

**AGENDA
OURAY CITY COUNCIL**

Monday, March 4, 2024 - 2:30 PM

**Ouray Community Center
320 6th Ave
Ouray, CO 81427**

VIRTUAL OPTION - <https://zoom.us/j/9349389230>

Meeting ID: 934 938 9230 Passcode: 491878 Or dial: 408 638 0968 or 669 900 6833

Ouray City Council Work Session

- Changes to this agenda can be found on the bulletin board at City Hall
- Electronic copies of the Council Packet are available on the City website at www.cityofouray.com. A hard copy of the Packet is also available at the Administrative Office for interested citizens.
- Notice is hereby given that a majority or quorum of the Planning Commission, Ouray Economic Development Committee, Beautification Committee, Tourism Advisory Committee, Main Streets Committee, and/or Parks and Recreation Committee may be present at the above noticed City Council meeting to discuss any or all of the matters on the agenda below for Council consideration

1. CALL TO ORDER
2. DISCUSSION ITEMS
 - a. Home Trust of Ouray County Menu of Services
 - b. Alternative Heat Source for Hot Springs Pool

CITY OF OURAY

Table of Duties for Affordable Housing Program

1. Definitions

Administrator – an entity hired by the City of Ouray to administer or enforce the deed restriction and guidelines.

Appeal – process used when applicant believes the final decision of the Administrator who applied criteria incorrectly.

Housing Committee – the governing body appointed by City Council who shall enforce and administer the deed restrictions and guidelines. **Note:** The City may hire an administrator who reports to the Committee.

Grievance – any dispute with the Committee with respect to action or inaction in accordance with an individual’s rights, duties, welfare, or status. **Note:** Disputes concerning exemptions or exceptions are appeals.

2. Delineated Duties

City of Ouray	Housing Committee	Administrator
Appoints and oversees the Committee*	Administers or enforces the guidelines and deed restrictions in accordance with fair housing standards	Oversees day to day administration of deed restrictions and guidelines
Hires an administrator, if necessary	Oversees the appointed administrator if any	Hears requests for exceptions
Sets initial fine schedule for violations and adopts modifications of fine schedule	Updates the Area Medium Income (AMI) once per year	Oversees lottery process and point ranking system
Approves any suggested modifications to guidelines by Committee	Certifies business owners who own a housing unit	Any other task delegated by the Committee
Approves any modifications to deed restrictions	Permits capital improvement requests	Review and determine exceptions
	Certifies essential response, health care, school district, or government personnel, and full-time employees	
	Hears grievances	
	Approves household leaves of absence	
	Determines Maximum Sales Price (MSP)	
	Review requests for exemptions, prepare an	

	impact report, and approve or deny the same	
	Hears appeals from a final decision of administrator	
	Review and determine exceptions	
	Keep all personal and financial information confidential	
	Require third-party verification of self-employed applicants, if necessary	
	Hire outside accounting expertise to evaluate household income and assets, if necessary	
	Grants reasonable accommodations	
	Determines fee schedule changes	
	Reviews fine schedule every five years	

Note:

* The Committee may be City Council, individuals within the City of Ouray, or a group of Ouray County individuals through an Intergovernmental Agreement



Home Trust of
Ouray County

City of Ouray
Ouray County
Town of Ridgway

Collaboration on a

**Housing Services
Provider**



The mission of the Home Trust is to to grow an inclusive, economically diverse community by providing permanently affordable housing and housing-related resources to modest income households in Ouray County through the stewardship of community assets.

- ❖ In operation since 2021 with an operating budget of \$300,000-400,000 in 2022 & 2023

How We Got Here

- Ouray County exists in a gap in housing services between Montrose and San Miguel Counties.
- A non-profit housing services provider can perform all the functions of a Housing Authority, except collecting a tax, and operates faster and more efficiently.
- Collaboration among the three local governments is essential to address a large problem like the housing crisis.
- Representatives of the three local governments met in February to discuss the housing services needed.
- This presentation includes services discussed as well as additional services HTOC believes would be beneficial to the local governments and community.
- Compare the cost of providing these services separately in-house, versus collaborating with one service provider?

Board of Directors

- Alex Durham - President
- Shirley Diaz – Vice President
- Jeanne Jambor – Treasurer
- Marc Hitchcox – Secretary

Trustee Representation

- Jodi Brown
- Craig Spearman

Government Representation

- Josh Smith – City of Ouray
- Preston Neill – Town of Ridgway
- Jake Niece – Ouray County



Staff & Contractors

In-House Staff

- Andrea Sokolowski – Executive Director
- Kelly Goodin – Director of Community Outreach & Partnerships

Contracted Services

- Kristin King-Ries –Attorney
- Lori Sharp & Amy Stahlin – Grants
- Micaela Folsom – Bookkeeper



Why Use the Home Trust?

- Economy of Scale: Efficient for one organization to provide similar services to three local governments, rather than triplicating efforts in-house.
- The Home Trust is owned and controlled by community stakeholders with oversight, input, and direction provided by local governments.
- Track record of coordinating and collaborating with local governments.
- HTOC has an existing organizational structure, and can increase organizational capacity.
- Board & staff are experienced in affordable housing concepts, regulations, and best-practices.

Summary of Housing Services



Deed Restriction &
Property Management



Housing Construction &
Preservation



Program Creation and
Maintenance



Deed Restriction & Property Management

- Conduct homebuyer selection, sale, & resale processes including initial applications & lotteries
- Continuing qualification & compliance verification
- On the ground deed restriction management & enforcement including site visits.
- Grant administration & reporting
- Property management for rentals including initial lease-up process
- Local presence for homebuyers and renters

Architectural blueprints are shown on the left side of the slide, featuring various floor plans with dimensions and grid lines. The blueprints are rolled up and partially unrolled, showing detailed drawings of building layouts. The dimensions are in millimeters and meters, and the grid lines are labeled with letters and numbers.

Housing Development: Construction & Preservation

- Obtain funding through grants with local match, private donations, price reductions with tax incentives
- Perform community outreach and stakeholder engagement
- Draft the Request for Proposal (RFP) or Request for Qualifications (RFQ)
- Conduct architect and general contractor selection process
- Project Management:
 - Interface with the design team and general contractor
 - Ensure the project is completed on time and on budget

Program Creation & Operation

- Create an attainable housing incentive program that encourages attainable rental housing and for-sale housing throughout the community.
- Plan for and create senior housing, co-housing or assisted living programs
- Create a seasonal housing program that could include dormitories, POD style housing, and camps.
- Create incentives and programs for employers to address housing needs.

*Sourced from City of Ouray Community Plan



Program Creation & Operation

- Create housing guidelines and implement the goals and actions of the local governments Community and Master Plans.
- Coordinate housing needs assessments on a recurring basis as required for Prop 123 funds.
- Identify, assess, and acquire land-banking sites for future affordable housing.
- Create inventory of city, county, and other public or special district owned property that may be suitable for housing development.
- Inventory of all deed restrictions
- Facilitate homebuyer education classes required for first time homebuyers through Housing Resource of Western Colorado.
- Assist in preservation of existing affordable housing that is not deed restricted.



Financial Benefit

- Each local government pays for part-time, but has one or more FTE at its disposal
- Hiring & onboarding burden handled by Home Trust
- Lower cost than creating an in-house housing department or a Housing Authority
- Enables local governments to create and **maintain** affordable housing with **local control**
- Contracting with a housing services provider enables long term planning and a sustainable business model for our community



Next Steps

- Council determines what services it wants. Other local governments will do the same.
- Q2 joint work session with all three local govts.
- Goal is to settle on a list of services and expectations all three governments agree on.
- Review job descriptions based on desired services.
- Task staff to write a contract/MOU/purchase of services agreement that can be incorporated into 2025 budgets.
- HTOC will be ready to provide these services in 2025.



Housing Development – Project Manager

Summary:

The Home Trust of Ouray County (HTOC) is a mission-oriented, nonprofit organization for affordable housing and community development based in the town of Ridgway. We operate under the community land trust model which holds land in trust for community benefit. The community land trust model covers home ownership and rental opportunities, childcare facilities, commercial space, community centers, community gardens, senior centers, and other community assets.

We offer a fast-paced, professional work environment focused on community vitality. We employ individuals with a strong commitment to excellence, a collaborative nature, and the desire to make a difference. The Home Trust is currently seeking an experienced professional to join its Real Estate Development Team as a Project Manager.

We are the local affordable housing developer in Ouray County, and we have an active pipeline of housing projects in various stages of development in Ouray and Ridgway. This is a fantastic opportunity for a seasoned affordable housing development professional looking to be an integral part of our team.

