourism Advisory Committee, Main Streets Committee, and/or Parks and Recreation Committee may be present at the above noticed City Council meeting to discuss any or all of the matters on the agenda below for Council consideration

1. CALL TO ORDER
2. DISCUSSION ITEMS
  - a. Library Expansion Plan Review

# OURAY PUBLIC LIBRARY



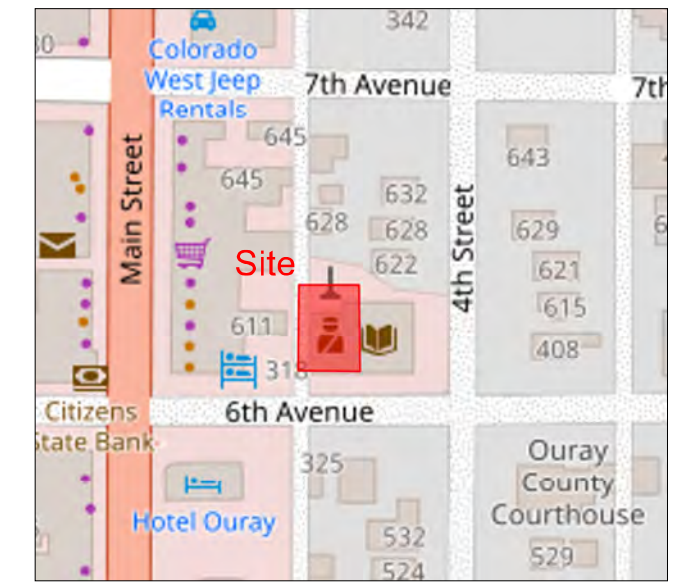
SCHEMATIC DESIGN PRICING

2/27/2025

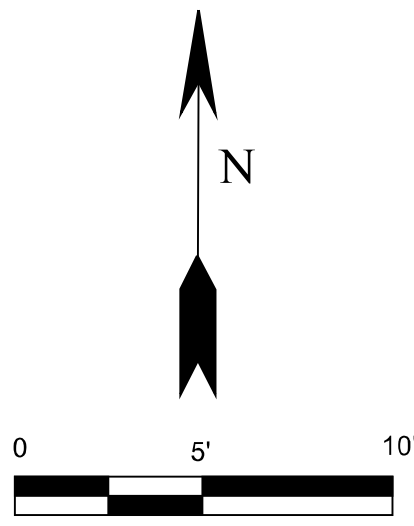
**KEO**  
studioworks  
PO BOX 3371 ASPEN, CO 81612  
970-319-1229

# Site Plan Survey

## West 50' of Lot 21, Block 18 City of Ouray, Colorado



Location Map - not to scale



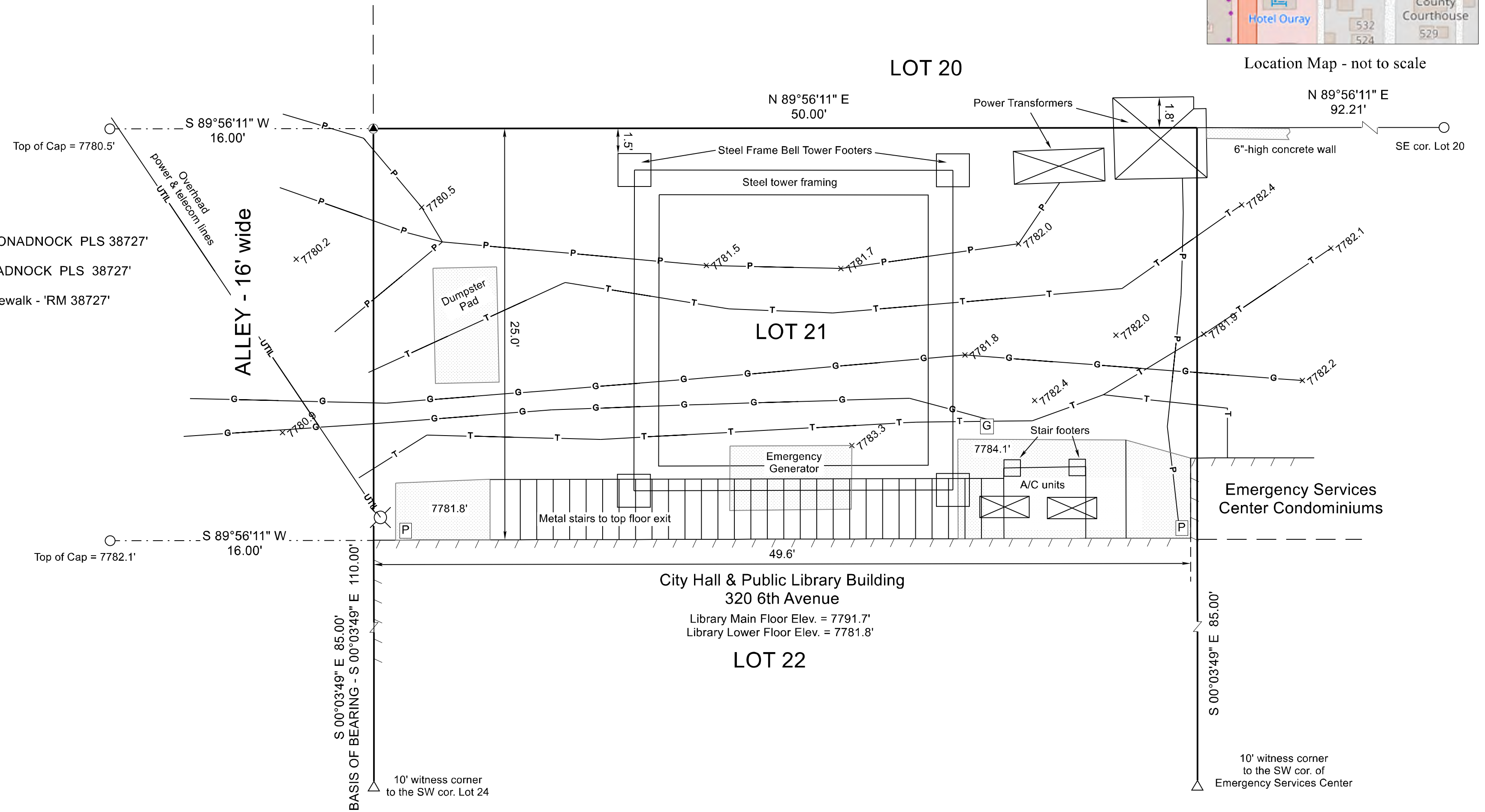
Scale: 1"=5'

Linear Units: U.S. Survey Feet

Vertical Datum - NGVD 1929

### LEGEND

- - Found 2" aluminum cap on #5 rebar - 'MONADNOCK PLS 38727'
- - Found 1-1/2" stainless steel disc - 'MONADNOCK PLS 38727'
- △ - Found 3/4" brass disc set in concrete sidewalk - 'RM 38727'
- Ⓟ - power meter / connection
- Ⓜ - gas meter / connection
- ⊗ - utility / light pole
- P— - underground electrical powerline
- G— - underground natural gasline
- T— - underground telecom / fiber lines



### Notes:

1. Survey performed without the benefit of a title commitment. Research was conducted at the Surveyor's Office, Assessor's Office, and Clerk & Recorder's Office of Ouray County, Colorado.
2. Property Description: WEST 50 FEET OF LOT 21, BLOCK 18, CITY OF OURAY, COUNTY OF OURAY, STATE OF COLORADO.
3. This survey is valid only if print has the original seal and signature of the surveyor.
4. Basis of Bearings: Bearings are local grid bearings. The bearing of the line between the northwest corner of Lot 21, Block 18, City of Ouray, Colorado and the 10' witness corner to the southwest corner of Lot 24 of said Block 18 is S 00°03'49" E. Monuments described and shown hereon. All bearings shown hereon are relative thereto.
5. This survey meets the requirements of an improvement survey plat as defined by C.R.S. 38-51-102 (9).
6. Dates of fieldwork: May & June 2024
7. According to Colorado Law, you must commence any legal action based upon any defect in this survey within three (3) years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten (10) years from date of certification shown hereon.
8. Any person who knowingly removes, alters, or defaces any legal land boundary monument and/or boundary monument accessory, commits a class 2 misdemeanor pursuant to C.R.S. 18-4-508.

### Surveyor's Certification Statement

I, Timothy A. Pasek, a Professional Land Surveyor licensed in the State of Colorado, do hereby certify that this plat, consisting of one (1) sheet, accurately represents, to the best of my knowledge, information and belief, a survey made by me or under my responsible charge in accordance with applicable standards of practice. This survey is not a warranty or guarantee, expressed or implied. This survey does not show easements except those specifically shown hereon.



Timothy A. Pasek  
Colorado P.L.S. 38727

Ouray Library  
320 6th Avenue  
Ouray, CO 81427

Monadnock Mineral Services LLC 342 7th Ave - P.O. Box 85 Ouray, CO 81427	
Job No. J24-016	Sheet 1 of 1

## SYMBOL LEGEND

<b>SECTION</b>		<b>MATCH LINE</b>	
		<b>GRID LINE</b>	
<b>DETAIL (PLAN)</b>		<b>SPOT ELEVATION</b>	
<b>DETAIL</b>		<b>DRAWING REVISION</b>	
<b>EXTERIOR ELEVATION</b>		<b>INTERIOR ELEVATION</b>	
<b>ROOM NAME &amp; NUMBER</b>		<b>WINDOW MARK</b>	
<b>DOOR MARK</b>		<b>ASSEMBLY MARK</b>	

## PROJECT DIRECTORY

### OWNER

CITY OF OURAY PUBLIC LIBRARY  
320 6TH STREET, OURAY, CO 81427  
CONTACT: AIMEE VAN  
(970) 325-4616  
AIMEEOURAYPL@GMAIL.COM

### ARCHITECT

© 2024 KEostudioworks, INC.  
PO BOX 3634 TAOS, NM 87571  
CONTACT: JIM KEHOE  
(970) 319-1229  
JIM@KEOSTUDIOWORKS.COM

### CODE CONSULTANT

CODE CONSULTANTS INTERNATIONAL  
3190 S. WADSWORTH BLVD, SUITE 370, LAKEWOOD, CO 80227  
CONTACT: PHIL GODDARD  
303-973-7766 x10  
PGODDARD@BUILDINGCCI.COM

### CIVIL ENGINEER

GOFF ENGINEERING & SURVEYING, INC.  
126 ROCK POINT DRIVE, SUITE A, DURANGO, CO 81301  
CONTACT: ROB HARRIES  
(970) 247-1705 x02  
RHARRIES@GOFFENGINEERING.COM

# OURAY LIBRARY EXPANSION

## SCHEMATIC DESIGN PRICING

DATE: 2/27/2025

### PROJECT INFO

**JURISDICTION:** CITY OF OURAY  
**LEGAL DESCRIPTION:** 320 6th AVE OURAY CO 81427  
**ZONING:** R2 (RESIDENTIAL - HIGH DENSITY)  
**CLIMATE ZONE:** 6B



## ABBREVIATIONS

AAD	ATTIC ACCESS DOOR	GALV	GALVANIZED	RM	ROOM
ADD	ADJUNCTION	GC	GENERAL CONTRACTOR	RW	ROOF WINDOW
ADJ	ADJACENT	GL	GLASS	RO	ROUGH OPENING
ADR	AREA OF REFUGE	GR	GRADE	SAN	SANITARY
AGG	AGGREGATE	GLB	LAMINATED WOOD BEAM	SECT	SECTION
AFF	ABOVE FINISHED FLOOR	GYP	GYPSPUM	SEW	SEWER
ALT	ALTERNATE	GWB	GYPSPUM WALLBOARD	SHT	SHEET
ARCH	ARCHITECTURAL	HDW	HARDWARE	SHLV	SHELVES
BM	BEAM	HD	HEAD	SM	SIMILAR
BRG	BEARING	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	SL	SLIBING
BET	BETWEEN	HT	HEIGHT	SM	SHEET METAL
BD	BOARD	HWY	HIGHWAY	STC	SOUND-TRANSMISSION CLASS
BS	BOTH SIDES	HOR	HORIZONTAL	SPEC	SPECIFICATION
BO	BOTTOM OF	ID	INSIDE DIAMETER	SO	SQUARE
BLDG	BUILDING	INT	INTERIOR	STD	STANDARD
CAB	CABINET	JT	JOINT	STL	STEEL
CL	CENTERLINE	LAM	LAMINATE	STRUCT	STRUCTURAL (AL)
CER	CERAMIC	LAV	LAVATORY	SUB	SUBSTITUTE
CLR	CLEAR	MFG	MANUFACTURER	SUPPL	SUPPLEMENT (AL)
CLOS	CLOSET	MO	MASONRY OPENING	SUSP	SUSPEND (ED)
CMU	CONCRETE MASONRY UNIT	MTL	MATERIAL	TEL	TELEPHONE
COL	COLUMN	MAX	MAXIMUM	TV	TELEVISION
CONC	CONCRETE	MED	MEDICINE CABINET	TEMP	TEMPERED
CJ	CONSTRUCTION JOINT	MECH	MECHANICAL	THK	THICK
CONT	CONTINUOUS	MIN	MINIMUM	THK	THICK
CP	DAMP-PROOFING	MISC	MISCELLANEOUS	TPH	TOILET PAPER HOLDER
DET	DETAIL	NOT IN CONTRACT	NOT IN CONTRACT	T&G	TONGUE AND GROOVE
DIA	DIAMETER	NA	NOT APPLICABLE	T&B	TOP AND BOTTOM
DIM	DIMENSION	NTS	NOT TO SCALE	TO	TOP OF
DW	DISHWASHER	OC	ON CENTER	T	TREAD
DN	DOWN	OPG	OPENING	TS	TUBE STEEL
DR	DRAIN	OPP	OPPOSITE	TYP	TYPICAL
DS	DOWNSPOUT	OPH	OPPOSITE HAND	UG	UNDERGROUND
DRWG	DRAWING	OD	OUTSIDE DIAMETER	U.N.O.	UNLESS NOTED OTHERWISE
EA	EACH	P	PENNY (NAILS, ETC.)	UPM	UNFINISHED
EL	ELEVATION	PERF	PERFORATED (D)	UBC	UNIFORM BUILDING CODE
EQ	EQUAL	PSFM	PREFINISHED SHEET METAL	USG	UNITED STATES GAGE
EXIST	EXISTING	PL	PLATE	VAR	VARIABLE
EJ	EXPANSION JOINT	PLY	PLYWOOD	VENT	VENTILATE
EXT	EXTERIOR	PROD	PRODUCT	VERF	VERIFY IN FIELD
FEC	FIRE EXTINGUISHER CABINET	PROJ	PROJECT	VERT	VERTICAL
FOC	FACE OF CONCRETE	PROP	PROPERTY	V	VINYL ASBESTOS TILE
FOS	FACE OF STUD	R	RADIUS OR RISER	V	VOLTAGE
FIN	FINISH	REF	REFER	WC	WATER CLOSET
FP	FIREPROOF	REFR	REFRIGERATOR	WT	WATERPROOF
FL	FLOOR	RENF	REINFORCE (D)	W	WEIGHT
FD	FLOOR DRAIN	REQD	REQUIRED	WIN	WINDOW
FTG	FOOTING	RHS	ROUND HEAD	WI	WITH (COMMON FORM)
FDN	FOUNDATION	GUAGE	GUAGE	WO	WITHOUT
GA				W	WOOD

## GENERAL NOTES

- THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 2017, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATIONS, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES. GENERALLY, ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE REGULATED OR SPECIFIED BY ARCHITECT OR GOVERNING BODIES.
- THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
- ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT. AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS TO THE REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.
- THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DRAWINGS NOT TO BE SCALED. NOTIFY ARCHITECT OF ANY CONFLICTS OR OMISSIONS.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

## DRAWING INDEX

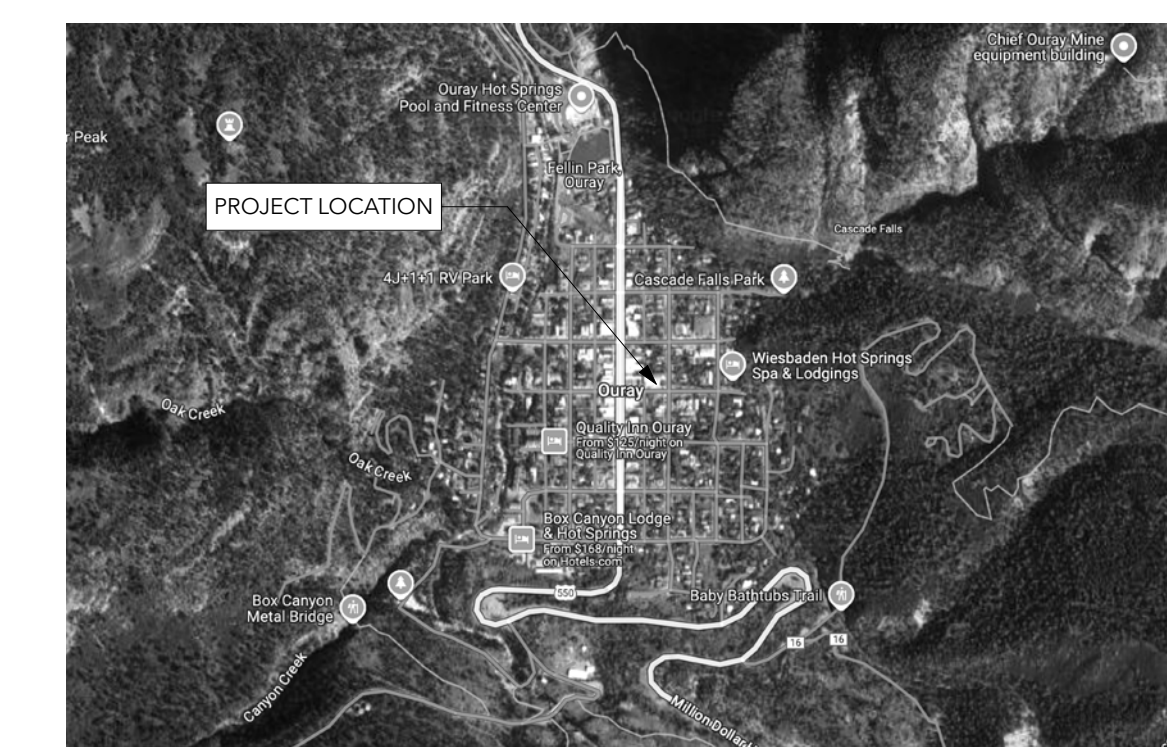
<b>GENERAL</b>	PROJECT TIMELINE
	COVER SHEET
	SURVEY
G000	GENERAL INFO

<b>ARCHITECTURAL</b>	A001 CODE SUMMARY & REFERENCE PLANS
	A101 SITE PLAN
	D201 DEMOLITION PLANS
	D202 DEMOLITION PLANS
	A201 FLOOR PLANS
	A202 FLOOR PLANS
	A301 ELEVATIONS
	A401 SECTIONS

## HISTORIC NOTES

- CONTRACTOR IS DIRECTED TO RECOGNIZED THE VALUE AND SIGNIFICANCE OF THE HISTORIC NATURE OF THE BUILDING AND EXERCISE EXTREME CARE DURING WORK TO ENSURE EXISTING BUILDING, ITS DETAILS, MATERIALS, AND FINISHES THAT ARE TO REMAIN ARE NOT DAMAGED BY THE WORK BEING PERFORMED.
- REINSTALL SALVAGED ELEMENTS IN THEIR ORIGINAL LOCATIONS U.N.O.. REINSTALL ELEMENTS IN ACCORDANCE WITH APPROVED SHOP DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR PROPER INVENTORYING AND DISTRIBUTIONS TO APPROPRIATE SUBCONTRACTOR OF SALVAGED, REFURBISHED, AND REPLICATED MATERIAL FOR REINSTALLATION.
- THE CONTRACTOR WILL PROTECT ALL UTILITIES, STRUCTURES, FIXTURES, DESIGNATED TO REMAIN AND/ OR REFURBISHED.
- CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT, RECESSED ITEMS, AND ALL OTHER ITEMS AS REQUIRED.
- WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND TO THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
- PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ECT.. VERIFY TYPIC REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION.