Job Description:

Reporting to the Executive Director, the Project Manager is a key member of the Team. The Manager must have a keen understanding of affordable multi-family housing and can manage the day-to-day implementation of multiple projects, including coordination of architects, engineers, contractors and regulatory agencies to ensure all cost, quality, and schedule objectives are achieved. The Manager must have experience with affordable housing finance sources.

The Manager can work independently, identifying and implementing the strategies to meet the project goals and be a problem solver. Has excellent verbal and written communication skills and be comfortable representing and forming relationships with members of the public and government officials in all matters related to proposed developments. The ability to multi-task several needs of each project while managing multiple projects is crucial.

Key Responsibilities

- Manage all phases of development including initial financial feasibility analysis, proformas, overseeing design development, securing all necessary financing, procuring and contracting with all third-party consultants, overseeing construction efforts and timeline.

- Manage tasks necessary to obtain entitlements and public approval, including community design meetings, submission of entitlement applications, attendance at public hearings.
- Secure funding commitments for projects, including pre-development, interim financing, permanent debt, equity investments, and public or private subsidies; have the ability to creatively combine financing tools to leverage housing funds.
- Build and maintain a pipeline of affordable housing and projects.
- Create, monitor and manage project budgets, manage the project invoice and requisition process in coordination with the Finance Team.
- Lead the project team of architects, engineers, contractors, property management and other professionals, with limited supervision, to achieve the objectives of the project.
- Coordinate with property management and Community Outreach Director during predevelopment and construction to ensure smooth tenant relations.
- Manage projects during construction.
- Perform site inspections and due diligence, evaluating and highlighting opportunities and risks.
- Organize, negotiate, coordinate, document and facilitate project partnership and land escrow closings.
- Formulate and execute strategy for successful applications in response to Requests for Proposals (RFPs).
- Develop and maintain relationships with HTOC partners, including neighborhood and community organizations, public officials, funders, local sponsors and stakeholders to foster support for affordable housing development.

QUALIFICATIONS

- Minimum three (3) years of increasingly responsible project management work experience in the capacity of management level abilities/duties. Bachelor's degree in project management, urban planning, economics, business, public administration or other related fields OR equivalent work experience.
- Affordable housing experience
- An entrepreneurial and creative approach to problem-solving in the field of real estate development; enthusiasm and team building spirit.
- Ability to communicate effectively, both orally and in writing.
- Able to and prioritize tasks, with limited oversight.
- Flexible attitude, hard-worker, and proactive team player.
- Problem solving, strategic thinking and analytical abilities
- Computer proficiency and familiarity with multiple software applications

FT Salary Range: \$65,000-75,000

CONCEPTUAL JOB DESCRIPTION - **Housing Programs Director**

This is not an actual job description. This conceptual job description is provided as a starting point to spur conversation among local government officials about what job positions and responsibilities should be created for a collaborative Housing Services Provider.

Title: Housing Programs Director

Job Status: Full Time, FLSA Exempt

Salary Range: \$70,000 - \$80,000/yr depending on experience

Posting Date: 11/1/2024 – 12/15/2024

Location: Ouray County, Colorado

Benefits: TBD

Position Overview

The Housing Programs Director will develop and manage housing programs in coordination with local governments. This position will report to the Executive Director of the Home Trust of Ouray County and will perform professional and administrative duties relating to planning and implementing programs and activities associated with our local government's housing goals. The Director will work in collaboration with the City of Ouray, Town of Ridgway, and Ouray County, as well as other State and Federal entities, and the public.

Specific Responsibilities

- Develop new housing programs through work with local governments, DOLA, lenders, partners, local Housing Committees, other non-profits, and other stakeholders addressing community housing needs.
- Create an attainable housing incentive program that encourages attainable rental housing and for-sale housing throughout the community.
- Create a seasonal housing program that could include dormitories, POD style housing, and camps.
- Create incentives and programs for employers to address housing needs.
- Create housing guidelines and implement the goals and actions of the local governments Community and Master Plans.
- Coordinate housing needs assessments on a recurring basis as required for Prop 123 funds.
- Identify, assess, and acquire land-banking sites for future affordable housing.
- Create inventory of city, county, and other public or special district owned property that may be suitable for housing development.
- Facilitate homebuyer education classes required for first time homebuyers through Housing Resource of Western Colorado.
- Assist in preservation of existing affordable housing that is not deed restricted.
- Track and manage housing data and annual performance measures that support local housing plans and manage implementation of the plan across multiple program areas.
- Grant application, administration, and reporting
- Ensures compliance with federal, state, and local laws and regulations
- Serve as a local presence for homebuyers and renters
- Perform community outreach and stakeholder engagement
- Engages directly with agencies for which compliance actions are necessary, coordinating with municipal management and legal staff.

- Support other projects and special initiatives as requested.
- Identify potential development opportunities, leveraging non-profit, corporate, individual, and governmental partners;
- Manages the day-to-day operation of the Housing Programs

Competencies & Experience

- Bachelor's degree from an accredited college or university in business, finance, accounting or related field. Or any equivalent combination of education, training and experience which produces the required knowledge, skills and abilities.
- Thorough knowledge of federal, state, and local laws, codes and policies as pertain to affordable housing, non-profit governance, land use, and development.
- Ability to define the structure of new programs from scratch.
- Budget structuring and budget management skills
- Excellent oral and written communication and presentation skills needed to communicate with employees, consultants, governmental agencies, community leaders, media and the general public in order to communicate in a courteous and friendly manner.
- Ability to maintain confidentiality.
- Software Proficiency – Knowledge and skill in use of computer software programs including word processing, spreadsheets, databases, and presentations.
- Attention to details, accuracy and strong organizational skills.
- Ability to work independently and exercise good judgment.
- Ability to compile, analyze and report data.

CONCEPTUAL JOB DESCRIPTION - Housing Services Manager

This is not an actual job description. This conceptual job description is provided as a starting point to spur conversation among local government officials about what job positions and responsibilities should be created for a collaborative Housing Services Provider.

Title: Housing Services Manager

Job Status: Full Time, FLSA Exempt

Salary Range: \$70,000 - \$80,000/yr depending on experience

Posting Date: 11/1/2024 – 12/15/2024

Location: Ouray County, Colorado

Benefits: TBD

Position Overview

The Housing Services Manager will manage and administer new and existing properties, which includes initial buyer/renter applicant screening, ongoing compliance enforcement, and regulatory compliance. This position will report to the Executive Director of the Home Trust of Ouray County, and will work in collaboration with the City of Ouray, Town of Ridgway, and Ouray County, as well as other State and Federal entities, and the public.

Specific Responsibilities

- Conducts applicant qualification screenings including income verification
- Ensures continuing qualification & compliance of owners and renters
- Oversees sale and resale processes, including housing lotteries
- Grant application, administration, and reporting
- Ensures compliance with federal, state, and local regulations
- On the ground deed restriction management & enforcement including site visits
- Serve as a local presence for homebuyers and renters
- Perform community outreach and stakeholder engagement
- Oversees ongoing monitoring, evaluation, and reporting of loans and grants in local government's portfolios, including both services and capital projects, for contract and regulatory compliance.
- Engages directly with agencies for which compliance actions are necessary, coordinating with local governments and legal staff.
- Analysis and tracking of funding streams to ensure efficient, equitable and timely allocation.
- Manages the day-to-day operation of the Housing Services Programs
- Support other projects and special initiatives as requested.

Competencies & Experience

- Thorough knowledge of federal, state, and local laws, codes and policies as pertain to affordable housing, non-profit governance, land use, and development.
- Licensed as a Realtor through the Colorado Real Estate Commission
- Bachelor's degree from an accredited college or university in business, finance, accounting or related field. Or any equivalent combination of education, training and experience which produces the required knowledge, skills and abilities.

- Knowledge of federal and Colorado State laws and accounting rules governing non-profit corporations under Colorado law
- Excellent oral and written communication and presentation skills needed to communicate with employees, consultants, governmental agencies, community leaders, media and the general public in order to communicate in a courteous and friendly manner.
- Knowledge of real estate project finance, including commercial finance, the federal Low Income Housing Tax Credit program, tax-exempt bonds, municipal financing, tax-increment financing.
- Ability to maintain confidentiality.
- Software Proficiency – Knowledge and skill in use of computer software programs including word processing, spreadsheets, databases, and presentations.
- Attention to details, accuracy and strong organizational skills.
- Ability to work independently and exercise good judgment.
- Ability to compile, analyze and report data.



OURAY HOT SPRINGS MECHANICAL POOL BUILDING SCHEMATIC DESIGN



January 3, 2024

564 E. 2nd Ave. Suite 201, Durango, CO 81301 Phone 970.259.7494
262 Pagosa Street Ste. 200, Pagosa Springs, CO 81147 Phone 970.264.6884



SCHEMATIC DESIGN NARRATIVE

Project Overview

The Ouray Hot Springs Pool is located at 1220 Main St., the Pool is bordered by Highway 550 to the east, Fellin Park to the south, the Uncompahgre River to the west, parking lot and Ouray Visitor's Center to the north. Recent struggles with decreased flow rates and legal issues with neighboring properties have created unexpected challenges for the City in keeping the Pool open to the public 7 days a week and maintaining adequate temperatures year-round. The City of Ouray embarked on a Pre-Design Phase to study various options for providing supplemental heat to the Pool. The study identified an option for utilizing electric boilers and heat from discharged water as the preferred solution that could be phased in over time to meet the heating demand. The City of Ouray also determined that expanding the existing pumphouse vertically to house the new equipment would be ideal. Due to the existing site constraints, the City would like to go vertical with the addition in order to preserve parking and other site amenities. The design team analyzed various options to achieve this goal.

The Ouray Pump House building is an existing 2634 SF building that sits on the perimeter of the Ouray Hot Springs Pools at the Northwest corner. The building is a single-story structure constructed of standard foundations, slab on grade, metal framing, split face block, fully grouted with standing seam metal roof. Some exterior walls are furred out with 3-5/8" metal studs at 16" o.c. with batt insulation in the walls and continuous insulation. Roof has a 4:12 pitch and is infilled with closed cell spray foam to meet the energy code. Some areas have a sub level area for heat reclamation tank and other infrastructure. The building was permitted as a Type VB, non-sprinklered building and constructed under the 2009 IBC, 2009 IEBC and 2009 IECC.

The estimated space requirements for the backup heating system were identified as approximately 1,200 SF (63'-4" x 21'-4"). The footprint of the existing west wing of the pumphouse is 60' x 20' and is approximately 1,300 SF. The design team studied the existing drawings to develop a structural solution that could traverse the existing single story building, provide the necessary floor area for the scheduled equipment, and not interfere with the existing network of utility piping and foundations that lie beneath the surface.

Multiple design options for the building addition were analyzed. The design team reviewed local zoning requirements, impacts to the site, overall scale, proportion, structural requirements, building code requirements, colors and materials for each design option. A cost estimate for each option has also been developed.

Zoning Requirements

The City of Ouray has established zoning districts and a Land Use Code that were reviewed for compliance during our design process. The site is zoned P-1 Parks, per the 2022 adopted zoning code for the City of Ouray.

Per Table 7-8-A, the dimensional standards of the building identify a maximum height of 20' for the P-1 Parks Zone. The maximum height limit includes the full roof height and analysis of the average grade across the building. The proposed design analyzed many different roof types and roof pitches. The existing building has a shed roof with a roof pitch of 4:12. The snow sheds to the south where there is a heated concrete sidewalk where snow can quickly melt. In our analysis, we reviewed similar roof styles that worked with the existing architectural language of the building. Incorporating a shed style that sheds snow to the south, to match the previous design, is more functional. However, at a 2:12 pitch (lowest pitch allowed for a warranty with a standing seam metal roof), the height of the roof exceeds the max height by nearly 2'. A shed roof with a pitch of 3:12 will extend above the max height and be approximately 24' tall.



A gable roof with a pitch of 2:12 will reduce the building height to 20'-0". The clear height of the lower level would be approximately 8'. Allowing for depth of structure and the new deck, the second floor, finish floor elevation would be approximately 10'. The design has 8' minimum for the second floor clear height. The gable will shed snow both to the northwest and southeast.

The height will need to be reviewed with Community Development and a variance may be necessary. It should be noted that the existing pool house building appears to be taller than 20' at the highest roof peak. The water slide also goes above the 20' max height requirement.

The design will need to be submitted to the City's planning department for a pre-application conference to review all of the Community Development Departments concerns and questions. Our team will submit a Land Use Application and include working plans and renderings of the proposed addition. Once Community Development approves, our team will then finalize all the construction drawings and submit a building permit application including final drawings and specifications ready to bid and construct.

Site Improvements

Minimal site improvements are anticipated for the project. No parking or changes will be necessary with the proposed design. A small stair projects slightly into the existing sidewalk area, but the footprint is minimal and the sidewalk and parking could be adjusted around this element. The majority of the site impacts will be for trenching of new utility lines and patching concrete sidewalks once the new footings and structural columns are installed.

Parking

The proposed project will not trigger additional parking. Per the Zoning code, Table 7-8-E, the expanded mechanical building will not require additional off-street parking spaces.

Utilities

The proposed addition will require a substantial upgrade to the electrical service to the building. Per ME&E's report, a larger service will be necessary to provide adequate electrical power to the boilers and expanded pump house. The costs of the upgrade have been estimated by San Miguel Power as approximately \$1M.

The existing transformer at the north side of the existing pump house will be removed and a new line will be trenched from the pump house to the West side of the site where a new, larger transformer will be located. The new transformer will have the necessary clearance requirements for the building.

The existing sewer line exits the pump house on the north west corner of the building. The existing sewer and water lines will need to be avoided with new structure and footings. The proposed project will not require additional restrooms. The existing bathhouse will serve the needs of the entire Pool area.

There will be no change to existing communication or telephone lines.

Service + Emergency Access

The remodel does not impact or change anything related to emergency access to the building. Fire trucks and emergency vehicles will utilize the main entry to the City of Ouray Hot Springs Pools and parking lot.

The design team analyzed 3 options for the project.



Option 1 – Mechanical Room Addition Only

Scope is minimal and includes only the second story addition for the mechanical space. The addition only affects the west wing of the existing mechanical building. Square footage added is only what is needed for Option 7.2 to provide backup heat for the Ouray Hot Springs Pools. The structural system provides spacing that is economical and also works with the existing infrastructure in place, based on the design drawings from the 2016 renovation.

Mechanical Building (Existing)-	2,634 SF
<u>Proposed Addition (Option 1)-</u>	<u>1,548 SF</u>
Total Building -	4,182 SF

Estimated costs for Option 1 = \$3.71M.

The cost to bring power to the site is an *additional* \$1,000,000 for a total project cost of \$4.71M.

Estimated building costs alone = \$700k.

There is approximately \$450,000 of contingencies built into the \$3.71M.

Note! The boilers could be phased in over time, thus saving approximately \$500k in up front costs.

Option 2 – Mechanical Room + Overlook Addition

Scope includes a second story addition over the entire pump house to house the mechanical room and an Overlook amenity space. The overlook area could be rented out by the City for private parties, or used as an area where alcohol could be served during business hours. The overlook area would occur on the east wing of the existing mechanical building and would have perfectly framed views of the mountains to the south along with a view of the Pools and play area below. This option could be more enclosed and have additional amenities in the east wing. Architecturally, extending the 2nd story over the entire pump house creates a more aesthetically balanced design. Option 1 is functional and more economical. However, the design feels awkward in terms of the perceived heaviness of the two-story building next to the smaller single story east wing of the pump house. The design team feels like a two-story solution across the entire structure is a more attractive solution architecturally. If the City of Ouray could generate revenue from the additional square footage, the design team felt like it was an option worth exploring.

Adding a second floor over the entire building would extend the structural solution around the building for new posts. Since the area that would be open to the public does not exceed 3000 sf, an elevator would not be required. However, if the space will serve any food, drink, or alcohol, it will be considered an A-2 occupancy and a fire sprinkler will be required. The assembly occupancy will also have an occupancy over 50 and therefore, 2 exits will be required. Since the assembly use is elevated, this also would require a fire suppression system.

The cost to sprinker the entire building would be approximately \$6/SF @ nearly 6500 SF is about \$40,000. The additional steel stair adds about \$30,000 in costs.

Mechanical Building (Existing)-	2,634 SF
<u>Proposed Addition (Option 2)-</u>	<u>3,960 SF</u>
Total Building -	6,594 SF

Estimated costs for Option 2 = \$4.35M.

The cost to bring power to the site is an *additional* \$1,000,000 for a total project cost of \$5.35M

Estimated building costs alone = \$1.15M

There is approximately \$360,000 of contingencies built into the \$4.35M.

Note! The boilers could be phased in over time, thus saving approximately \$500k in up front costs.



Option 3 – Mechanical Room + Open Overlook Addition

Scope includes a second story addition over the pump house and includes a smaller Overlook, but the area of the addition is reduced and occupancy could be modified to avoid triggering the elevator and some of the additional costs. The footprint is reduced to only cover the single-story mechanical portion of the east wing. In this approach, the square footage still requires two exits. However, the limited square footage could help reduce costs and an open concept was explored as well. The overlook will still require 2 exits in the form of stairs. If alcohol is not served and the space is left as an open air space with a roof only, then it may be considered an A-5 occupancy (grandstand) but this would limit how it was used. The elevated assembly occupancy triggers sprinklering regardless. Also, structurally, the approach is more challenging in terms of the constructability of getting new posts and footings around the existing building. The cost to sprinkle the building however is estimated to be about \$40k. A second stair will be required for an additional \$30k. Ultimately, sprinklering the building is recommended for long term, maximized use of the space.