## VICINITY MAP



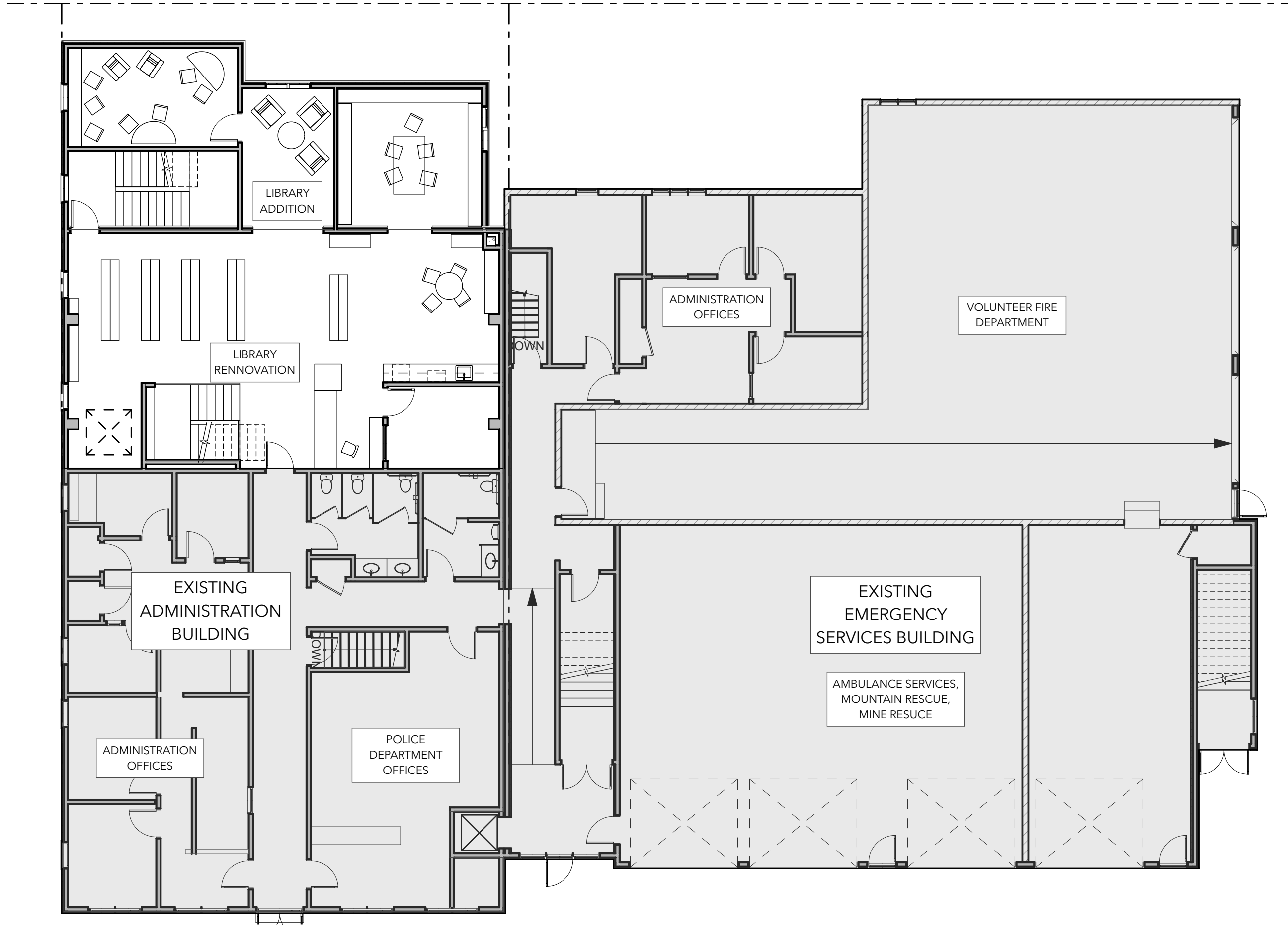
- CODE REVIEW INSIGHTS**
1. EXISTING BUILDING NON-SPRINKLERED. ADDITION IS NOT REQUIRED TO BE SPRINKLERED.
  2. OPEN AIR LIFT REQUIRED AT LOWER & UPPER LIBRARY LEVELS.
  3. EXISTING EGRESS STAIR REQUIRED TO BE REPLACED, 1HR. RATED WALL.
  4. 10% MAXIMUM OPENINGS ON NORTH AND WEST EXTERIOR WALLS.
  5. ROOF DECK FEASIBLE, VESTIBULE COORD. REQUIRED FOR ACCESS & EGRESSES FROM UPPER AND MAIN LEVELS.

**AREA SUMMARY**

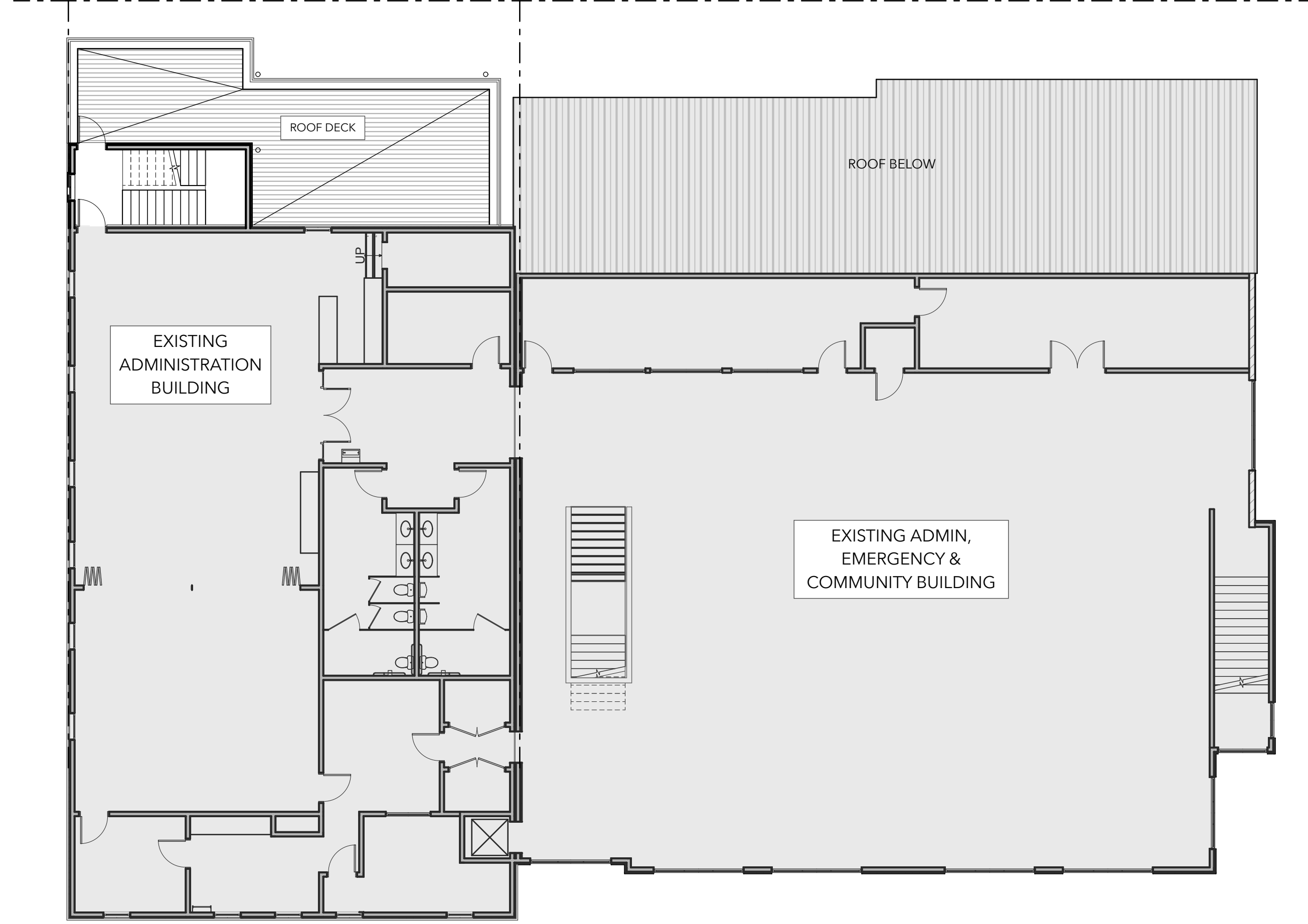
<b>LOWER LEVEL</b>	
RENOVATION AREA	1,311 SF
ADDITION AREA	836 SF
<b>MAIN LEVEL</b>	
RENOVATION AREA	1,311 SF
ADDITION AREA	836 SF
<b>UPPER LEVEL &amp; ROOF DECK</b>	
RENOVATION AREA	0 SF
ADDITION AREA	175 SF
ROOF DECK AREA	677 SF
<b>TOTAL RENOVATION AREA</b>	<b>2,622 SF</b>
<b>TOTAL ADDITION AREA</b>	<b>1,847 SF</b>
<b>TOTAL ROOF DECK AREA</b>	<b>677 SF</b>



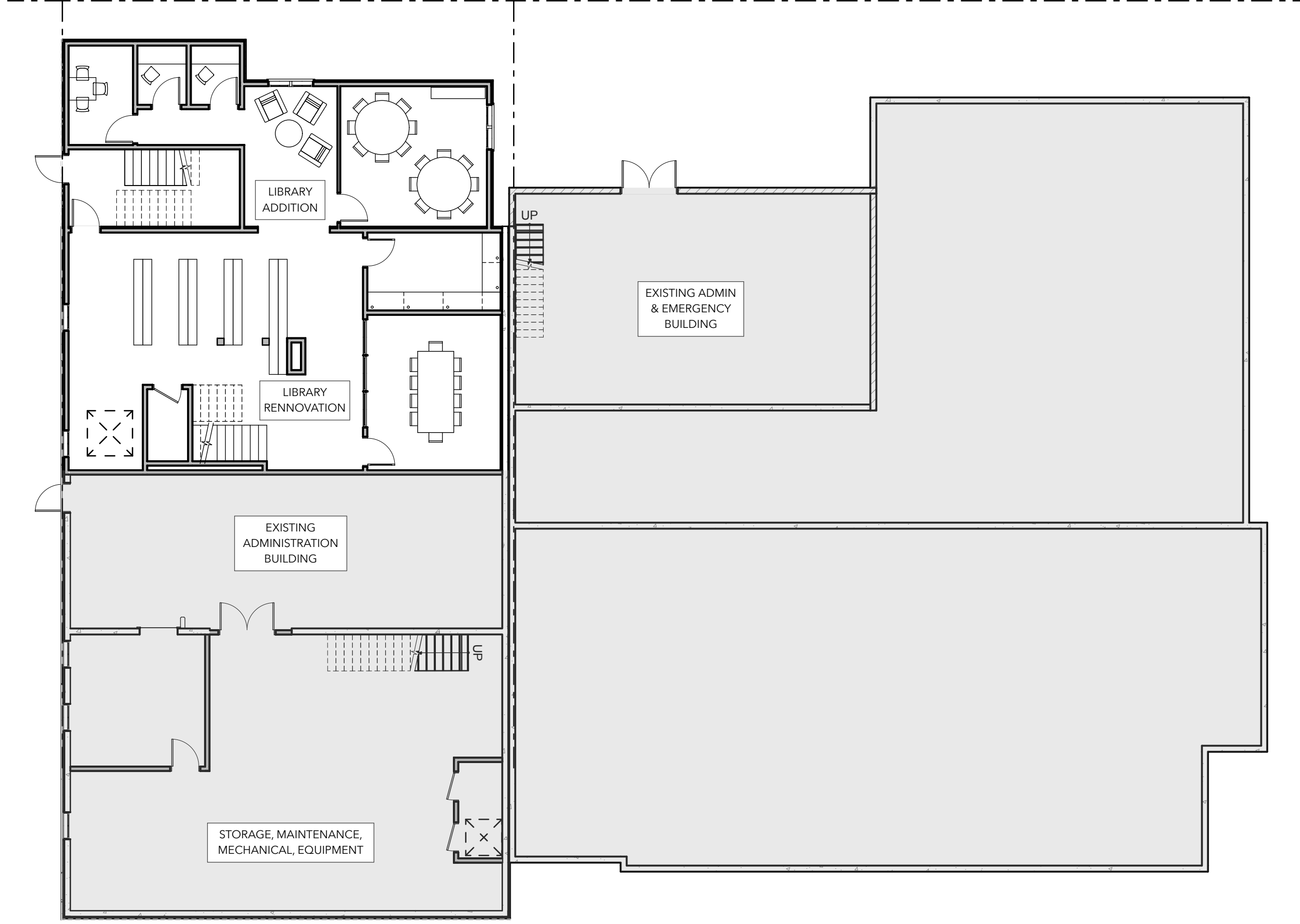
**OPEN AIR ACCESSIBLE LIFT**



**2 MAIN LEVEL REFERENCE PLAN**  
 SCALE: 3/32" = 1'-0"



**3 UPPER LEVEL REFERENCE PLAN**  
 SCALE: 3/32" = 1'-0"



**1 LOWER LEVEL REFERENCE PLAN**  
 SCALE: 3/32" = 1'-0"

**DATE** 2/27/25  
**ISSUANCE** SCHEMATIC DESIGN PRICING

**NOT FOR CONSTRUCTION**

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**CODE SUMMARY & REFERENCE PLANS**

**SITE PLAN KEYED NOTES:**

1. RELOCATE DUMPSTER, TO BE COORDINATED WITH GROCERY.
2. RELOCATE EMERGENCY GENERATOR, REF. CIVIL.
3. RELOCATED CONDENSOR UNITS, REF. CIVIL.
4. TRANSFORMERS / POWER LINE MAINTAIN AND COORDINATE NECESSARY CLEARANCES, TO BE COORDINATED & CONFIRMED WITH UTILITY CO., REF. CIVIL.
5. RELOCATE DATA, GAS LINES, REF. CIVIL.
6. REMOVE COMMUNICATIONS TOWER, COORD. RELOCATION OF EMERGENCY TOWER W. EXISTING EMERGENCY BUILDING. SALVAGE ALL STEEL FROM TOWER, COORD. W CITY.
7. REMOVE EXISTING DOOR & EGRESS STAIR, COORD. EGRESS WITH PROPOSED STAIR AND DOOR.
8. RELOCATE AND COORD. ELEC. SERVICES & METERS, REF. CIVIL.