Existing

Mechanical Building (Existing)-	2,634 SF
<u>Proposed Addition (Option 3)-</u>	<u>3,000 SF</u>
Total Building -	5,634 SF

Estimated costs for Option 2 = \$4.262M.

The cost to bring power to the site is an *additional* \$1,000,000 for a total project cost of \$5.262M

Estimated building costs alone = \$1.1M

There is approximately \$500,000 of contingencies built into the \$4.262M.

Note! The boilers could be phased in over time, thus saving approximately \$500k in up front costs.

Building Material and Color Palette

Exterior Materials + Finishes

Preliminary finishes have been selected based on previous conversations with the Owner and for pricing purposes. Exterior Finishes will include materials and colors that are low maintenance but complement the existing materials and architecture. The existing building is a split face block in a light tan color. The existing roof is a faded light red standing seam metal roof. Trim is dark bronze/brown which matches the existing bath house as well. Other existing colors and materials of City buildings on this site include dark bronze/brown painted trim, painted wood siding in a moss green, and other red metal roofs.

The proposed addition will involve some masonry work. Trying to reuse demolished block for an exact match is an option. There will likely be some block needed that will be close in color, but not an exact match. Most of this infill block however, will be in the shadows on a small portion of the building and on two elevations only.

New steel exoskeleton will be painted dark bronze and all misc trim/fascia to be dark bronze. The new exterior envelope of the addition is proposed as a metal panel. Since the new steel frame will extend beyond the footprint of the existing building, a lighter material makes more sense architecturally for the addition. Hanging a heavy masonry stone wall would look awkward and would not be an exact match. Additionally, masonry is currently one of the most expensive materials to use in this area due to labor issues and availability of subs. Limiting masonry work is recommended. A modern metal panel with clean lines that can act as a rain screen is proposed to clad the addition. A darker charcoal color panel will help reduce glare and reflections. The darker color is an intentional departure from the existing building color. A painted wood smart siding product is a VE option to save on costs.



Interior finishes to be low maintenance and resilient and include painted drywall and sealed concrete only. Structure will be exposed at the ceiling and be painted. For Option 2 or 3 where there is an Overlook Assembly space, we propose some casework/countertop areas that would be exterior rated and would allow for seasonal use of the space.

STRUCTURAL SCHEMATIC DESIGN NARRATIVE

The new second floor addition to the mechanical building will be of concrete and steel construction. The second floor structure will be a concrete slab over a metal pan deck supported by a steel beam skeleton. This steel beam skeleton will be held up by metal posts which are outside of the footprint of the existing in order to not add additional loads to the existing foundation. The walls of the second floor addition will be constructed of metal studs clad in metal sheathing. The roof will be constructed of light gauge steel trusses sheathed in metal roofing.

The new second floor addition of the existing mechanical building will have a concrete floor for two important reasons. The first is waterproofing. All the new equipment on the second floor will have fluid flowing through them and leaks are an inevitable issue. The second reason is the high weight of the new equipment. Numerous pieces of equipment weight a ton or more and they will be closely spaced together. The heat pumps proposed in the new mechanical design are estimated at 2,700 pounds each. This is a total of 21,600 pounds and does not include the other miscellaneous piping, panels and equipment that will be necessary for the pump house. These large loads will all be elevated and the new structure will need to account for this weight. For both of these reasons, a wood floor structure is undesirable.

The piers holding up the steel skeleton of the second floor will effectively allow the new addition to be independent from the existing foundation and keep from adding new loads to the existing foundation. Deep piers or foundation elements will be avoided to keep from penetrating the aquifer. The pier will bear on shallow type concrete pads of a similar depth to the existing building foundation. On the pool side, the piers will be kept as close to the building as possible to avoid disturbing the pool side walls. The footer pads on these piers may be pinned into the existing foundation assuming there is sufficient bearing capacity to do so. If not, the piers pads will be placed slightly below the existing footers in order to prevent any eccentric loading.

Avoiding existing utility lines will be one of the biggest challenges to the new second floor addition. It will be important to not impact the existing pools or existing spacing required for certain utility lines that run in and out of the building. Some patching and rework of existing sidewalks and snow melt, may need to be redone once the new structure is in place.



CODE ANALYSIS

The following information presents the overall design standards and criteria for our analysis. Specific requirements from the IEBC and IBC and other referenced Codes are identified.

Design Codes and Loads

- 2018 International Building Code
- 2018 International Existing Building Code
- 2018 International Energy Conservation Code
- 2018 International Fire Code
- 2018 International Plumbing Code
- 2018 International Fuel Gas Code
- 2018 International Mechanical Code
- 2018 National Electrical Code
- 2018 Swimming Pool and Spa Code
- ICC/ANSI A117.1.1-2017 Standard for Accessible and Usable Buildings and Facilities

Adopted Standards

- Ground Snow Load: 65 psf
- Wind Speed: 115 mph Ultimate / Exposure B or C
- Topographic Effects: N/A
- Special Wind Region: N/A
- Windborne Debris Zone: N/A
- Seismic Design Category: C
- Weathering: Severe
- Frost Line Depth: 36"
- Termite: Slight
- Winter Design Temp.: 7 degrees F
- Ice Barrier Underlayment: Yes
- Flood Hazards: Those set forth in FIRM Map Panel No. 0801370316C, (dated December 9, 2005), as they may be amended, and any other applicable FIRM, FIS, or other flood hazard map, if any.
- Air Freezing Index: 2000
- Mean Annual Temp.: 40



TIMELINE OF CONSTRUCTION

Ouray Hot Springs Pool (OHSP) – 1927
 Ouray Hot Springs Pool and Master Plan - 2016

IEBC

EXISTING OCCUPANCY + CONSTRUCTION TYPE

Existing Building Construction Type – Type VB
 Existing Occupancy Classification – S1 Mechanical Building
 Sprinklered - Non-Sprinklered

PROPOSED OCCUPANCY + CONSTRUCTION TYPE

Existing Building Construction Type – Type IIB
 It is recommended to reclassify the proposed renovation and addition as a Type IIB building.
 This will allow the S1 use to be two story and allow for other modifications to the building as presented in the following Options. Reclassification allows the building to remain non-sprinklered.

Existing Occupancy Classification – S1 Mechanical Building
 Sprinklered - Non-Sprinklered

ALLOWABLE AREA + HEIGHTS

Per Table 503, S1 Type VB = 9,000 SF

Mechanical Building (Existing)-	2,634 SF
<u>Proposed Addition (Option 1)-</u>	<u>1,548 SF</u>
Total Building -	4,182 SF

Existing

Mechanical Building (Existing)-	2,634 SF
<u>Proposed Addition (Option 2)-</u>	<u>3,960 SF</u>
Total Building -	6,594 SF

Existing

Mechanical Building (Existing)-	2,634 SF
<u>Proposed Addition (Option 3)-</u>	<u>3,000 SF</u>
Total Building -	5,634 SF

Project Complies with all 3 Options

Allowable Height above grade plane Table 504.3

Type S, VB, Non Sprinklered - 40 Feet

Project Complies

Per Table 504.4

Allowed Number of Stories Above Grade Plane - 1 Stories
 Proposed Number of Stories Above Grade Plane - 2 Stories

Project Does Not Comply without reclassifying as a Type II-B or sprinklering with NFPA 13 system.



PROPOSED OPTIONS TO MEET ALLOWABLE STORY CRITERIA

Option 1 – Classify the building as a Type IIB

Existing construction meets these requirements.

Existing construction is non-combustible with allowable misc wood framing/blocking that is non-structural.

Existing steel roof beams, steel deck, sheathing and roof to be removed.

New composite steel floor deck (conc and steel) to be added as second floor and new steel framed structure with metal stud framing designed for the new second story.

All new construction materials and load-bearing elements will be non-combustible.

Option 2/3 – Provide an NFPA 13 Fire Suppression system to the building

Sprinkler the Building – is estimated at \$6/SF

Assumes that we would have the necessary pressures required for fire flow.

Riser room required

Table 1017.2 TRAVEL DISTANCE

Existing Max Travel Distance = 200'

Existing Actual Travel Distance = +/- 70'

OCCUPANCY S

Table 412.2.5 Limits storage of corrosives to 975 gallons

Storage limited to 500 gallons

Amount could be doubled if an approved storage exhausted enclosure is provided.

IECC

Climate zone 6B

Table 502.1.1

The buildings thermal envelope shall meet the requirements of tables 502.2 and 502.3 based on the climate zones specified in chapter 3.

Table 502.2 Attic and other R-49

IEBC

Section 606 – Additions to Buildings shall comply with provisions of Chpt 11.

Note! Proposed change in construction type shall be reviewed with the building inspector.

101.4.3 Additions, Alterations, Renovations or Repairs

Level 3 Renovation

Additional, alterations, renovation or repairs to an existing building, building system or portion thereof shall conform to the provisions of this code as they relate to new construction without requiring the unaltered portions of the existing building system to comply with this code. Additions, alterations renovations or repairs shall not create an unsafe or hazardous condition or overload existing building systems. An addition shall be deemed to comply with this code if the addition alone complies or if the existing building and addition comply with this as a single building. If more than 50% of the existing building area is renovated it is classified as a Level 3 Renovation.

Certificate of occupancy is required where a change of occupancy occurs or a portion of the building has a change of occupancy in the case of Option 2 or 3.



PROPOSED SPECIFICATIONS FOR PROJECT

DIVISION 2 – EXISTING CONDITIONS

Existing steel roof beams, steel decking, sheathing and roofing to be removed.
Wood fascia and trim around existing building to be removed.
Removal of portions of sidewalk and concrete patio to allow for new steel columns to support 2nd story.
New footers and foundations to go in that will meet criteria of the soils report.
No change to existing, original portion of pump house in terms of the interior. Under Option 1, the east side of the building will remain. Only the west side of the building will receive demolition. Options 2 and 3 include demolition to the east side roof and a portion of the exterior walls.

DIVISION 3 - CONCRETE

New concrete deck for the second floor will be required.
New concrete footers and foundations for the new steel structure.
Concrete accessories such as a floor sealer will be required.
New sidewalk will need to be created to jog around the new stair bumpout.
Patching of existing sidewalk and concrete after new foundations are put in.

DIVISION 4 - MASONRY

Infill of masonry will be required on the east side of the existing building, which was the low side of the existing structure. Split face block to match existing along with accessories for masonry work, grout, brick ties, etc.

DIVISION 5 - METALS

New steel structure to support the second floor and roof will be required including structural steel framing, steel joist framing and steel decking.
Composite steel deck will be used for the new floor deck and regular roof deck will be standard steel deck.
Miscellaneous steel plates, accessories and angles required to make the connections, support the deck and roof will be necessary.
New steel stairs required to access the second floor.
Miscellaneous accessories for infill masonry such as brick ties.
Miscellaneous prefinished metal flashing will be required.
New steel bollards may be necessary around the existing building near the new entry to second story to protect from vehicles.
Standing seam metal roof to match existing.
Metal louvers for ventilation.
Steel and cable guardrail system for Options 2 or 3 will be required at the east wing.

DIVISION 6 – WOOD + PLASTIC

Rough carpentry will be necessary for mounting of electrical equipment and various monitors and panels.

DIVISION 7 – THERMAL AND MOISTURE PROTECTION

Damproofing of any new stem walls may be necessary.
Thermal insulation, weather barrier, air barriers to meet energy code requirements.
Metal wall panels as exterior finish.
Sheet metal flashing and trim.
Joint sealants throughout the new addition.

DIVISION 8 – OPENINGS

Hollow metal doors and frames for entry into the second floor including door hardware will be required.



Aluminum windows and glazing may be included for aesthetic purposes.
Louvers for ventilation.

DIVISION 9 - FINISHES

Flooring preparation for sealing of concrete floor in the second story.
Gyp board assemblies for interior wall finish will be required.
Miscellaneous exterior painting will be required.
High performance coating may be necessary on the interior of the building to protect against moisture, corrosion, etc.

DIVISION 10 - SPECIALTIES

Signage will be required per code.
Fire protection specialties (extinguishers) to be required.

DIVISION 22 - PLUMBING

New piping will be required for new backup heating system per Option 7.2.
Also, if an A-2 or enclosed A-5 occupancy is desired, then a fire protection system (NFPA 13) will be required throughout the building.

DIVISION 23 - MECHANICAL

Mechanical ventilation and coordination will be required.

DIVISION 26 - ELECTRICAL

Electrical will be required. New service to meet the demands of the proposed new backup boilers and heating system for the Pools.
Options 2 and 3 allows for some additional receptacles and lighting in the Outlook area.

DIVISION 31 – EARTHWORK

Site Improvements/modifications will be necessary for the new foundations and for any modifications to the sidewalk and adjustments to the route around parking.
Excavation for new footers.
Trenching for utility connections and new piping.
Rock removal may be necessary.

DIVISION 32 – EXTERIOR IMPROVEMENTS

Concrete paving or asphalt paving may be necessary to patch area around the building.

DIVISION 33 – UTILITIES

Piping systems and distribution piping for the new pool equipment and connection to existing utilities will be necessary.

OURAY**COST ESTIMATE - OPTION 1****1548 GSF**

12/28/2023

DIVISIONS OF WORK	QUANTITY	UNITS	UNIT COST	TOTAL
DIV 01 - GENERAL CONDITIONS				
jobsite supervision-Super	8	months	\$ 4,000.00	\$ 32,000.00
jobsite supervision-project mgr	8	months	\$ 2,000.00	\$ 16,000.00
jobsite supervision-asst/engineer	8	months	\$ 1,000.00	\$ 8,000.00
job trailer	8	months	\$ 1,000.00	\$ 8,000.00
daily clean	28	weeks	\$ 150.00	\$ 4,200.00
final clean	1	LS	\$ 2,000.00	\$ 2,000.00
misc labor	8	months	\$ 1,000.00	\$ 8,000.00
small tools	8	months	\$ 500.00	\$ 4,000.00
equipment rental	8	months	\$ 1,000.00	\$ 8,000.00
winter conditions	4	months	\$ 5,000.00	\$ 20,000.00
porta-potty	8	months	\$ 200.00	\$ 1,600.00
surveying	1	allow	\$ 5,000.00	\$ 5,000.00
traffic control				\$ -
material testing	1	allow	\$ 8,000.00	\$ 8,000.00
potholing				\$ -
record docs	8	months	\$ 250.00	\$ 2,000.00
first aid	8	months	\$ 100.00	\$ 800.00
safety	8	months	\$ 100.00	\$ 800.00
temp signage	8	LS	\$ 300.00	\$ 2,400.00
temp utilities	4	months	\$ 2,000.00	\$ 8,000.00
dumpsters	8	ea	\$ 1,000.00	\$ 8,000.00
contingency	8	months	\$ 2,000.00	\$ 16,000.00
insurances, bonds, misc.	8	months	\$ 250.00	\$ 2,000.00
trash hauling	8	ea	\$ 200.00	\$ 1,600.00
SUBTOTAL				\$ 166,400.00
DIV 02 - EXISTING CONDITIONS				
Demolition	1200	SF	\$ 30.00	\$ 36,000.00
SUBTOTAL				\$ 36,000.00
DIV 03 - CONCRETE				
Footings	12	CY	\$ 900.00	\$ 10,800.00
	0	CY	\$ 700.00	\$ -
Concrete Flatwork	30	CY	\$ 700.00	\$ 21,000.00
SUBTOTAL				\$ 31,800.00
DIV 04 - MASONRY				
Misc Cutting/Patching/Infill	1	allow	\$ 40,000.00	\$ 40,000.00
		sf	\$ 75.00	\$ -
SUBTOTAL				\$ 40,000.00

DIV 05 - METALS

Structural steel	18	TONS	\$	3,500.00	\$	63,000.00
Steel Joists	6	TONS	\$	3,500.00	\$	21,000.00
Steel Decking	1548	SF	\$	14.00	\$	21,672.00
Steel stair	1	allow	\$	32,000.00	\$	32,000.00
Steel Erection	1	unit	\$	20,000.00	\$	20,000.00
Misc Angles, connections, bolts, etc.	1	allow	\$	6,000.00	\$	6,000.00

SUBTOTAL \$ 163,672.00

DIV 06 - WOOD AND PLASTIC

Wood framing material	0	SF	\$	35.00	\$	-
Wood framing labor	0	SF	\$	35.00	\$	-
Rough Carpentry	500	SF	\$	6.00	\$	3,000.00
Finish Carpentry	0	SF	\$	10.00	\$	-
Casework	0	ALLOW.	\$	32,000.00	\$	-
Countertops	0	sf	\$	45.00	\$	-

SUBTOTAL \$ 3,000.00

DIV 07 - THERMAL AND MOISTURE PROTECTION

Rigid Insulation at Stem walls	0	sf	\$	8.00	\$	-
Continuous Insulation	1548	sf	\$	6.00	\$	9,288.00
Batt Insulation Walls	0	sf	\$	2.50	\$	-
CONT Insulation Roof	1548	sf	\$	4.00	\$	6,192.00
Building Wrap/Air Barrier	1548	sf	\$	2.00	\$	3,096.00
Standing Seam metal roof	1900	sf	\$	18.00	\$	34,200.00
Stucco	0	sf	\$	30.00	\$	-
Smart Siding	0	sf	\$	40.00	\$	-
Metal Panel	1548	sf	\$	40.00	\$	61,920.00
Metal Panel Wainscot	0	sf	\$	25.00	\$	-
Flashings/trim	1548	LF	\$	8.00	\$	12,384.00
Sealants	1548	sf	\$	4.00	\$	6,192.00