1



2



3



4

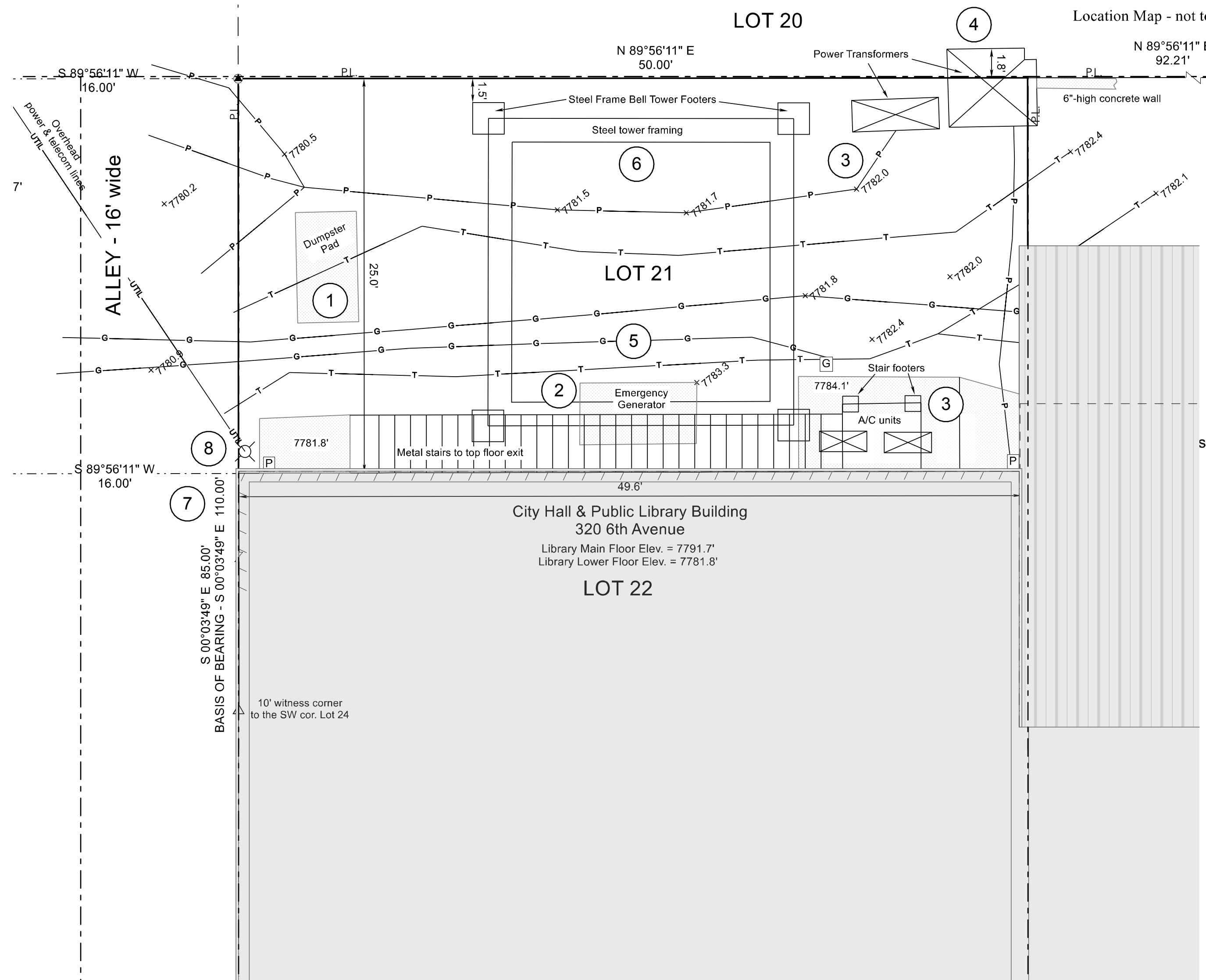


6

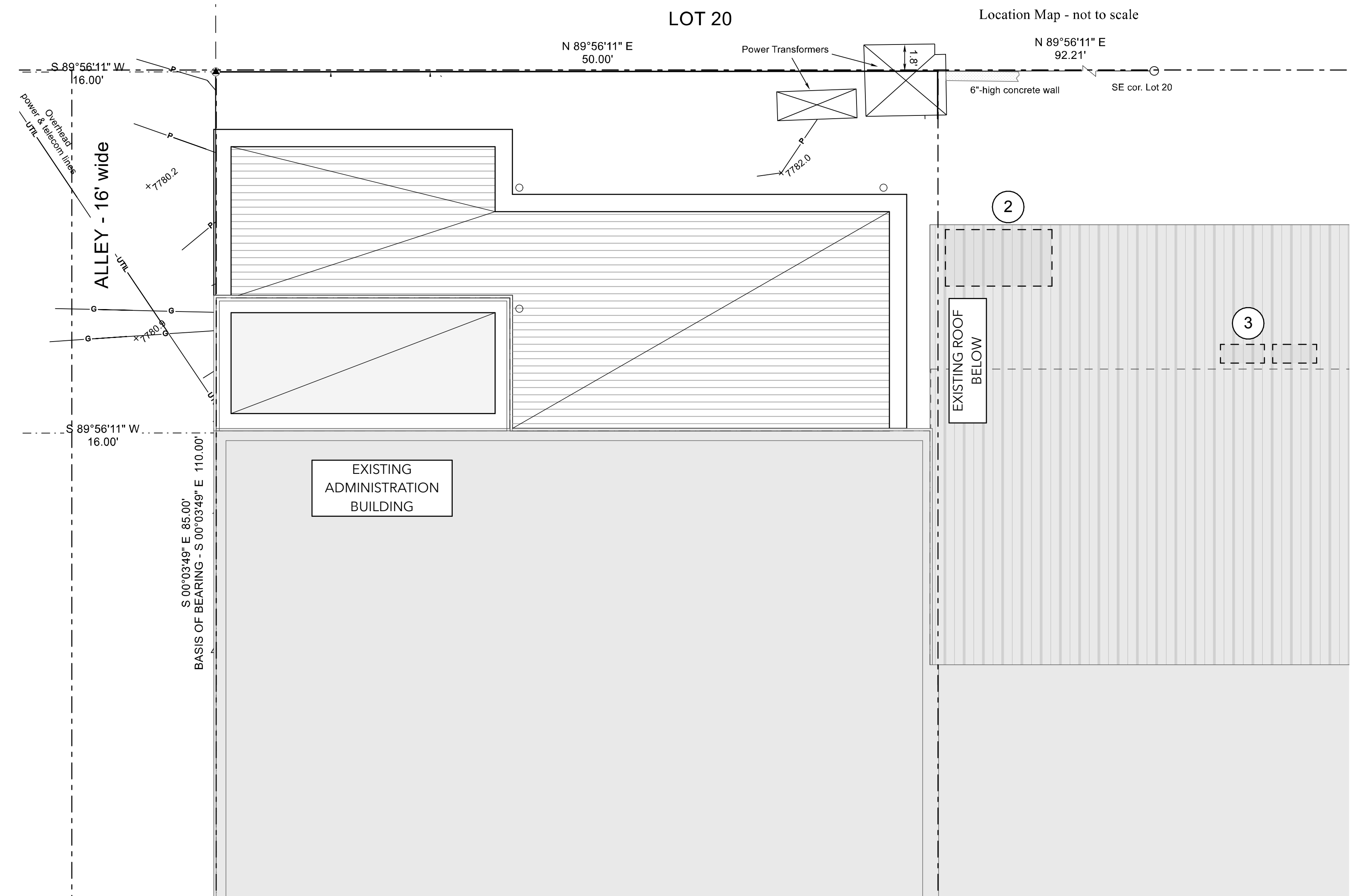
7



8



2 DEMO & UTILITY RELOCATION  
EXISTING SITE PLAN  
SCALE: 3/16" = 1'-0"

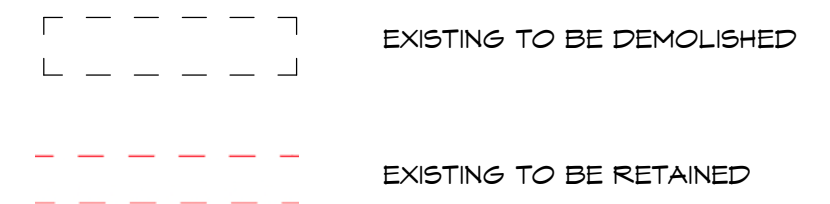


1 SITE PLAN  
SCALE: 3/16" = 1'-0"

**GENERAL DEMOLITION NOTES:**

- 01 THE EXTENT OF DEMOLITION WORK IS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. ALL DEMOLITION WORK TO BE COORDINATED WITH ARCHITECTURAL, MEP, STRUCTURAL DRAWINGS PRIOR TO COMMENCEMENT. ALL DEMOLITION WORK TO BE REVIEWED AND COORDINATED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- 02 THE CONTRACTOR SHALL COORDINATE WITH THE OWNER/ARCHITECT ALL ITEMS DESIGNATED TO BE REMOVED OR RELOCATED.
- 03 IF ANY ITEMS ARE ENCOUNTERED IN THE FIELD THAT ARE NOT SHOWN ON THE PLAN WHICH REQUIRE DEMOLITION, REFURBISHMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- 04 THE CONTRACTOR WILL PROTECT ALL UTILITIES, STRUCTURES, FIXTURES, DESIGNATED TO REMAIN AND/OR BE REFURBISHED
- 05 THE CONTRACTOR SHALL FIELD INVESTIGATE AND COORDINATE WITH MEP ENGINEERS ALL ELECTRICAL PANELS, ELECTRICAL CONTROL DEVICES, MECHANICAL EQUIPMENT, EXPOSED PIPING, METER PRIOR REMOVAL; OTHERWISE, CONTRACTOR SHALL CHECK ALL MEP EQUIPMENTS TO ASSURE THEY ARE IN GOOD CONDITION FOR REUSE.
- 06 CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FIXTURES AND EQUIPMENT AND BUILDING MATERIALS NOTED FOR DEMOLITION. ALL MATERIALS REMOVED SHALL BE DISPOSED OF LEGALLY OFF SITE BY A LICENCED CONTRACTOR.
- 07 THIS WORK IS SUBJECT TO THE PROVISIONS OF THE SPECIFICATIONS, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS. ALL WORK SHALL CONFORM TO OURAY COUNTY BUILDING CODES, AND STATE REGULATIONS HAVING JURISDICTION FOR THE PROJECT
- 08 DO NOT LOAD OR PERMIT ANY PART OF THE EXISTING BUILDING TO BE LOADED WITH ANY MATERIALS OR EQUIPMENT THAT MAY ENDANGER THE STRUCTURAL INTEGRITY OF THE EXISTING OR NEW STRUCTURES.
- 09 RETAIN AND PROTECT ALL WOOD TRIM, WINDOW CASINGS, MAINSCOT NOT NOTED TO BE REMOVED- PREPARE FOR REFURBISHMENT.
- 10 ALL LIGHTING FIXTURES TO BE REMOVED AND RETAINED FOR EVALUATION FOR REUSE.
- 11 CONTRACTOR IS DIRECTED TO RECOGNIZE THE VALUE AND SIGNIFICANCE OF THE HISTORIC NATURE OF THE BUILDING AND EXERCISE EXTREME CARE DURING WORK TO ENSURE EXISTING BUILDING, ITS DETAILS, MATERIALS, AND FINISHES WHICH ARE TO REMAIN ARE NOT DAMAGED BY THE WORK BEING PERFORMED.
- 12 CONTRACTOR IS RESPONSIBLE FOR PROPER INVENTORYING AND DISTRIBUTIONS TO APPROPRIATE SUBCONTRACTOR OF SALVAGED AND REFURBISHED MATERIAL FOR REINSTALLATION.
- 13 EXERCISE EXTREME CARE IN REMOVING ELEMENTS FOR SALVAGE AND MATERIALS ATTACHED TO HISTORIC ELEMENTS THAT ARE TO REMAIN IN PLACE. REMOVE ITEMS WHOLE WHENEVER POSSIBLE. WHERE CUTS ARE REQUIRED, COORDINATE WITH ARCHITECT.
- 14 THESE DEMOLITION PLANS ARE MEANT TO BE A CONVENIENCE TO THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION NECESSARY FOR INSTALLATION OF NEW WORK WHETHER SHOWN HERE OR NOT.

**WALL TYPES**



**DEMOLITION KEYED NOTES:**

- 1. RETAIN ALL BRICK FOR USE AT INFILL FOR NEW OPENINGS.
- 2. REMOVE EXISTING FIRE ESCAPE, SALVAGE ALL STEEL.
- 3. REMOVE EXISTING EGREES DOOR AND STEP. REPLACE FLOOR FINISH WITH EXISTING FROM OWNER'S STOCK.
- 4. REMOVE EXISTING CEILING LATTICE, PREP EXISTING CEILING AND EXPOSED PIPING FOR PAINT.



EXISTING IMAGES - EXTERIOR

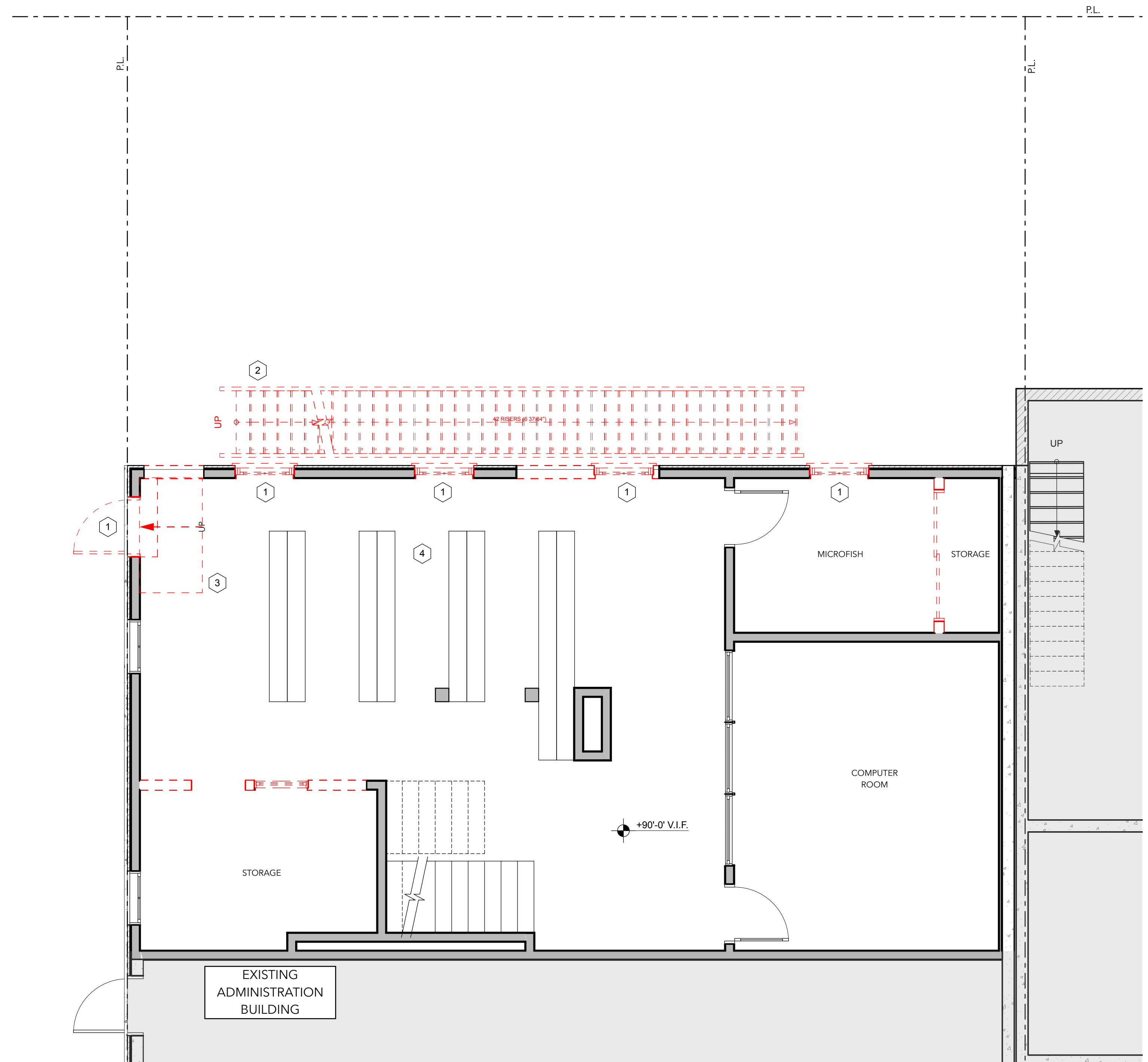


EXISTING IMAGES - UPPER LEVEL

EXISTING IMAGES - MAIN LEVEL



EXISTING IMAGES - LOWER LEVEL

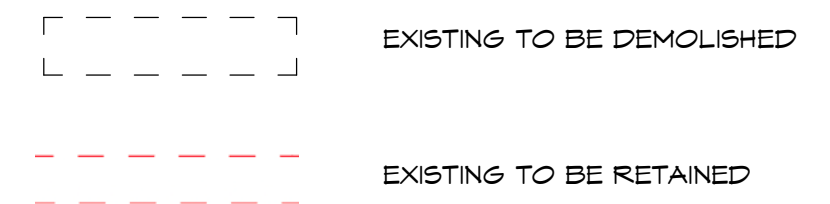


**GENERAL DEMOLITION NOTES:**

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- 06 CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FIXTURES AND EQUIPMENT AND BUILDING MATERIALS NOTED FOR DEMOLITION. ALL MATERIALS REMOVED SHALL BE DISPOSED OF LEGALLY OFF SITE BY A LICENCED CONTRACTOR.
- 07 THIS WORK IS SUBJECT TO THE PROVISIONS OF THE SPECIFICATIONS, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS. ALL WORK SHALL CONFORM TO OURAY COUNTY BUILDING CODES, AND STATE REGULATIONS HAVING JURISDICTION FOR THE PROJECT
- 08 DO NOT LOAD OR PERMIT ANY PART OF THE EXISTING BUILDING TO BE LOADED WITH ANY MATERIALS OR EQUIPMENT THAT MAY ENDANGER THE STRUCTURAL INTEGRITY OF THE EXISTING OR NEW STRUCTURES.
- 09 RETAIN AND PROTECT ALL WOOD TRIM, WINDOW CASINGS, MAINSCOT NOT NOTED TO BE REMOVED- PREPARE FOR REFURBISHMENT.
- 10 ALL LIGHTING FIXTURES TO BE REMOVED AND RETAINED FOR EVALUATION FOR REUSE.
- 11 CONTRACTOR IS DIRECTED TO RECOGNIZE THE VALUE AND SIGNIFICANCE OF THE HISTORIC NATURE OF THE BUILDING AND EXERCISE EXTREME CARE DURING WORK TO ENSURE EXISTING BUILDING, ITS DETAILS, MATERIALS, AND FINISHES WHICH ARE TO REMAIN ARE NOT DAMAGED BY THE WORK BEING PERFORMED.
- 12 CONTRACTOR IS RESPONSIBLE FOR PROPER INVENTORYING AND DISTRIBUTIONS TO APPROPRIATE SUBCONTRACTOR OF SALVAGED AND REFURBISHED MATERIAL FOR REINSTALLATION.
- 13 EXERCISE EXTREME CARE IN REMOVING ELEMENTS FOR SALVAGE AND MATERIALS ATTACHED TO HISTORIC ELEMENTS THAT ARE TO REMAIN IN PLACE. REMOVE ITEMS WHOLE WHENEVER POSSIBLE. WHERE CUTS ARE REQUIRED, COORDINATE WITH ARCHITECT.
- 14 THESE DEMOLITION PLANS ARE MEANT TO BE A CONVENIENCE TO THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION NECESSARY FOR INSTALLATION OF NEW WORK WHETHER SHOWN HERE OR NOT.