SUBTOTAL \$ 133,272.00

DIV 08 - DOORS & WINDOWS

Hollow metal door frames	2	EA	\$	1,000.00	\$	2,000.00
Flush wood doors	0	EA	\$	1,000.00	\$	-
Steel Doors	3	EA	\$	1,200.00	\$	3,600.00
Access Panels	1	EA	\$	200.00	\$	200.00
Aluminum storefront windows	0	SF	\$	125.00	\$	-
Glazing/Windows	0	SF	\$	24.00	\$	-
Door hardware	3	EA	\$	1,100.00	\$	3,300.00
Ext Door hardware w/ access control	0	EA	\$	7,000.00	\$	-
Louvers	3	EA	\$	500.00	\$	1,500.00
Mirrors	0	EA	\$	500.00	\$	-

SUBTOTAL \$ 10,600.00

DIV 09 - FINISHES

Gyp board assemblies	1548	SF	\$	4.00	\$	6,192.00
cold form framing 2.5"	0	SF	\$	12.00	\$	-
cold form framing 3-5/8"	0	SF	\$	16.00	\$	-
cold form framing 6"	1548	SF	\$	18.00	\$	27,864.00
rubber flooring	0	SF	\$	19.00	\$	-
Carpet Tile	0	SF	\$	12.00	\$	-
Resinous flooring		SF	\$	8.00	\$	-
Acoustic Ceilings + trim	0	SF	\$	14.00	\$	-
Painting Interior	1548	SF	\$	4.00	\$	6,192.00
Painting Exterior	2000	SF	\$	4.00	\$	8,000.00
Resilient base	0	lf	\$	2.25	\$	-
Concrete seal	1548	SF	\$	3.00	\$	4,644.00
FRP	0	SF	\$	15.00	\$	-
Ceramic tile material and Accessories	0	SF	\$	25.00	\$	-
Tile Labor	0	SF	\$	10.00	\$	-

SUBTOTAL \$ 52,892.00

DIV 11 - SPECIALTIES

Toilet Partitions	0	allow	\$	20,000.00	\$	-
Signage - Exterior	1	allow	\$	2,000.00	\$	2,000.00
Signage - Interior	1	Allow	\$	2,000.00	\$	2,000.00
Wall Protection + Corner Guards	0	EA	\$	100.00	\$	-
Toilet Accessories	0	EA	\$	250.00	\$	-
Fire Protection (Extinguishers)	2	EA	\$	225.00	\$	450.00

SUBTOTAL \$ 4,450.00

DIV 10 - EQUIPMENT

Appliances	0	see sched	\$	7,000.00	\$	-
------------	---	-----------	----	----------	----	---

SUBTOTAL \$ -

DIV 12 - FURNISHINGS

Blinds	0		\$	200.00	\$	-
Shades	0	allow	\$	500.00	\$	-

SUBTOTAL \$ -

MEP

MEP (EXCLUDES SAN MIGUEL POWER)	1	EST	\$	2,259,586.00	\$	2,259,586.00
Fire Protection	0	SF	\$	6.00	\$	-
Plumbing	0	SF	\$	38.00	\$	-
HVAC	0	SF	\$	40.00	\$	-
Electrical	0	SF	\$	30.00	\$	-
Fire Alarm	0	SF	\$	10.00	\$	-
Communications	0	SF	\$	8.00	\$	-
Emergency Resp Radio Coverage	0	allow	\$	-	\$	-

SUBTOTAL \$ 2,259,586.00

DIV 30-33 - EARTHWORK, EXTERIOR IMPROVEMENTS, UTILITIES

Site Civil Costs	1	allow	\$	8,000.00	\$	8,000.00
Water Service 3" Fire	0	ALLOW.	\$	-	\$	-
Water Service 1.5" Domestic	0	ALLOW.	\$	-	\$	-
Elec Service	0	ALLOW.	\$	5,000.00	\$	-
Gas Service	0	ALLOW.	\$	7,500.00	\$	-
Sewer Service 4"	0	ALLOW.	\$	-	\$	-
Landscaping (Gravel + Cobble)	0	ALLOW.	\$	25,000.00	\$	-
SUBTOTAL					\$	8,000.00

SUBTOTAL	\$ 1,879.63	per SF	\$	2,909,672.00
-----------------	-------------	--------	----	--------------

Escalation Contingency	1%	\$	145,483.60
SUBTOTAL		\$	3,055,155.60
Design Contingency	10%	\$	305,515.56
SUBTOTAL		\$	3,360,671.16
Material Testing	0.50%	\$	15,275.78
GC Fee	8%	\$	268,853.69
Bond	0.50%	\$	16,803.36
GL Insurance	1.50%	\$	50,410.07
TOTAL CONSTRUCTION BASE BID		\$	3,712,014.05
	Cost/SF	\$	2,397.94

PROJECT ALTERNATES

SAN MIGUEL POWER COST TO BRING ELEC TO SITE	\$	1,000,000.00
TOTAL:	\$	1,000,000.00

GRAND TOTAL W/ SAN MIGUEL POWER \$ 4,712,014.05
Cost/SF \$ 3,043.94

OURAY**COST ESTIMATE - OPTION 2****3960 GSF**

12/28/2023

DIVISIONS OF WORK	QUANTITY	UNITS	UNIT COST	TOTAL
DIV 01 - GENERAL CONDITIONS				
jobsite supervision-Super	8	months	\$ 4,000.00	\$ 32,000.00
jobsite supervision-project mgr	8	months	\$ 2,000.00	\$ 16,000.00
jobsite supervision-asst/engineer	8	months	\$ 1,000.00	\$ 8,000.00
job trailer	8	months	\$ 1,000.00	\$ 8,000.00
daily clean	28	weeks	\$ 150.00	\$ 4,200.00
final clean	1	LS	\$ 2,000.00	\$ 2,000.00
misc labor	8	months	\$ 1,000.00	\$ 8,000.00
small tools	8	months	\$ 500.00	\$ 4,000.00
equipment rental	8	months	\$ 1,000.00	\$ 8,000.00
winter conditions	4	months	\$ 5,000.00	\$ 20,000.00
porta-potty	8	months	\$ 200.00	\$ 1,600.00
surveying	1	allow	\$ 5,000.00	\$ 5,000.00
traffic control				\$ -
material testing	1	allow	\$ 8,000.00	\$ 8,000.00
potholing				\$ -
record docs	8	months	\$ 250.00	\$ 2,000.00
first aid	8	months	\$ 100.00	\$ 800.00
safety	8	months	\$ 100.00	\$ 800.00
temp signage	8	LS	\$ 300.00	\$ 2,400.00
temp utilities	4	months	\$ 2,000.00	\$ 8,000.00
dumpsters	8	ea	\$ 1,000.00	\$ 8,000.00
contingency	8	months	\$ 2,000.00	\$ 16,000.00
insurances, bonds, misc.	8	months	\$ 250.00	\$ 2,000.00
trash hauling	8	ea	\$ 200.00	\$ 1,600.00
SUBTOTAL				\$ 166,400.00
DIV 02 - EXISTING CONDITIONS				
Demolition	2500	SF	\$ 22.00	\$ 55,000.00
SUBTOTAL				\$ 55,000.00
DIV 03 - CONCRETE				
Footings	26	CY	\$ 900.00	\$ 23,400.00
	0	CY	\$ 700.00	\$ -
Concrete Flatwork	60	CY	\$ 700.00	\$ 42,000.00
SUBTOTAL				\$ 65,400.00
DIV 04 - MASONRY				
Misc Cutting/Patching	280	allow	\$ 75.00	\$ 21,000.00
		sf	\$ 75.00	\$ -
SUBTOTAL				\$ 21,000.00

DIV 05 - METALS

Structural steel	45	TONS	\$	3,500.00	\$	157,500.00
Steel Joists	14	TONS	\$	3,500.00	\$	49,000.00
Steel Decking	3960	SF	\$	14.00	\$	55,440.00
Steel Stair	1	allow	\$	60,000.00	\$	60,000.00
Guardrail + Handrails system	1	allow	\$	35,000.00	\$	35,000.00
Steel Erection	1	unit	\$	32,000.00	\$	32,000.00
Misc Angles, connections, bolts, etc.	1	allow	\$	5,000.00	\$	5,000.00
SUBTOTAL					\$	393,940.00