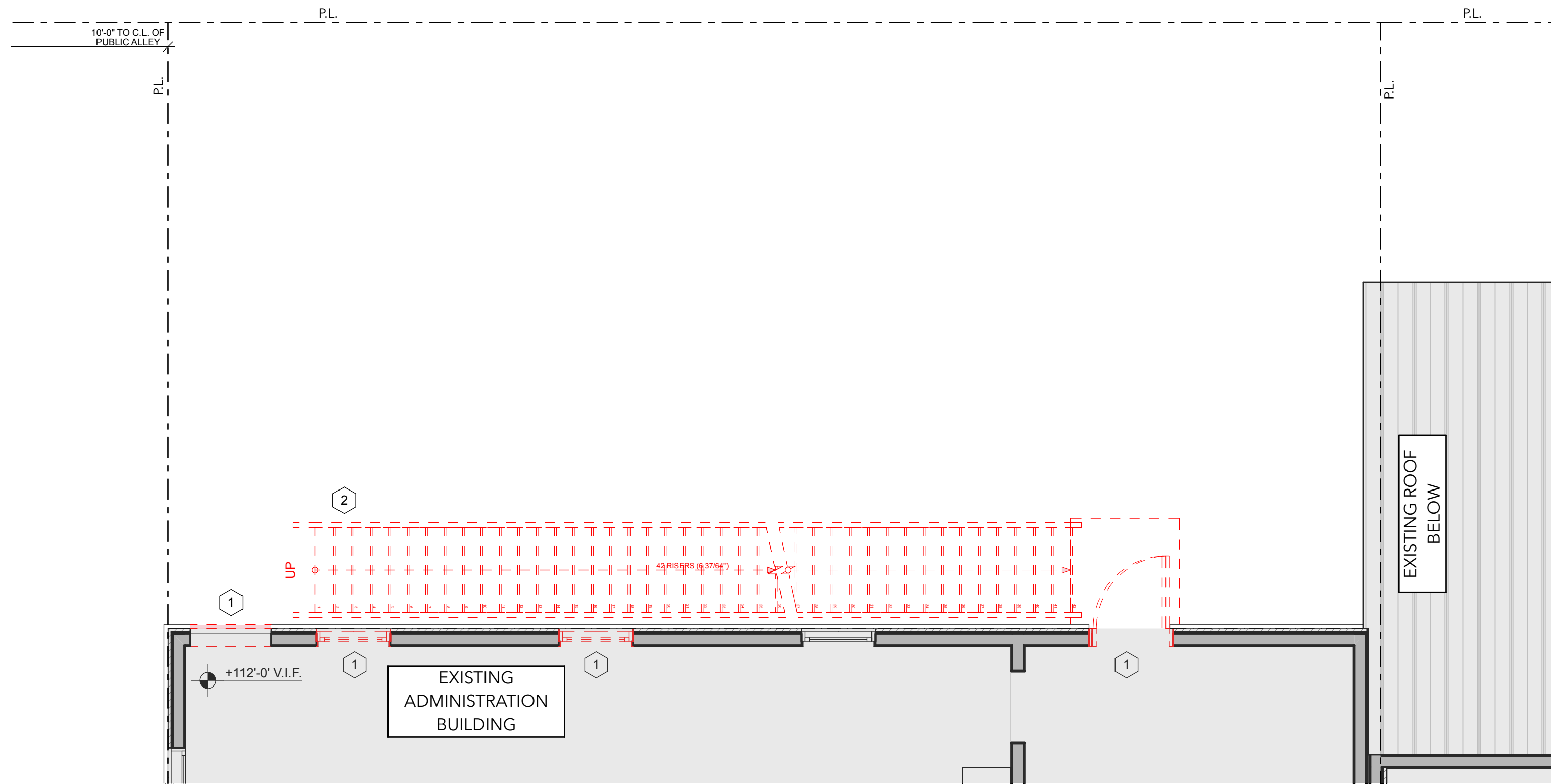
- 15 COORDINATE REMOVAL AND REINSTALLATION OF ROOF TOP STRUCTURES AND EQUIPMENT WITH OTHERS AS REQUIRED TO INSTALL NEW ROOFING SYSTEM. SEE DETAILS INDICATED ON NEW ROOF PLAN FOR ADDITIONAL INFORMATION. GENERAL CONTRACTOR IS RESPONSIBLE FOR EXTENDING ALL UTILITIES AND DUCTWORK AS REQUIRED TO RECONNECT EQUIPMENT FOR COMPLETE INSTALLATION. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL, STATE, AND LOCAL BUILDING CODES.
- 16 THE CONTRACTOR IS TO MAINTAIN BUILDING IN A WEATHER-TIGHT CONDITION AGAINST INCLEMENT WEATHER AT ALL TIMES.
- 17 REMOVE, SALVAGE, AND PROTECT ALL INTERIOR SIGNAGE. COORDINATE WITH OWNER & ARCHITECT FOR POSSIBLE REFURBISHMENT AND REINSTALLATION.

**WALL TYPES**

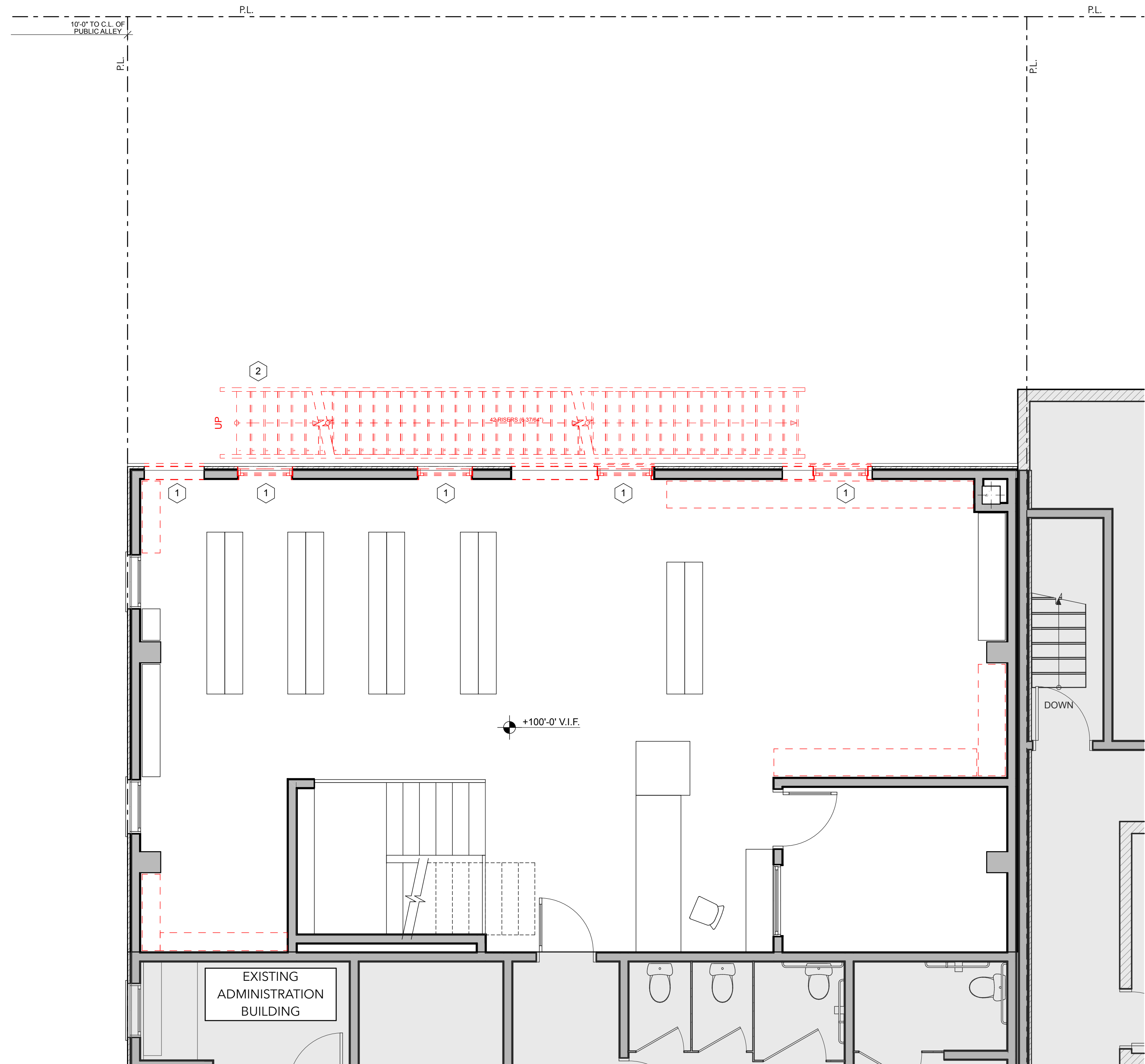


**DEMOLITION KEYED NOTES:**

1. RETAIN ALL BRICK FOR USE AT INFILL FOR NEW OPENINGS.
2. REMOVE EXISTING FIRE ESCAPE, SALVAGE ALL STEEL.
3. REMOVE EXISTING EGREES DOOR AND STEP. REPLACE FLOOR FINISH WITH EXISTING FROM OWNER'S STOCK.
4. REMOVE EXISTING CEILING LATTICE, PREP EXISTING CEILING AND EXPOSED PIPING FOR PAINT.



**3 UPPER LEVEL DEMO PLAN**  
SCALE: 1/4" = 1'-0"



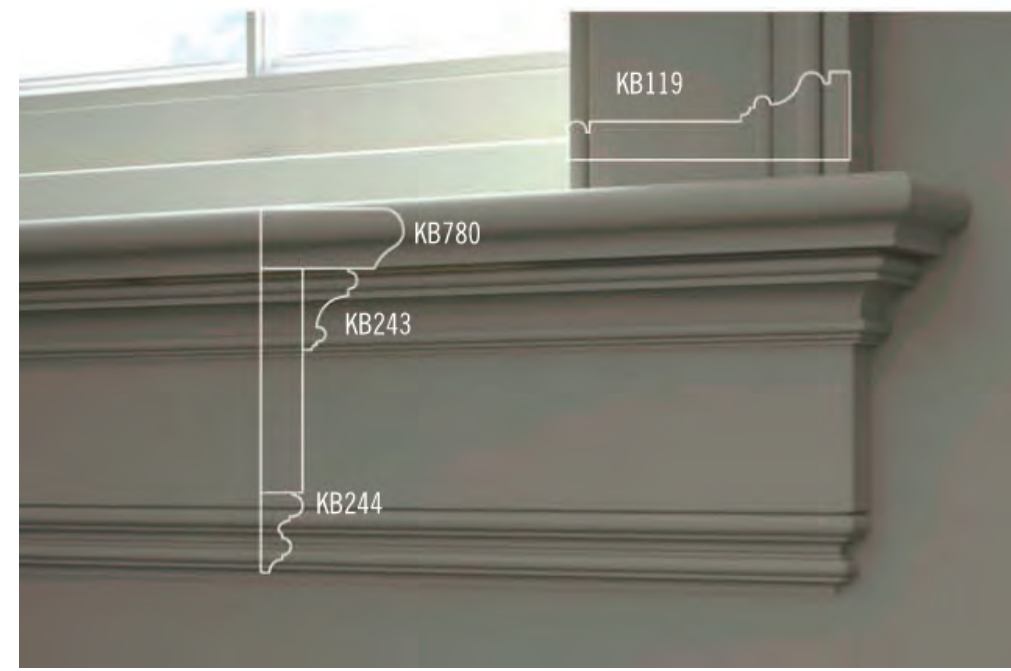
**2 MAIN LEVEL DEMO PLAN**  
SCALE: 1/4" = 1'-0"

DATE: 2/27/25  
ISSUANCE: SCHEMATIC DESIGN PRICING

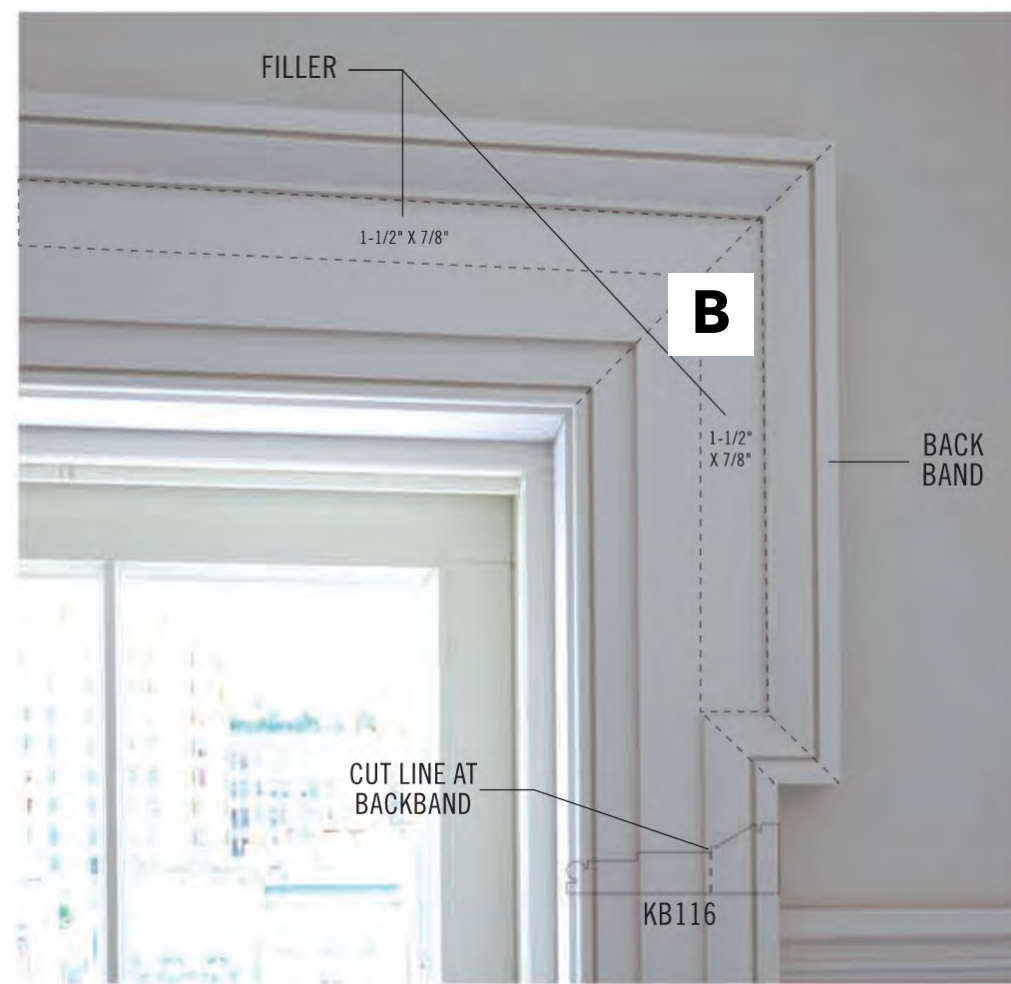
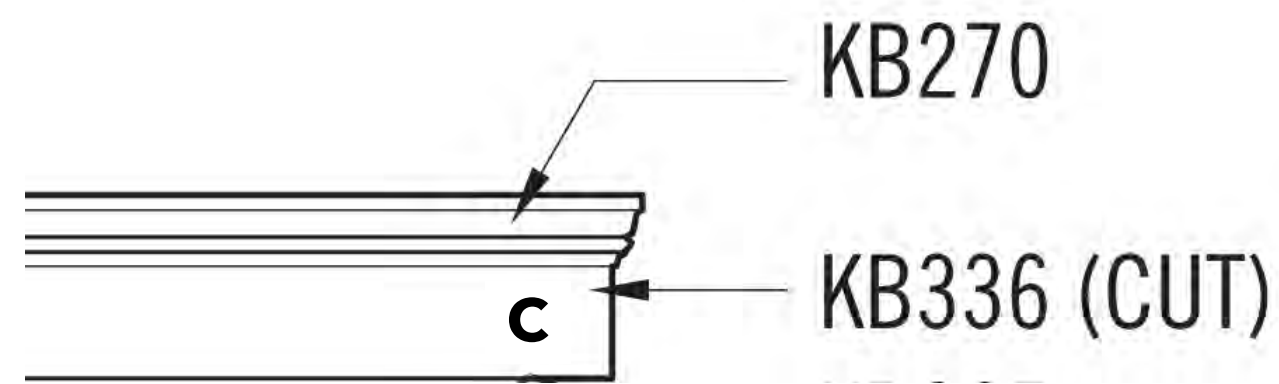
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**DEMOLITION PLANS**



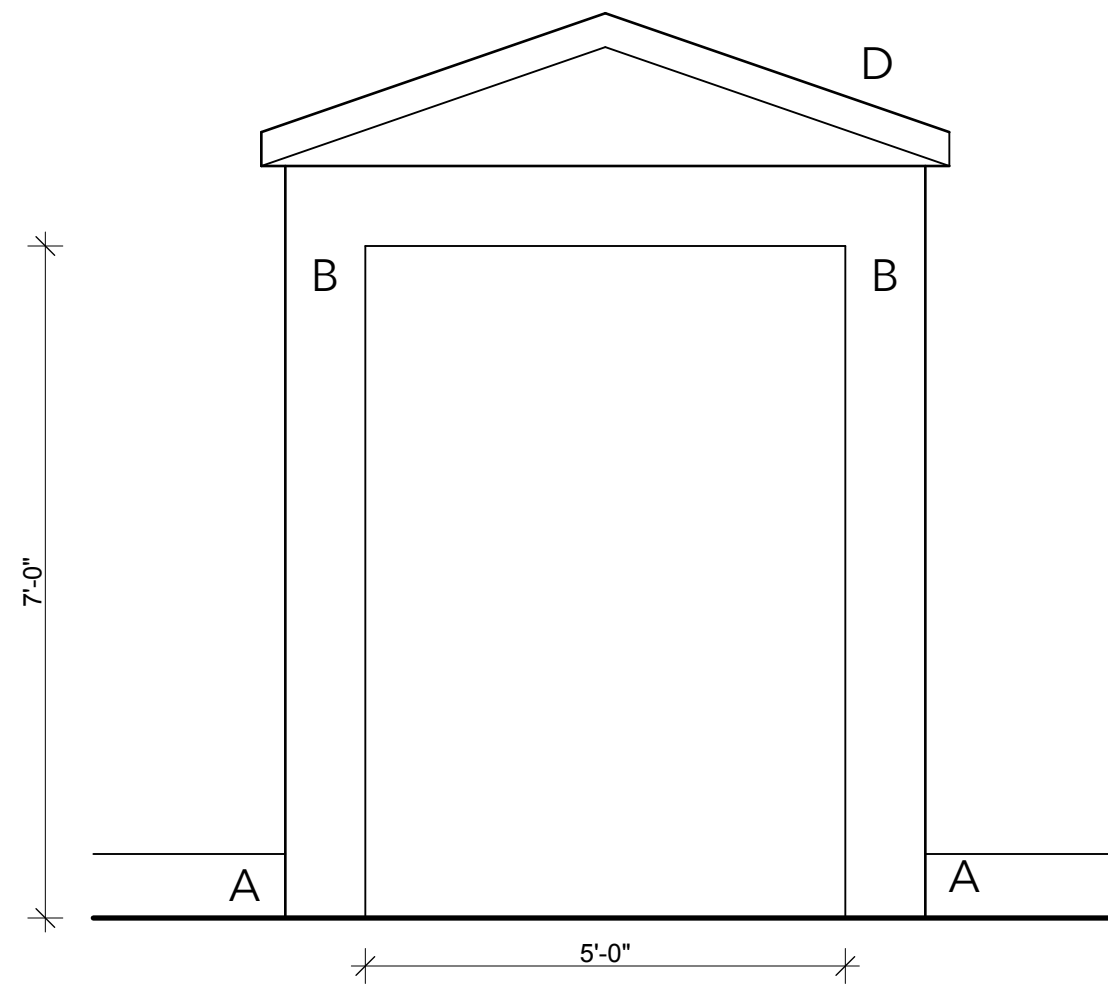
**E** NEW WINDOWS ON MAIN LEVEL



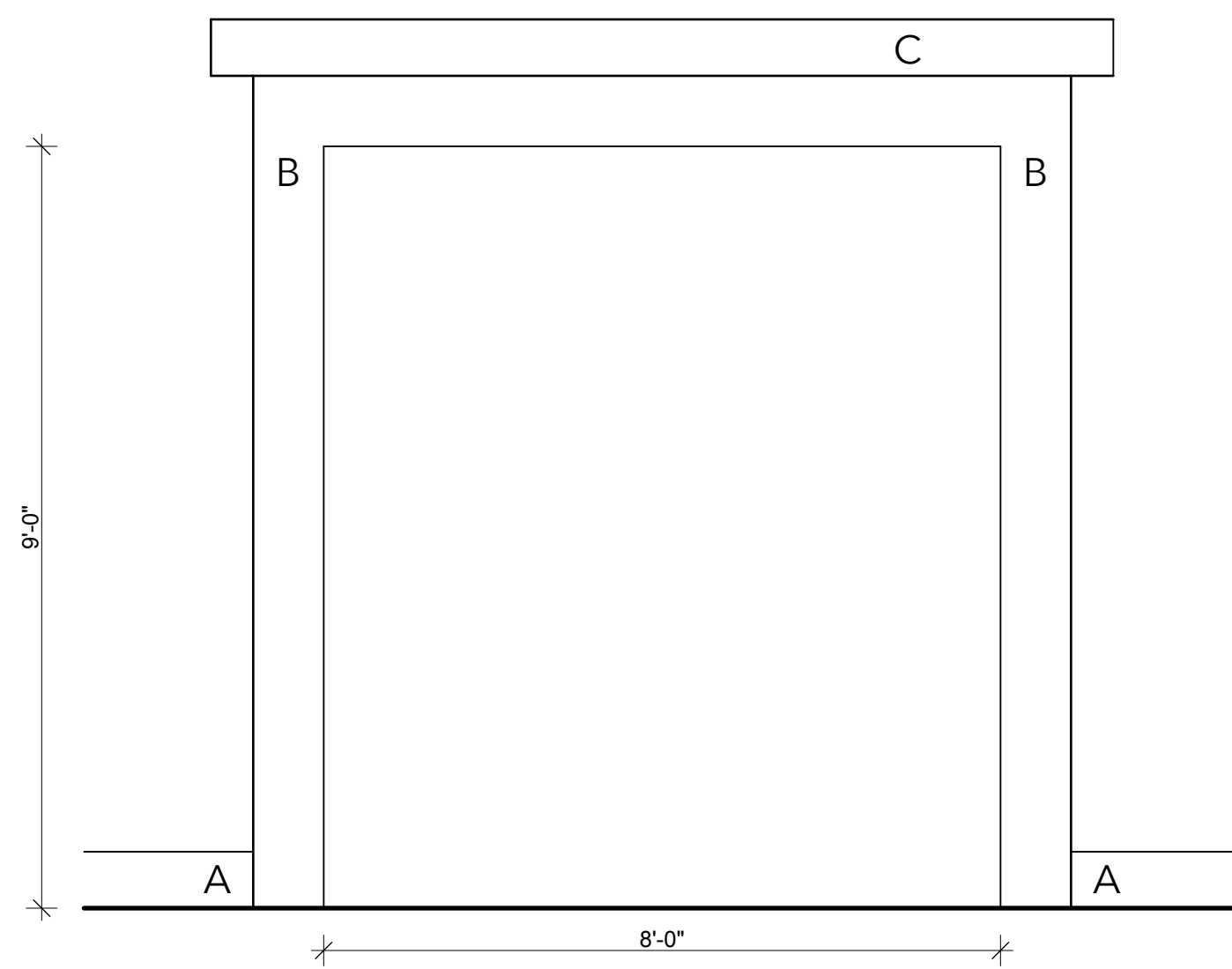
**BASIS OF DESIGN:**  
KUIKENBROTHERS.COM/CLASSICAL  
(FEDERAL STYLE)

(FEDERAL STYLE)

**4** CASING & MOLDINGS  
SCALE: 1" = 1'-0"



**3** KID'S ROOM  
SCALE: 1/2" = 1'-0"



**2** READING NOOK  
SCALE: 1/2" = 1'-0"

**GENERAL NOTES:**

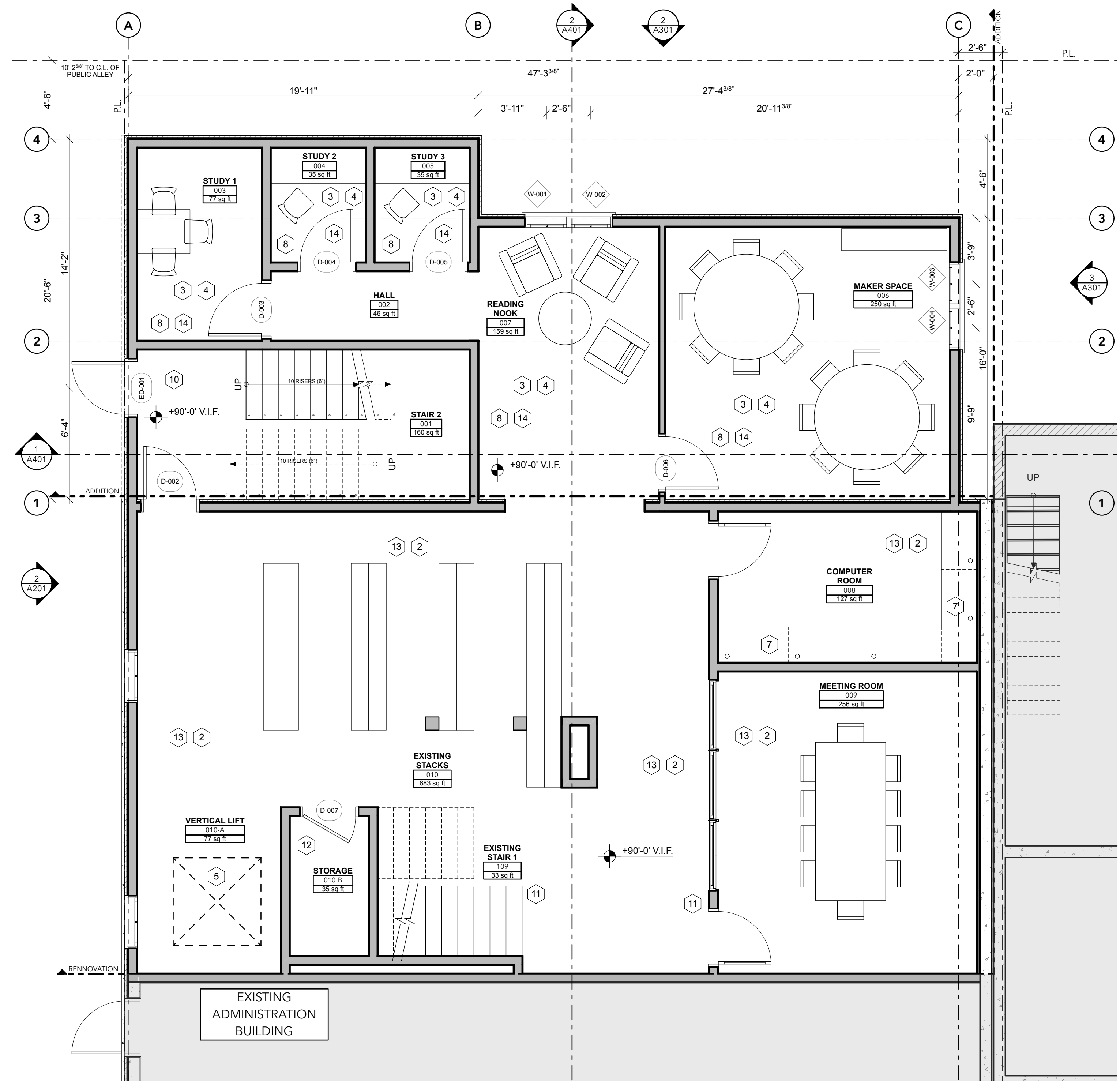
1. ALL NEW GWB TO BE LEVEL 4 FINISH EXCEPT AT STAIR. GWB AT STAIR TO BE LEVEL 3 FINISH.
2. FURNISHINGS AND BOOK STACKS TO BE PROVIDED BY OWNER, TYP.

**ROOF PLAN KEYED NOTES:**

1. COMPOSITE DECKING OVER SLEEPERS & ROOF SYSTEM.
2. SINGLE PLY ROOFING SYSTEM AND TAPERED INSULATION OVER DECKING.
3. 24' GA. CONDUCTOR HEAD AND DOWNSPOUT.
4. 3" PRECAST PARAPET CAP, CANT TO DRAIN TO ROOF.
5. ROOF DECK: PROVIDE PARAPET-MOUNTED STEP LIGHT AT 6FT. O.C - WAC WL-LED100 STEP AND WALL LIGHT.

**FLOOR PLAN KEYED NOTES:**

1. BREAK ROOM CABINETS AND COUNTER:
  - WHITE OAK CABINET BASE AND UPPER - SOLID DOORS
  - SOLID SURFACE COUNTERTOP, CESAR STONE OR SIM.
2. LOWER LEVEL EXISTING CEILING & EXPOSED PIPING TO BE PAINTED.
3. WALL BASE TO MATCH EXISTING PROFILE.
4. CARPET TILE MNFR: FLOR, COLOR RUSH STREET.
5. PROVIDE NEW ADA LIFT. FINISH WITH TRIM ELEMENTS COMPATIBLE WITH LIFT. PROVIDE ELECTRICAL AS REQUIRED.
6. OPENINGS - TRADITIONAL WOOD CASING, SEE 2 & 3/A201.
7. SOLID SURFACE COUNTER TOP W/ 1 INCH GROMMETS. PROVIDE 16" x 16" x 1" TRIANGLED SUPPORT WALL BRACKETS AT 4' O.C.
8. ALL CEILINGS WITHIN ADDITION TO BE 5/8" QUIET ROCK.
9. ALL EXITING LAY IN CLG. TILES TO BE REPLACED WITH ARMSTRONG SINGLE RAISED PANEL ACOUSTIC TILE #1205.
10. STAIR: STEEL STAIR STRUCTURE WITH CONCRETE FLOOR. STAIR FLOORING TO BE CARPET WITH RUBBER WALL BASE.
11. REFINISH EXISTING CASING & WOODWORK, TO BE COORD. W OWNER.
12. STORAGE ACCESS TO BE COORD. W/ LIFT.
13. EXISTING LIGHTING REPLACEMENT: LOWER LEVEL - METALUX MULTI-MOUNT SELECTABLE PANELS: 1X4 AND 2X4 PER EXISTING LOCATIONS. MAIN LEVEL - METALUX SKY RIDGE TROFFER RECESSED 2X4 4000K.
14. ALL NEW ROOMS LOWER AND UPPER LEVELS: PROVIDE LED DOWN LIGHTS - FOCAL POINT ID+ 2.5" DOWNLIGHT, WIDE FLOOD, 1100 LUMENS. READING NOOK ROOM ONLY - 4 COUNT ID+2.5 WALL WASHERS AND 4 COUNT 16-INCH SCHOOLHOUSE PENDANT LIGHT IN BRONZE FINISH BY DESTINATION LIGHTING.



**1** LOWER LEVEL PLAN  
SCALE: 1/4" = 1'-0"

DATE 2/27/25  
ISSUANCE SCHEMATIC DESIGN PRICING

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FLOOR PLANS

**GENERAL NOTES:**

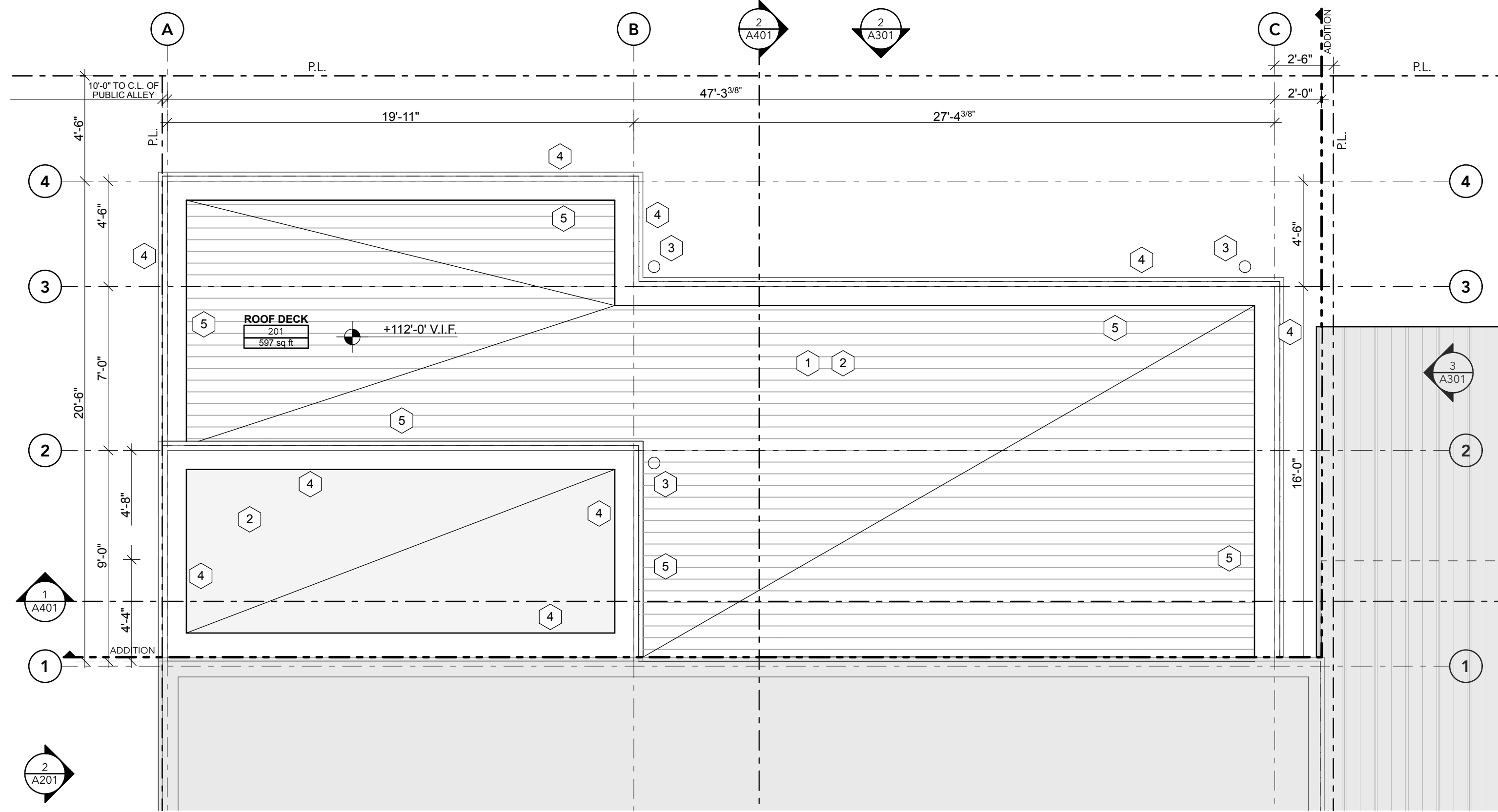
1. ALL NEW GWB TO BE LEVEL 4 FINISH EXCEPT AT STAIR. GWB AT STAIR TO BE LEVEL 3 FINISH.
2. FURNISHINGS AND BOOK STACKS TO BE PROVIDED BY OWNER, TYP.