DIV 06 - WOOD AND PLASTIC

Wood framing material	0	SF	\$	35.00	\$	-
Wood framing labor	0	SF	\$	35.00	\$	-
Rough Carpentry	750	SF	\$	6.00	\$	4,500.00
Finish Carpentry	0	SF	\$	10.00	\$	-
Casework	1	ALLOW.	\$	16,000.00	\$	16,000.00
Countertops	1	ALLOW.	\$	7,000.00	\$	7,000.00
SUBTOTAL					\$	27,500.00

DIV 07 - THERMAL AND MOISTURE PROTECTION

Rigid Insulation at Stem walls	0	sf	\$	8.00	\$	-
Continuous Insulation	2800	sf	\$	6.00	\$	16,800.00
Batt Insulation Walls	0	sf	\$	2.50	\$	-
CONT Insulation Roof	2800	sf	\$	4.00	\$	11,200.00
Building Wrap/Air Barrier	2800	sf	\$	2.00	\$	5,600.00
Standing Seam metal roof	5150	sf	\$	18.00	\$	92,700.00
Stucco	0	sf	\$	30.00	\$	-
Smart Siding	0	sf	\$	40.00	\$	-
Metal Panel	2800	sf	\$	40.00	\$	112,000.00
Metal Panel Wainscot	0	sf	\$	25.00	\$	-
Flashings/trim	2800	LF	\$	8.00	\$	22,400.00
Sealants	2400	sf	\$	4.00	\$	9,600.00
SUBTOTAL					\$	270,300.00

DIV 08 - DOORS & WINDOWS

Hollow metal door frames	2	EA	\$	1,000.00	\$	2,000.00
Flush wood doors	0	EA	\$	1,000.00	\$	-
Steel Doors	3	EA	\$	1,200.00	\$	3,600.00
Access Panels	1	EA	\$	200.00	\$	200.00
Aluminum storefront windows	0	SF	\$	125.00	\$	-
Glazing/Windows	0	SF	\$	24.00	\$	-
Door hardware	3	EA	\$	1,100.00	\$	3,300.00
Ext Door hardware w/ access control	0	EA	\$	7,000.00	\$	-
Louvers	3	EA	\$	500.00	\$	1,500.00
Mirrors	0	EA	\$	500.00	\$	-
SUBTOTAL					\$	10,600.00

DIV 09 - FINISHES

Gyp board assemblies	2800	SF	\$ 4.00	\$ 11,200.00
cold form framing 2.5"	0	SF	\$ 12.00	\$ -
cold form framing 3-5/8"	0	SF	\$ 16.00	\$ -
cold form framing 6"	2800	SF	\$ 18.00	\$ 50,400.00
rubber flooring	0	SF	\$ 19.00	\$ -
Carpet Tile	0	SF	\$ 12.00	\$ -
Resinous flooring		SF	\$ 8.00	\$ -
Acoustic Ceilings + trim	0	SF	\$ 14.00	\$ -
Painting Interior	2200	SF	\$ 4.00	\$ 8,800.00
Painting Exterior	2800	SF	\$ 4.00	\$ 11,200.00
Resilient base	0	lf	\$ 2.25	\$ -
Concrete seal	3960	SF	\$ 3.00	\$ 11,880.00
FRP	0	SF	\$ 15.00	\$ -
Ceramic tile material and Accessories	0	SF	\$ 25.00	\$ -
Tile Labor	0	SF	\$ 10.00	\$ -

SUBTOTAL \$ 93,480.00

DIV 11 - SPECIALTIES

Toilet Partitions	0	allow	\$ 20,000.00	\$ -
Signage - Exterior	1	allow	\$ 2,000.00	\$ 1,000.00
Signage - Interior	1	Allow	\$ 2,000.00	\$ 1,000.00
Wall Protection + Corner Guards	0	EA	\$ 100.00	\$ -
Toilet Accessories	0	EA	\$ 250.00	\$ -
Fire Protection (Extinguishers)	2	EA	\$ 225.00	\$ 450.00

SUBTOTAL \$ 2,450.00

DIV 10 - EQUIPMENT

Appliances	0	see sched	\$ 7,000.00	\$ -
------------	---	-----------	-------------	------

SUBTOTAL \$ -

DIV 12 - FURNISHINGS

Blinds	0		\$ 200.00	\$ -
Shades	0	allow	\$ 500.00	\$ -

SUBTOTAL \$ -

MEP

MEP (EXCLUDING SAN MIGUEL POWER)	1	EST	\$ 2,259,586.00	\$ 2,259,586.00
Fire Protection	6594	SF	\$ 6.00	\$ 39,564.00
Plumbing	0	SF	\$ 38.00	\$ -
HVAC	0	SF	\$ 40.00	\$ -
Electrical	0	SF	\$ 30.00	\$ -
Fire Alarm	0	SF	\$ 10.00	\$ -
Communications	0	SF	\$ 8.00	\$ -
Emergency Resp Radio Coverage	0	allow	\$ -	\$ -

SUBTOTAL \$ 2,299,150.00

DIV 30-33 - EARTHWORK, EXTERIOR IMPROVEMENTS, UTILITIES

Site Civil Costs	1	allow	\$	8,000.00	\$	8,000.00
Water Service 3" Fire	0	ALLOW.	\$	-	\$	-
Water Service 1.5" Domestic	0	ALLOW.	\$	-	\$	-
Elec Service	0	ALLOW.	\$	-	\$	-
Gas Service	0	ALLOW.	\$	-	\$	-
Sewer Service 4"	0	ALLOW.	\$	-	\$	-
Landscaping (Gravel + Cobble)	0	ALLOW.	\$	-	\$	-
SUBTOTAL					\$	8,000.00

SUBTOTAL	\$	861.92	per SF	\$	3,413,220.00
-----------------	----	--------	--------	----	--------------

Escalation Contingency	1%			\$	170,661.00
SUBTOTAL				\$	3,583,881.00
Design Contingency	10%			\$	358,388.10
SUBTOTAL				\$	3,942,269.10
Material Testing	0.50%			\$	17,919.41
GC Fee	8%			\$	315,381.53
Bond	0.50%			\$	19,711.35
GL Insurance	1.50%			\$	59,134.04
TOTAL CONSTRUCTION BASE BID				\$	4,354,415.42
			Cost/SF	\$	1,099.60

PROJECT ALTERNATES

SAN MIGUEL POWER COST TO BRING ELEC TO SITE				\$	1,000,000.00
TOTAL:				\$	1,000,000.00

GRAND TOTAL W/ ALTERNATES	\$	5,354,415.42	
	Cost/SF	\$	1,352.13

OURAY**COST ESTIMATE - OPTION 3****3000 GSF**

12/28/2023

DIVISIONS OF WORK	QUANTITY	UNITS	UNIT COST	TOTAL
DIV 01 - GENERAL CONDITIONS				
jobsite supervision-Super	8	months	\$ 4,000.00	\$ 32,000.00
jobsite supervision-project mgr	8	months	\$ 2,000.00	\$ 16,000.00
jobsite supervision-asst/engineer	8	months	\$ 1,000.00	\$ 8,000.00
job trailer	8	months	\$ 1,000.00	\$ 8,000.00
daily clean	28	weeks	\$ 150.00	\$ 4,200.00
final clean	1	LS	\$ 2,000.00	\$ 2,000.00
misc labor	8	months	\$ 1,000.00	\$ 8,000.00
small tools	8	months	\$ 500.00	\$ 4,000.00
equipment rental	8	months	\$ 1,000.00	\$ 8,000.00
winter conditions	4	months	\$ 5,000.00	\$ 20,000.00
porta-potty	8	months	\$ 200.00	\$ 1,600.00
surveying	1	allow	\$ 5,000.00	\$ 5,000.00
traffic control				\$ -
material testing	1	allow	\$ 8,000.00	\$ 8,000.00
potholing				\$ -
record docs	8	months	\$ 250.00	\$ 2,000.00
first aid	8	months	\$ 100.00	\$ 800.00
safety	8	months	\$ 100.00	\$ 800.00
temp signage	8	LS	\$ 300.00	\$ 2,400.00
temp utilities	4	months	\$ 2,000.00	\$ 8,000.00
dumpsters	8	ea	\$ 1,000.00	\$ 8,000.00
contingency	8	months	\$ 2,000.00	\$ 16,000.00
insurances, bonds, misc.	8	months	\$ 250.00	\$ 2,000.00
trash hauling	8	ea	\$ 200.00	\$ 1,600.00
SUBTOTAL				\$ 166,400.00
DIV 02 - EXISTING CONDITIONS				
Demolition	2500	SF	\$ 22.00	\$ 55,000.00
SUBTOTAL				\$ 55,000.00
DIV 03 - CONCRETE				
Footings	24	CY	\$ 900.00	\$ 21,600.00
	0	CY	\$ 700.00	\$ -
Concrete Flatwork	50	CY	\$ 700.00	\$ 35,000.00
SUBTOTAL				\$ 56,600.00
DIV 04 - MASONRY				
Misc Cutting/Patching	1	allow	\$ 65,000.00	\$ 65,000.00
		sf	\$ 75.00	\$ -
SUBTOTAL				\$ 65,000.00