**ROOF PLAN KEYED NOTES:**

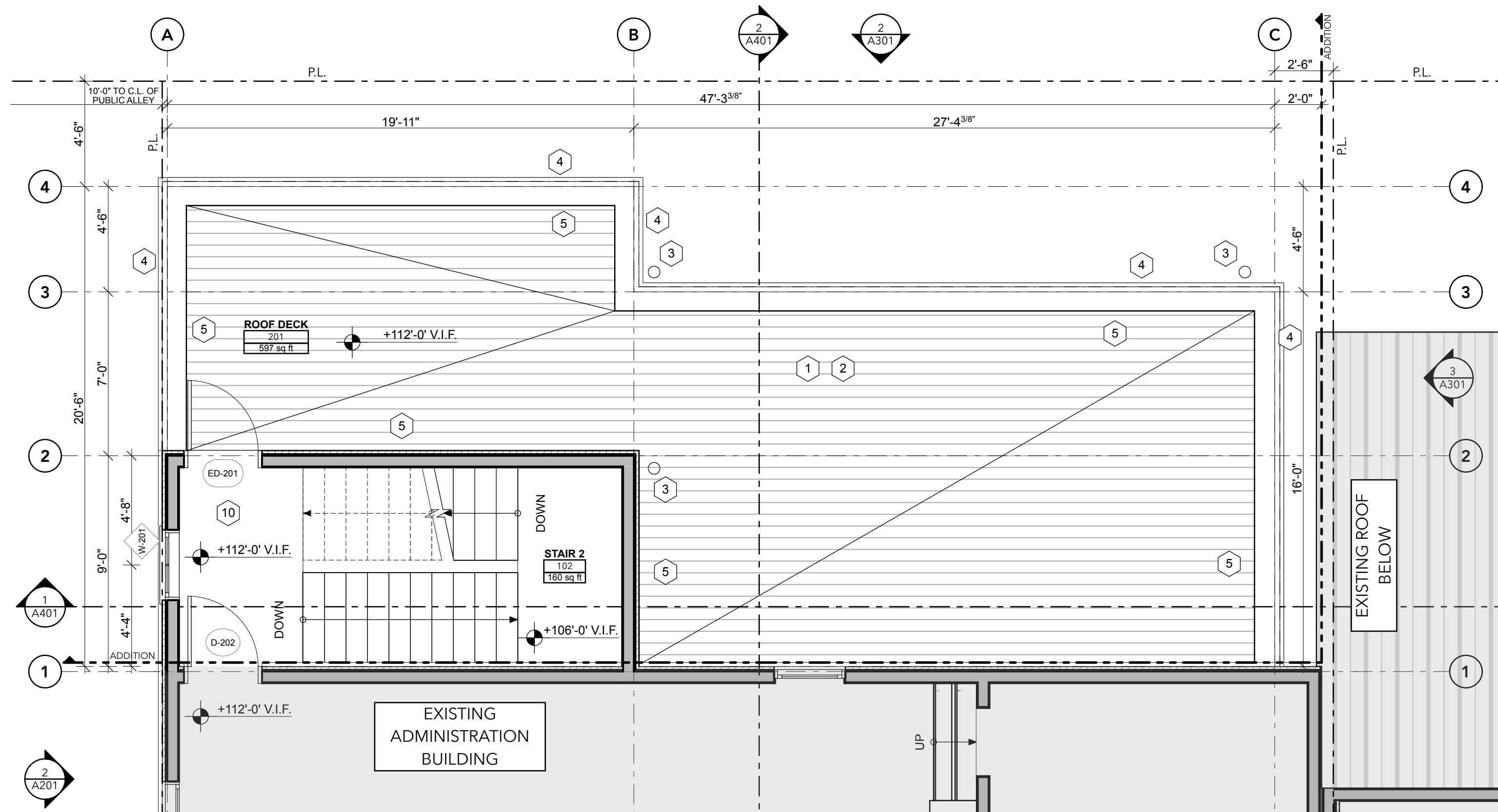
1. COMPOSITE DECKING OVER SLEEPERS & ROOF SYSTEM.
2. SINGLE PLY ROOFING SYSTEM AND TAPERED INSULATION OVER DECKING.
3. 24' GA. CONDUCTOR HEAD AND DOWNSPOUT.
4. 3" PRECAST PARAPET CAP, CANT TO DRAIN TO ROOF.
5. ROOF DECK: PROVIDE PARAPET-MOUNTED STEP LIGHT AT 6FT. O.C - WAC WL-LED100 STEP AND WALL LIGHT.

**FLOOR PLAN KEYED NOTES:**

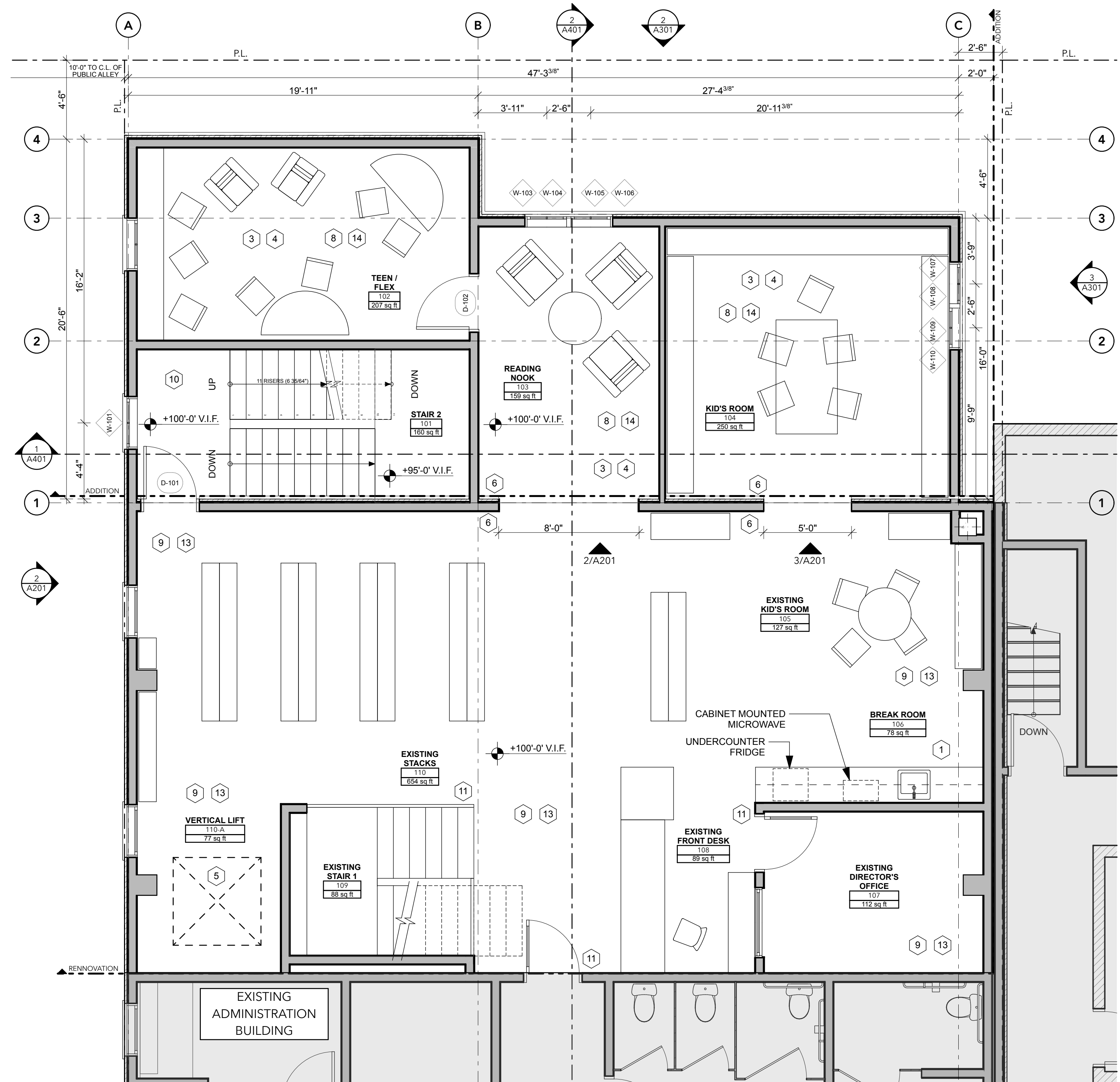
1. BREAK ROOM CABINETS AND COUNTER:
  - WHITE OAK CABINET BASE AND UPPER - SOLID DOORS
  - SOLID SURFACE COUNTERTOP, CESAR STONE OR SIM.
2. LOWER LEVEL EXISTING CEILING & EXPOSED PIPING TO BE PAINTED.
3. WALL BASE TO MATCH EXISTING PROFILE.
4. CARPET TILE MNFR: FLOR, COLOR RUSH STREET.
5. PROVIDE NEW ADA LIFT. FINISH WITH TRIM ELEMENTS COMPATIBLE WITH LIFT. PROVIDE ELECTRICAL AS REQUIRED.
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**3 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**2 UPPER LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



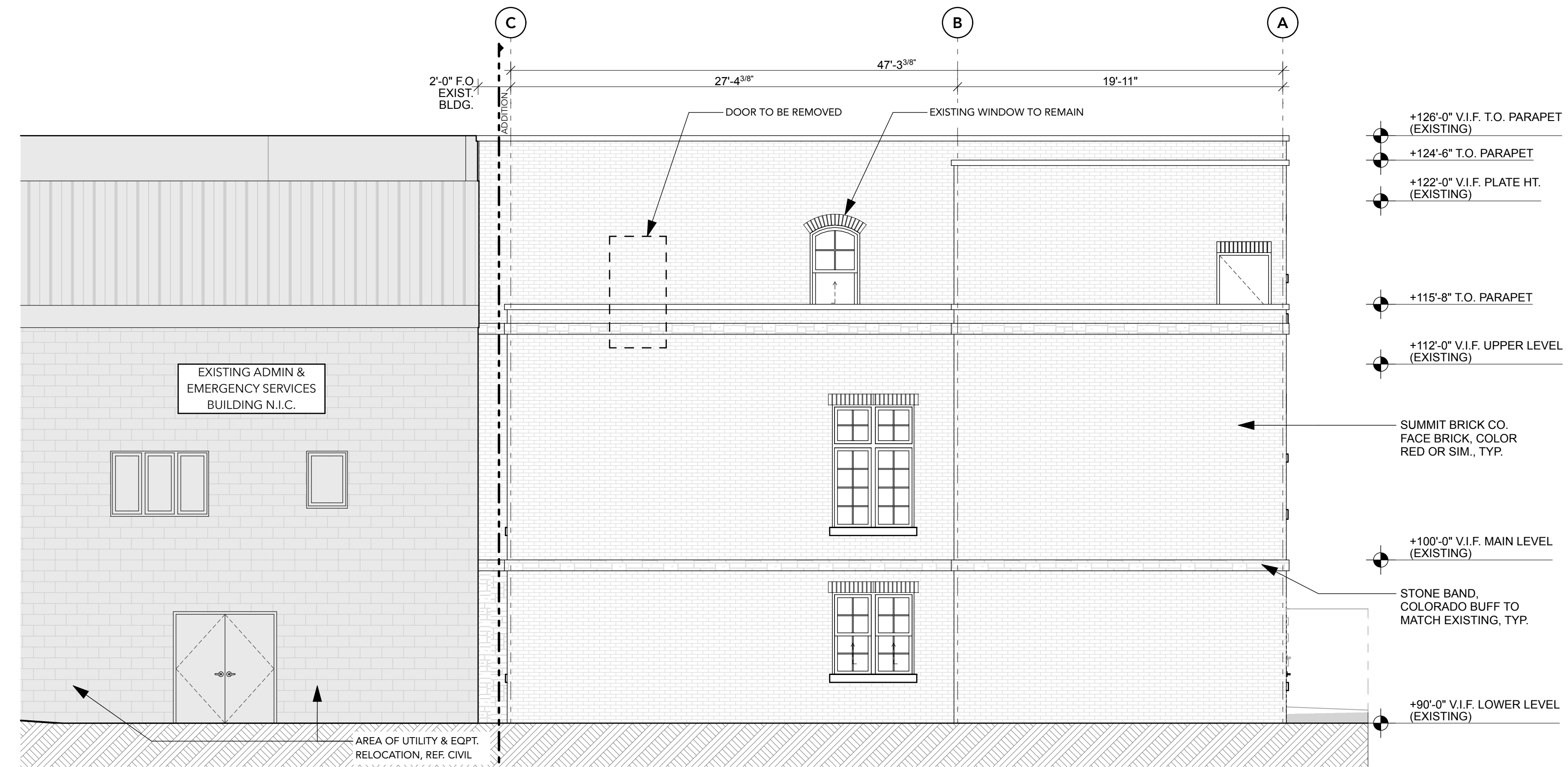
**1 MAIN LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE						
ID	D-202	D-002	D-003	D-004	D-005	D-006
DOOR PANEL	FLUSH	FLUSH	FLUSH	FLUSH	FLUSH	FLUSH
ELEVATIONS						
DIMENSIONS	1x2	1x2	1x2	1x2	1x2	1x2
NOTES						

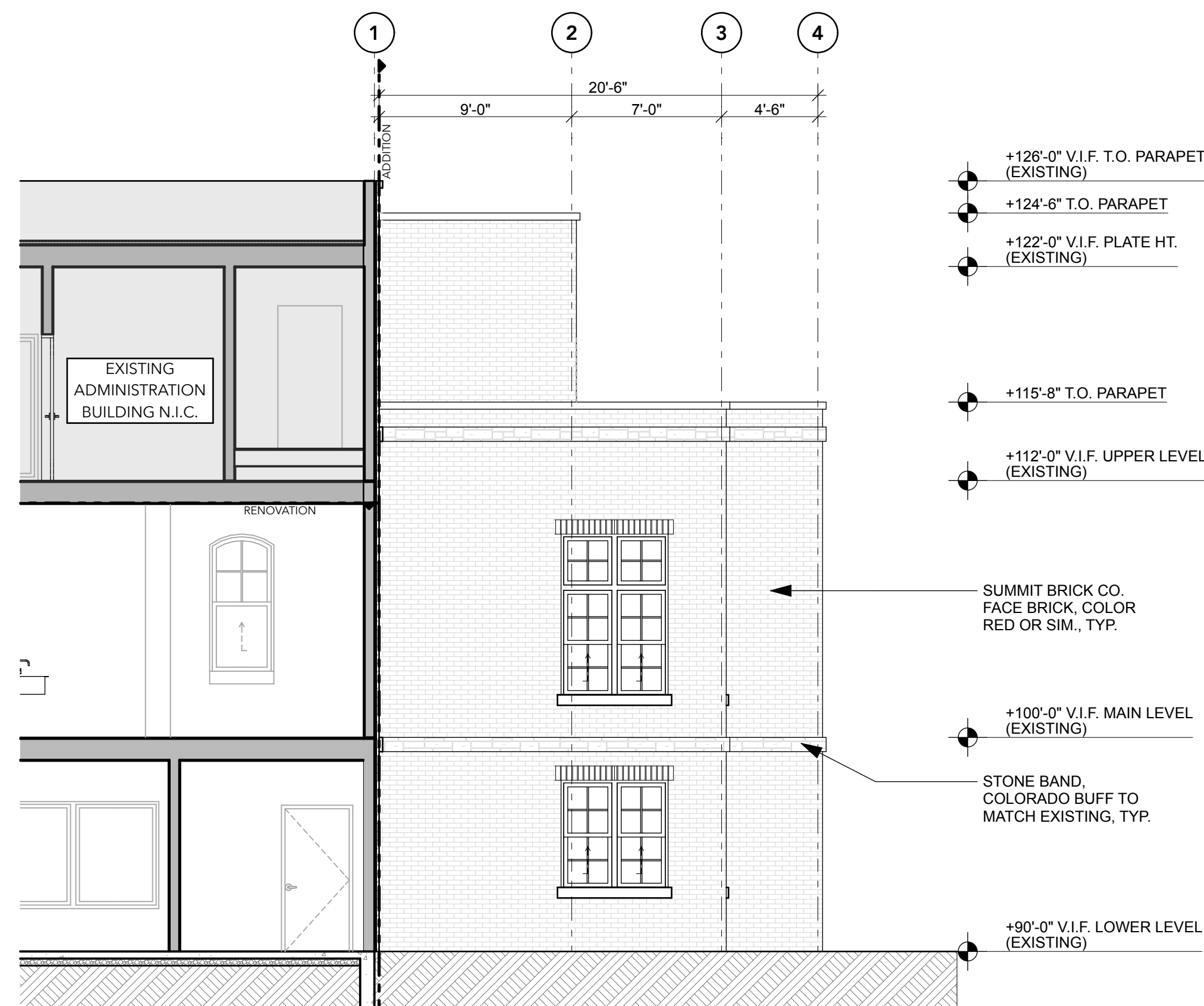
DOOR SCHEDULE					
ID	D-007	D-101	ED-001	D-102	D-202
DOOR PANEL	FLUSH	FLUSH	FLUSH	FLUSH	FLUSH
ELEVATIONS					
DIMENSIONS	1x2	1x2	1x2	1x2	1x2
NOTES			45 MIN. RATED, MASONRY ARCH		

WINDOW SCHEDULE								
ID	W-001	W-002	W-003	W-004	W-101	W-102	W-103	W-104
WINDOW TYPE	SINGLE HUNG	SINGLE HUNG	SINGLE HUNG	SINGLE HUNG	FIXED	SINGLE HUNG	FIXED	FIXED
ELEVATION								
DIMENSIONS	2'-6" x 5'-6"	2'-6" x 5'-6"	2'-6" x 5'-6"	2'-6" x 5'-6"	3'-0" x 3'-6"	3'-0" x 7'-0"	2'-6" x 5'-6"	2'-6" x 2'-6"
NOTES	MULLED, MASONRY ARCH	MULLED, MASONRY ARCH	MULLED, MASONRY ARCH	MULLED, MASONRY ARCH	45 MIN. RATED, MASONRY ARCH	45 MIN. RATED, MASONRY ARCH	MULLED	MULLED, MASONRY ARCH

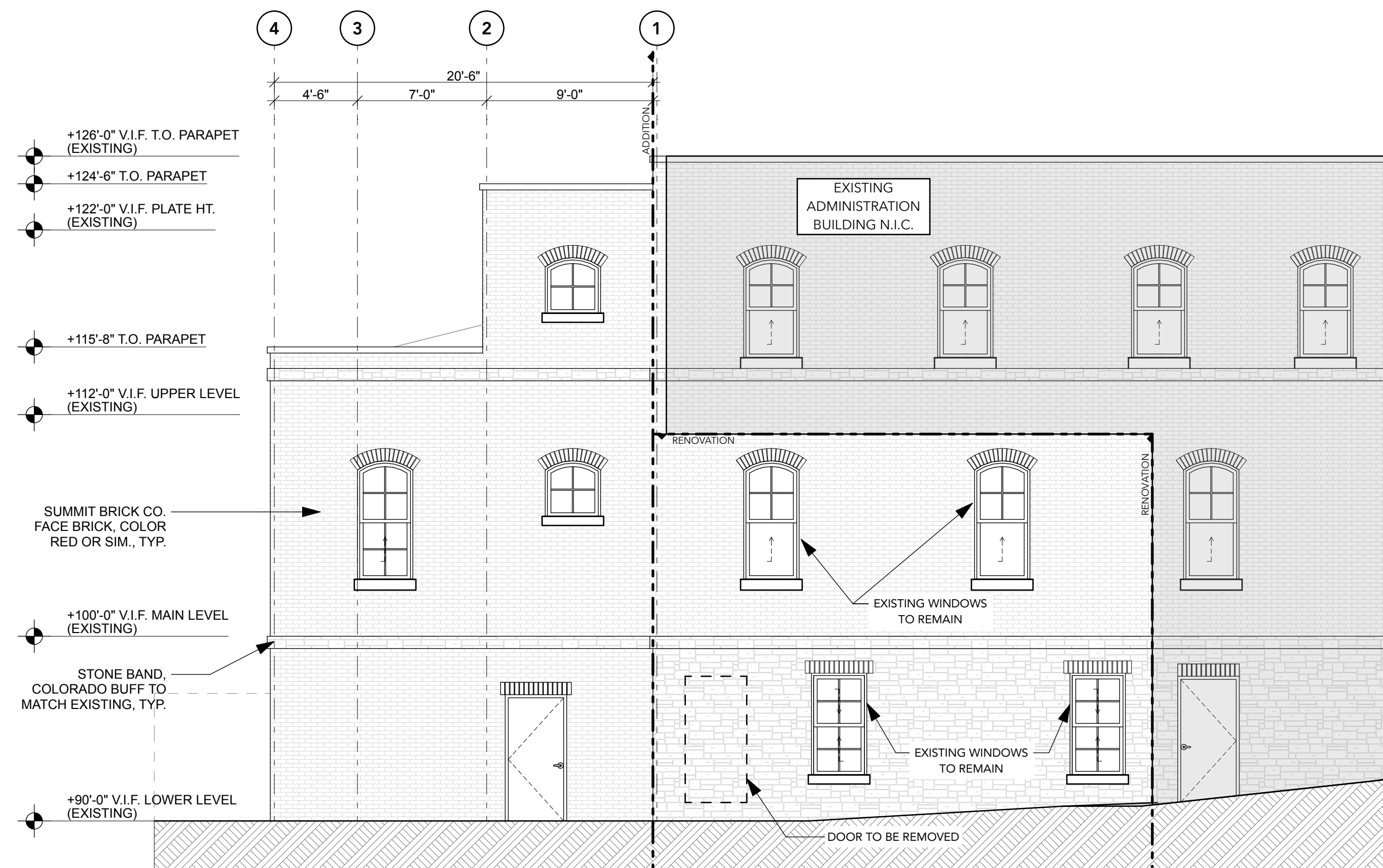
WINDOW SCHEDULE							
ID	W-105	W-106	W-107	W-108	W-109	W-110	W-201
WINDOW TYPE	FIXED	FIXED	SINGLE HUNG	FIXED	SINGLE HUNG	FIXED	FIXED
ELEVATION							
DIMENSIONS	2'-6" x 5'-6"	2'-6" x 2'-6"	2'-6" x 5'-6"	2'-6" x 2'-6"	2'-6" x 5'-6"	2'-6" x 2'-6"	3'-0" x 3'-6"
NOTES	MULLED	MULLED, MASONRY ARCH	MULLED	MULLED, MASONRY ARCH	MULLED	MULLED, MASONRY ARCH	45 MIN. RATED, MASONRY ARCH



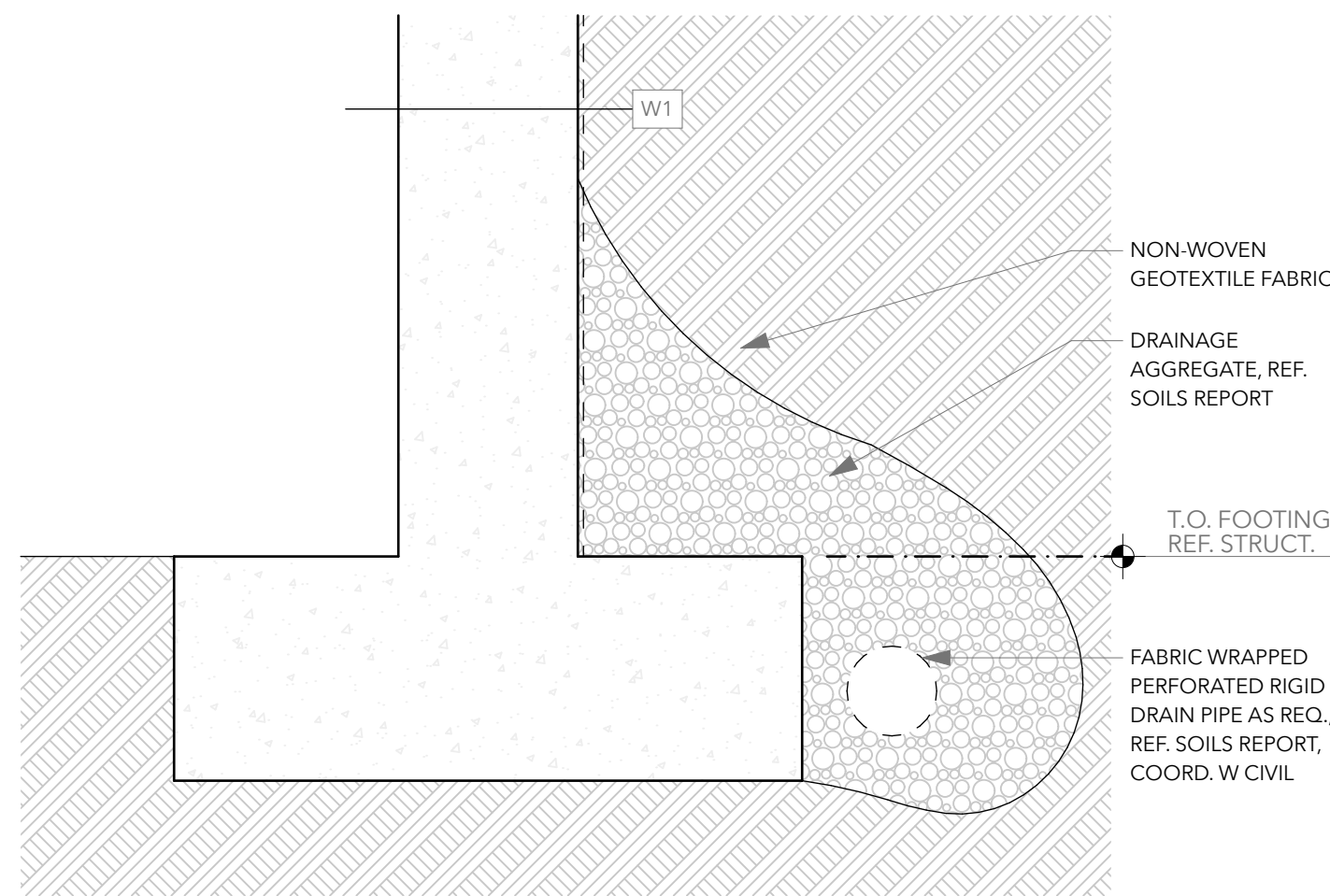
**2 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



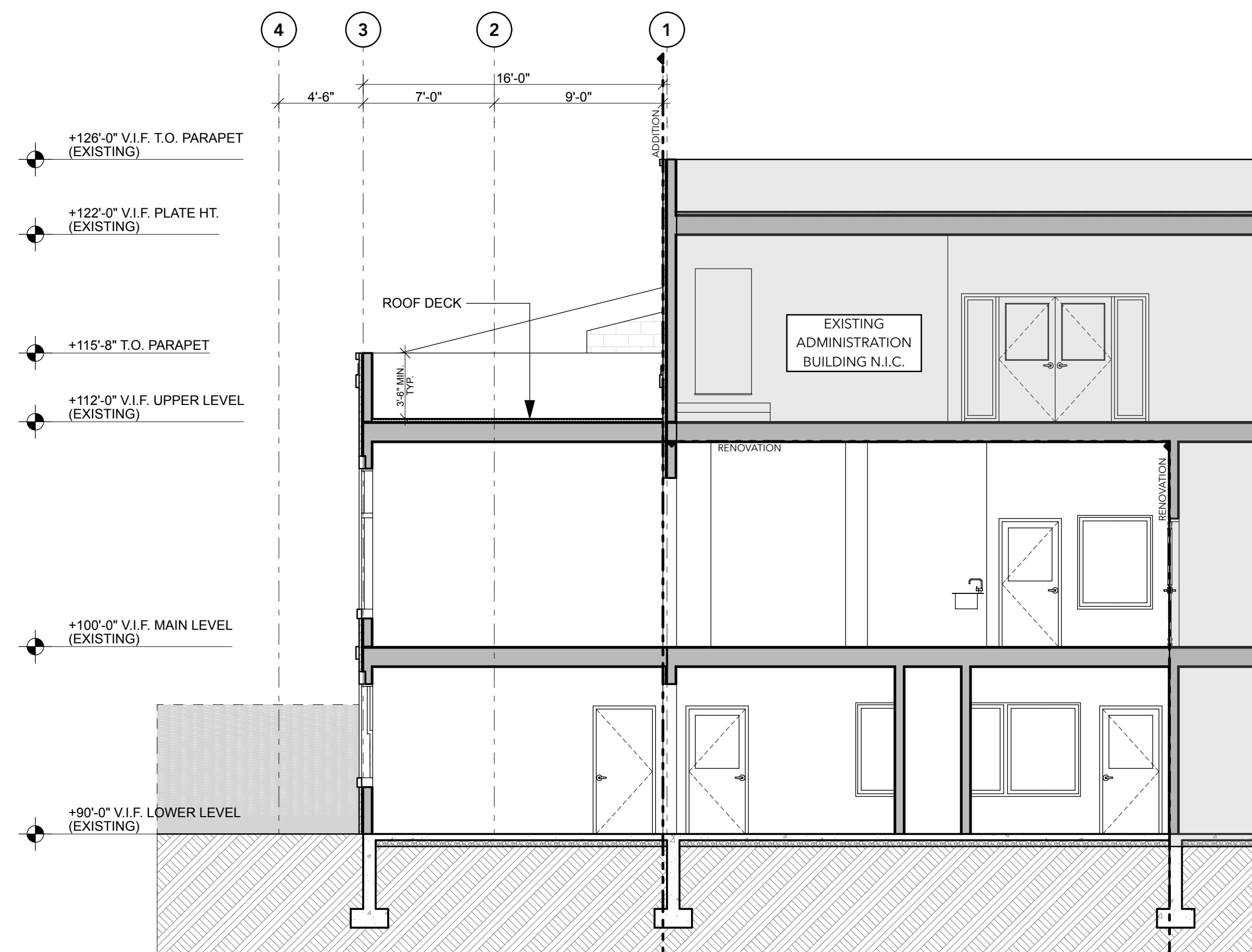
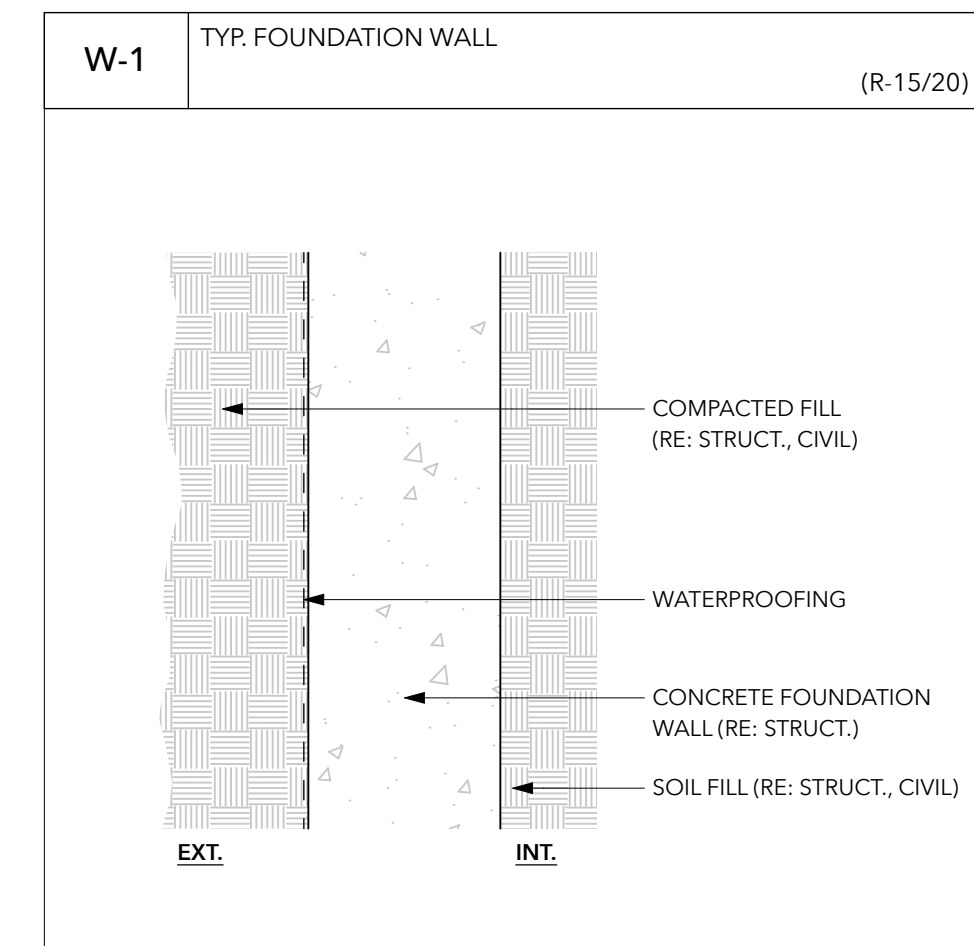
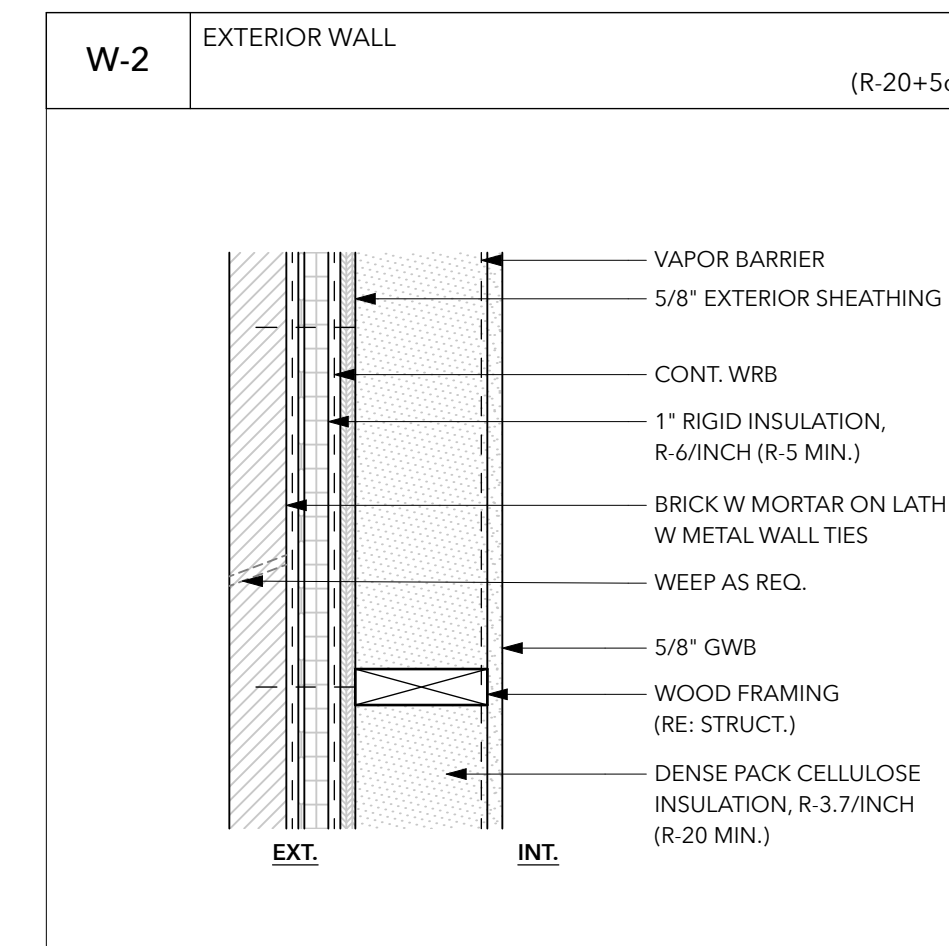
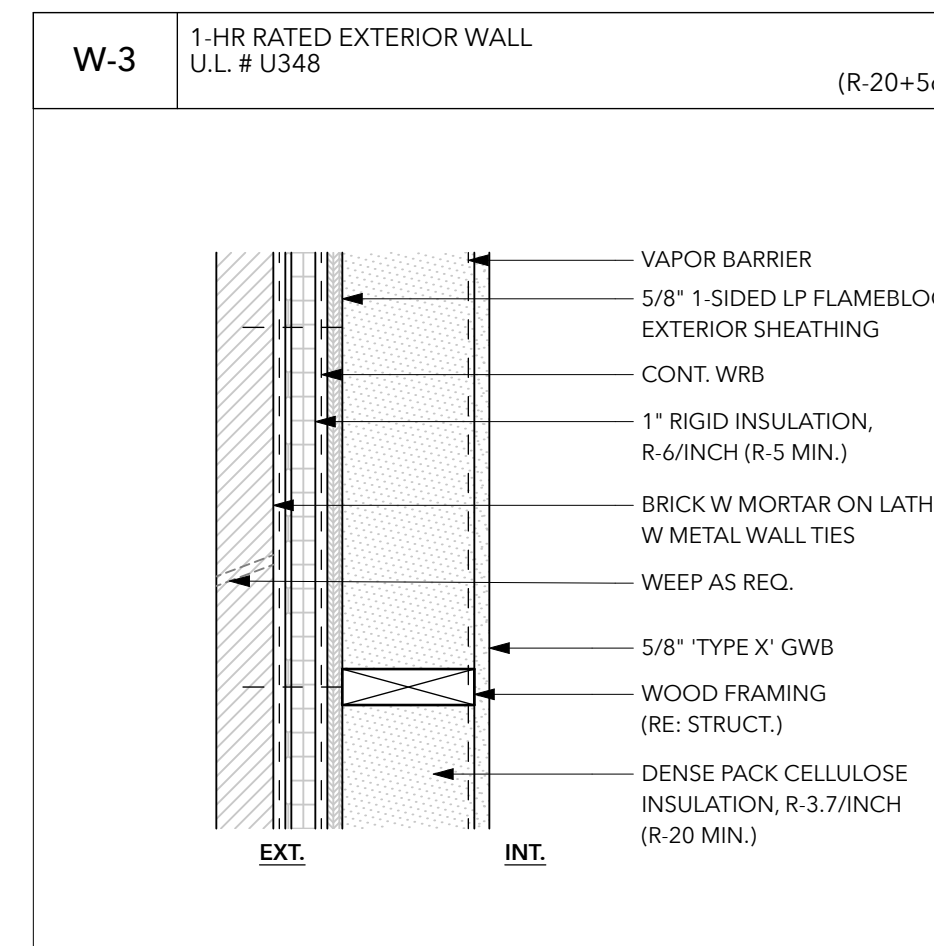
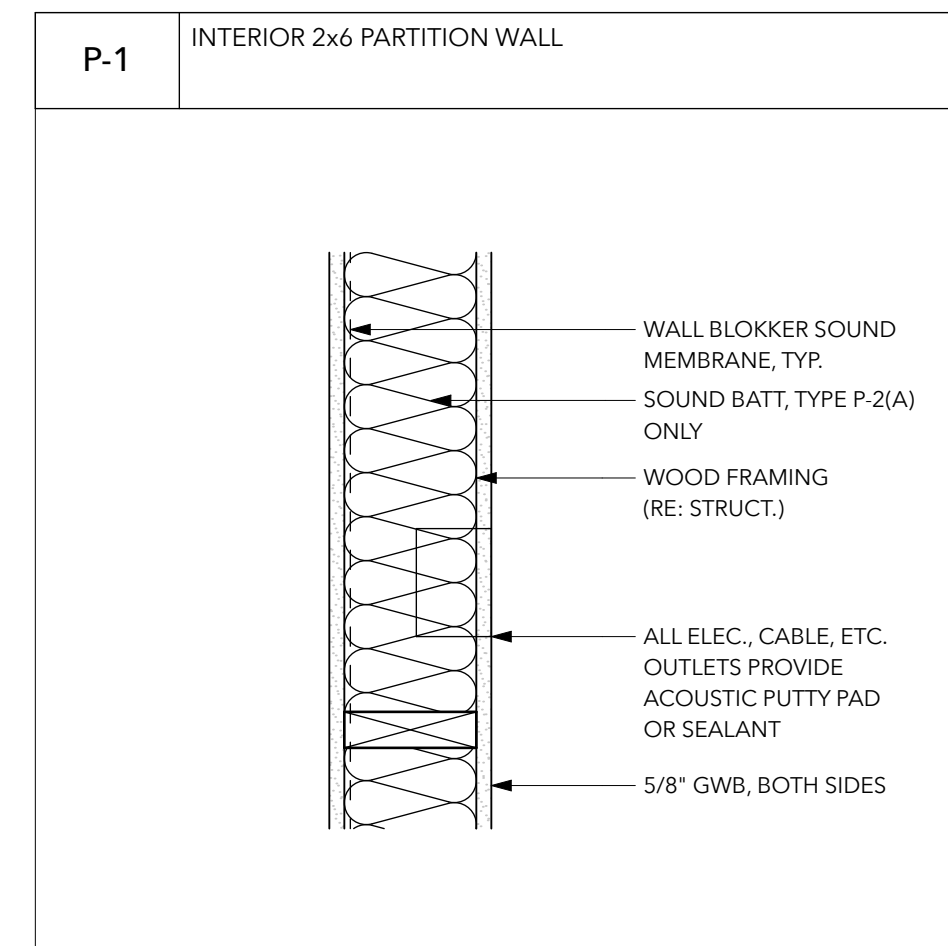
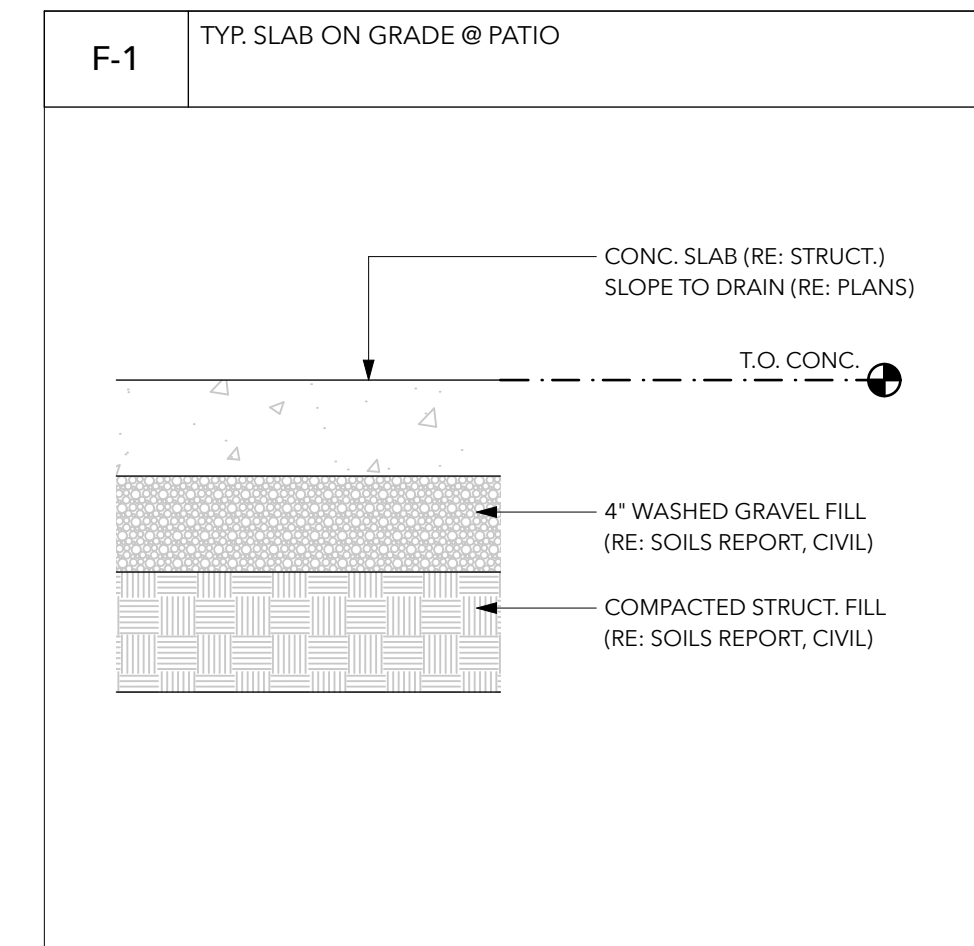
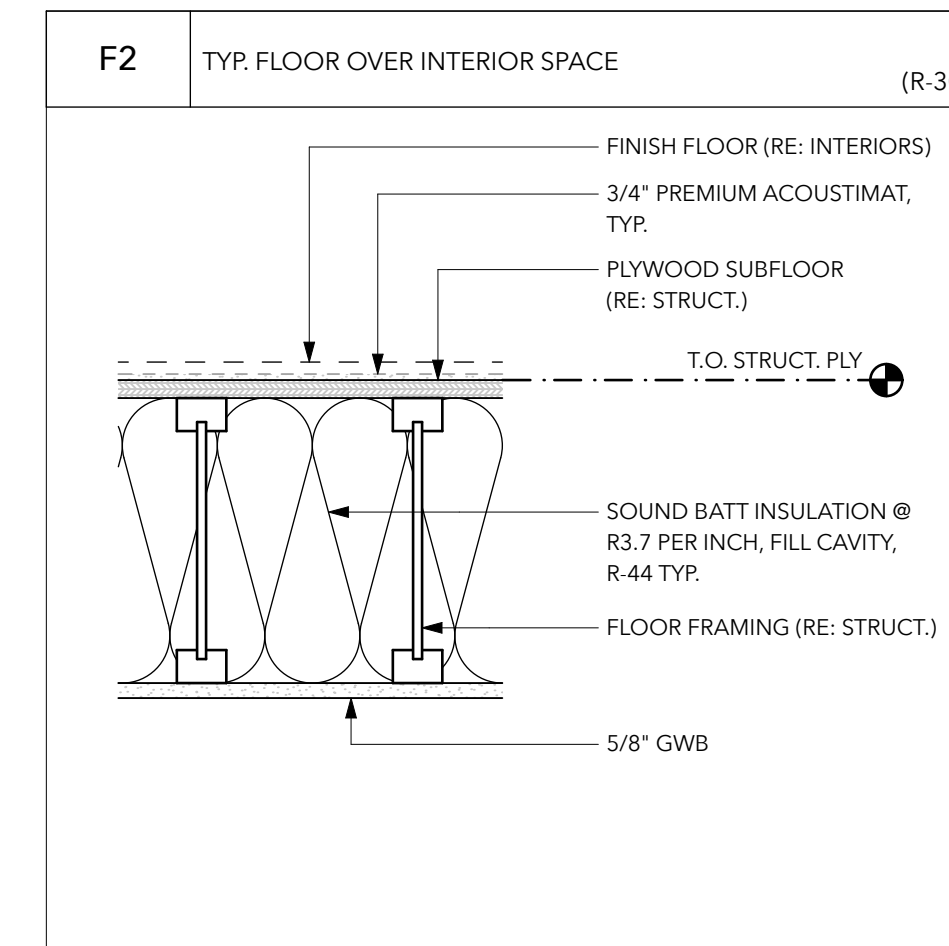
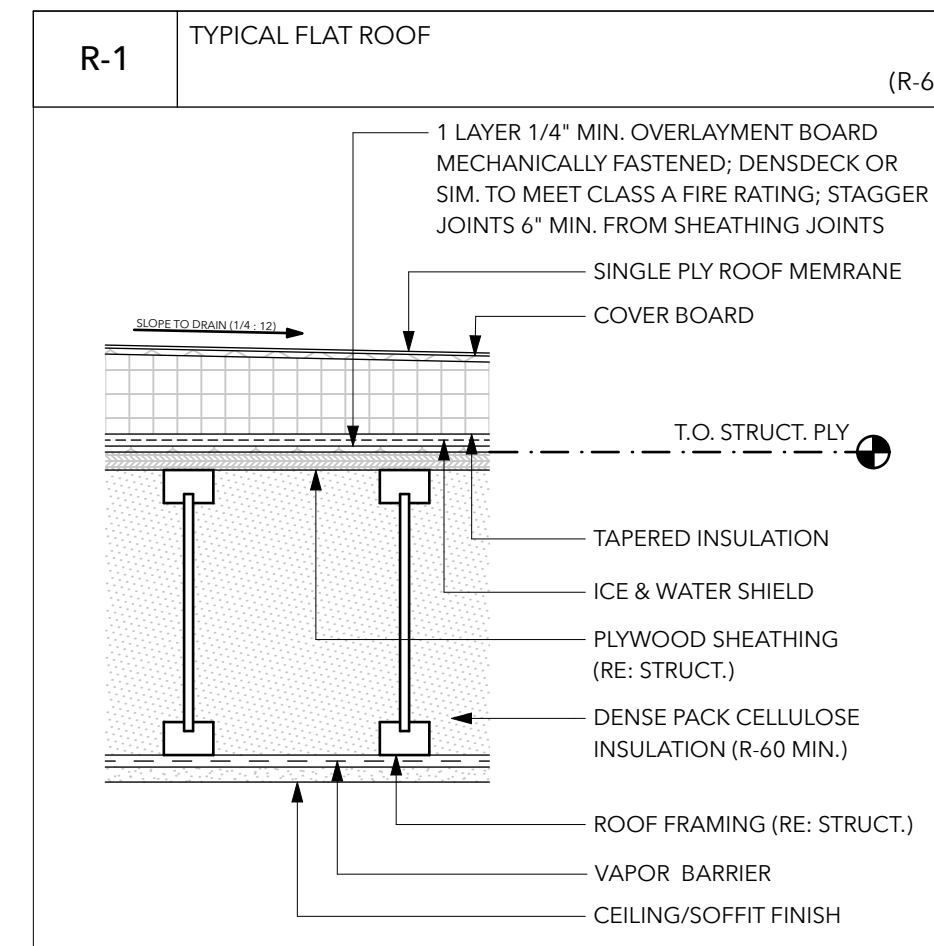
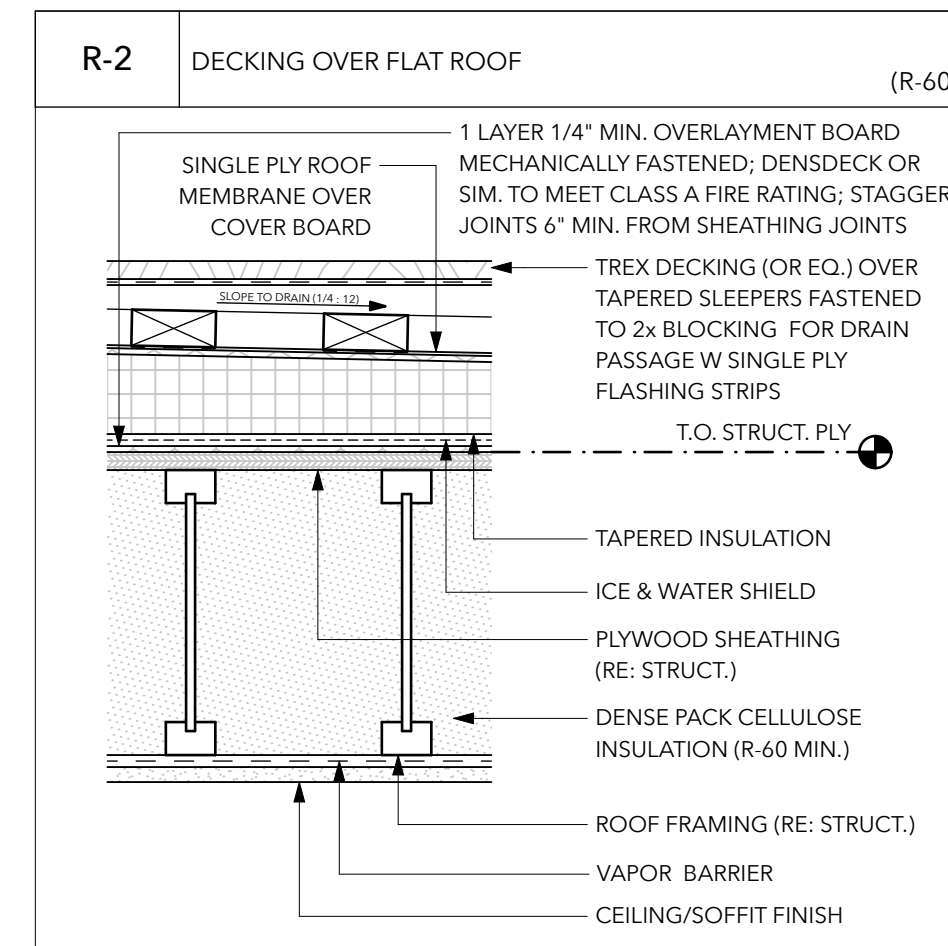
**3 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



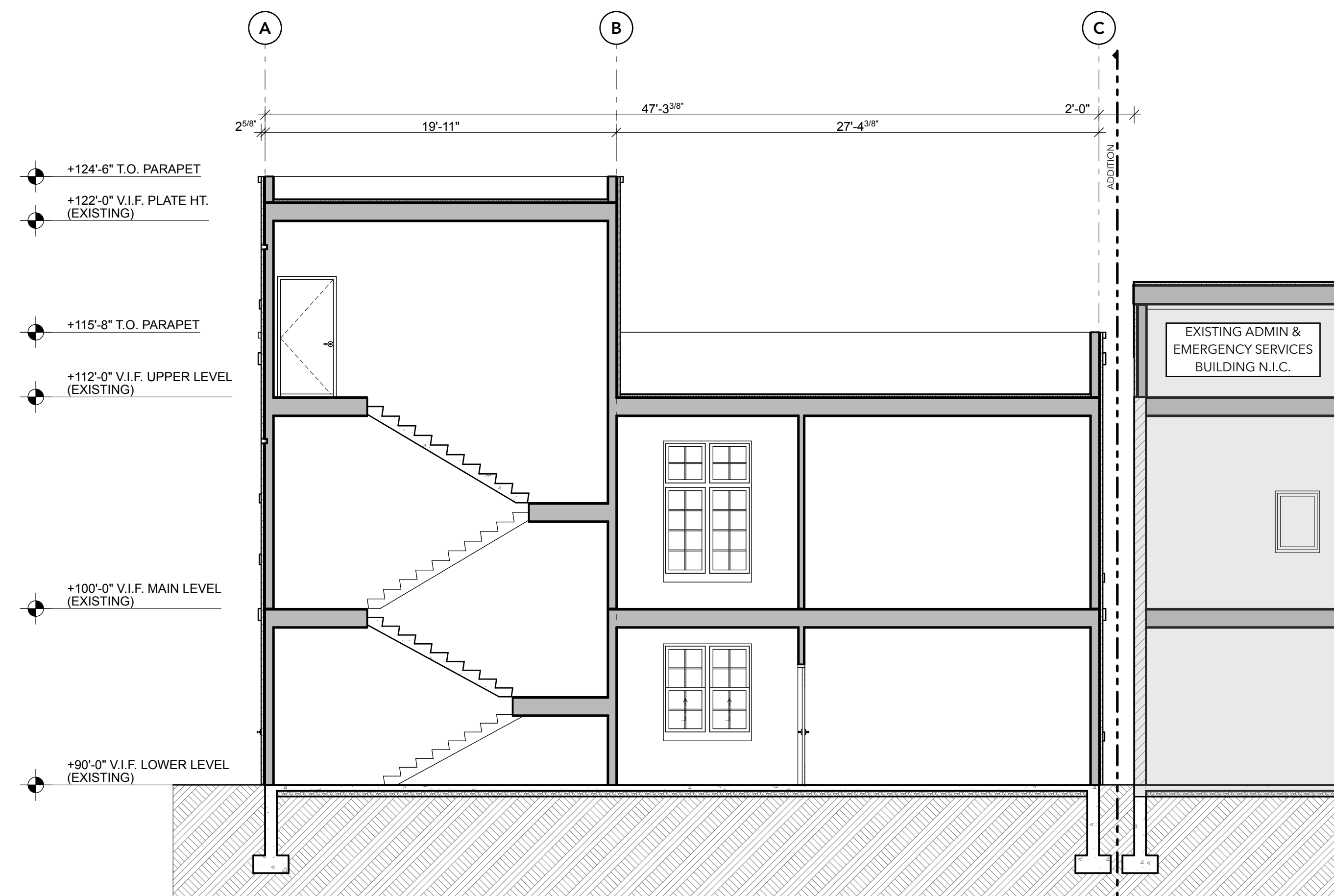
**1 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**3** TYP. FOOTING DETAIL  
SCALE: 1 1/2" = 1'-0"



**2** SECTION N-S  
SCALE: 3/16" = 1'-0"



**1** SECTION E-W  
SCALE: 3/16" = 1'-0"

DATE 2/27/25  
ISSUANCE SCHEMATIC DESIGN PRICING

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SECTIONS

A401

# PROJECT TIMELINE