DIV 05 - METALS

Structural steel	45	TONS	\$	3,500.00	\$	157,500.00
Steel Joists	12	TONS	\$	3,500.00	\$	42,000.00
Steel Decking	3000	SF	\$	14.00	\$	42,000.00
Steel Stair	1	allow	\$	60,000.00	\$	60,000.00
Guardrail + Handrails system	1	allow	\$	35,000.00	\$	35,000.00
Steel Erection	1	unit	\$	30,000.00	\$	30,000.00
Misc Angles, connections, bolts, etc.	1	allow	\$	6,000.00	\$	6,000.00
SUBTOTAL					\$	372,500.00

DIV 06 - WOOD AND PLASTIC

Wood framing material	0	SF	\$	35.00	\$	-
Wood framing labor	0	SF	\$	35.00	\$	-
Rough Carpentry	750	SF	\$	6.00	\$	4,500.00
Finish Carpentry	0	SF	\$	10.00	\$	-
Casework	1	ALLOW.	\$	16,000.00	\$	16,000.00
Countertops	1	ALLOW.	\$	7,000.00	\$	7,000.00
SUBTOTAL					\$	27,500.00

DIV 07 - THERMAL AND MOISTURE PROTECTION

Rigid Insulation at Stem walls	0	sf	\$	8.00	\$	-
Continuous Insulation	1848	sf	\$	6.00	\$	11,088.00
Batt Insulation Walls	0	sf	\$	2.50	\$	-
CONT Insulation Roof	1848	sf	\$	4.00	\$	7,392.00
Building Wrap/Air Barrier	1848	sf	\$	2.00	\$	3,696.00
Standing Seam metal roof	5380	sf	\$	18.00	\$	96,840.00
Stucco	0	sf	\$	30.00	\$	-
Smart Siding	0	sf	\$	40.00	\$	-
Metal Panel	1848	sf	\$	40.00	\$	73,920.00
Metal Panel Wainscot	0	sf	\$	25.00	\$	-
Flashings/trim	1848	LF	\$	8.00	\$	14,784.00
Sealants	2000	sf	\$	4.00	\$	8,000.00
SUBTOTAL					\$	215,720.00

DIV 08 - DOORS & WINDOWS

Hollow metal door frames	2	EA	\$	1,000.00	\$	2,000.00
Flush wood doors	0	EA	\$	1,000.00	\$	-
Steel Doors	3	EA	\$	1,200.00	\$	3,600.00
Access Panels	1	EA	\$	200.00	\$	200.00
Aluminum storefront windows	0	SF	\$	125.00	\$	-
Glazing/Windows	0	SF	\$	24.00	\$	-
Door hardware	3	EA	\$	1,100.00	\$	3,300.00
Ext Door hardware w/ access control	0	EA	\$	7,000.00	\$	-
Louvers	3	EA	\$	500.00	\$	1,500.00
Mirrors	0	EA	\$	500.00	\$	-
SUBTOTAL					\$	10,600.00

DIV 09 - FINISHES

Gyp board assemblies	1848	SF	\$ 4.00	\$ 7,392.00
cold form framing 2.5"	0	SF	\$ 12.00	\$ -
cold form framing 3-5/8"	0	SF	\$ 16.00	\$ -
cold form framing 6"	1848	SF	\$ 18.00	\$ 33,264.00
rubber flooring	0	SF	\$ 19.00	\$ -
Carpet Tile	0	SF	\$ 12.00	\$ -
Resinous flooring		SF	\$ 8.00	\$ -
Acoustic Ceilings + trim	0	SF	\$ 14.00	\$ -
Painting Interior	1848	SF	\$ 4.00	\$ 7,392.00
Painting Exterior	2800	SF	\$ 4.00	\$ 11,200.00
Resilient base	0	lf	\$ 2.25	\$ -
Concrete seal	3000	SF	\$ 3.00	\$ 9,000.00
FRP	0	SF	\$ 15.00	\$ -
Ceramic tile material and Accessories	0	SF	\$ 25.00	\$ -
Tile Labor	0	SF	\$ 10.00	\$ -

SUBTOTAL \$ 68,248.00

DIV 11 - SPECIALTIES

Toilet Partitions	0	allow	\$ 20,000.00	\$ -
Signage - Exterior	1	allow	\$ 2,000.00	\$ 1,000.00
Signage - Interior	1	Allow	\$ 2,000.00	\$ 1,000.00
Wall Protection + Corner Guards	0	EA	\$ 100.00	\$ -
Toilet Accessories	0	EA	\$ 250.00	\$ -
Fire Protection (Extinguishers)	2	EA	\$ 225.00	\$ 450.00

SUBTOTAL \$ 2,450.00

DIV 10 - EQUIPMENT

Appliances	0	see sched	\$ 7,000.00	\$ -
------------	---	-----------	-------------	------

SUBTOTAL \$ -

DIV 12 - FURNISHINGS

Blinds	0		\$ 200.00	\$ -
Shades	0	allow	\$ 500.00	\$ -

SUBTOTAL \$ -

MEP

MEP (EXCLUDING SAN MIGUEL POWER)	1	EST	\$ 2,259,586.00	\$ 2,259,586.00
Fire Protection	5634	SF	\$ 6.00	\$ 33,804.00
Plumbing	0	SF	\$ 38.00	\$ -
HVAC	0	SF	\$ 40.00	\$ -
Electrical	0	SF	\$ 30.00	\$ -
Fire Alarm	0	SF	\$ 10.00	\$ -
Communications	0	SF	\$ 8.00	\$ -
Emergency Resp Radio Coverage	0	allow	\$ -	\$ -

SUBTOTAL \$ 2,293,390.00

SITE VICINITY MAP



PROJECT DATA

SITE ZONING	P-1
SITE AREA	5.35 ACRE
GROSS FLOOR AREAS	
MAIN LEVEL (EXISTING)	2818 S.F.
UPPER LEVEL (NEW)	1548 S.F.
OCCUPANCY GROUP:	
	S-1
CONSTRUCTION TYPE:	
	TYPE II-B

OURAY HOT SPRINGS POOL MECHANICAL BUILDING OPTION 1 1220 MAIN ST OURAY, COLORADO 81427



**REYNOLDS ASH
+ ASSOCIATES**
**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 96
PAGOSA SPRINGS, CO 81447

RAA@COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA ARCHITECTS, P.C.

ABBREVIATIONS

AB. ANCHOR BOLT	ACT. ANCHOR BOLT	AL. ALUMINUM	ALT. ALTERNATE	APPROX. APPROXIMATE	ARCH. ARCHITECTURAL	BD. BOARD	BLDG. BUILDING	BLK. BLOCK	BLK'G. BLOCKING	BM. BEAM	BOT. BOTTOM	BTWN. BETWEEN	BUR. BUILT UP ROOFING	B.V. BOTH KAYS	C.J. CONTROL JT.	CLG. CAULKING	CLR. CLEAR	C.M.U. CONCRETE MASONRY UNIT	COL. COLUMN	CONC. CONCRETE	CONN. CONNECTION	CONSTR. CONSTRUCTION	CONT. CONTINUOUS	C.T. CERAMIC TILE	C.O.A. CENTER OF ARCH	I.D. INSIDE DIAMETER	INSUL. INSULATION	INT. INTERIOR	JAN. JANITOR	JNT. JOINT	JST. JOIST	KIT. KITCHEN	LAB. LABORATORY	LAM. LAMINATE	LAV. LAVATORY	LT. LIGHT	MAX. MAXIMUM	MECH. MECHANICAL	MEMB. MEMBRANE	MFR. MANUFACTURER	M.H. MANHOLE	MIN. MINIMUM	MISC. MISCELLANEOUS	M.O. MASONRY OPENING	MTL. METAL	MULL. MULLION	N. NORTH	N.I.C. NOT IN CONTRACT	NO. NUMBER	NOM. NOMINAL	N.T.S. NOT TO SCALE	O.C. ON CENTER	O.D. OUTSIDE DIAMETER	OH. OVERHEAD	OPG. OPENING	OPP. OPPOSITE	PCT. PRE-CAST	P.L. PROPERTY LINE	P.LAM. PLASTIC LAMINATE	PLAS. PLASTER	PLYND. PLYWOOD	FR. FAIR	Q.T. QUARRY TILE	R. RISER	R.D. ROOF DRAIN	RE. REFER TO ...	REFR. REFRIGERATOR	REINF. REINFORCED	REQD. REQUIRED	RM. ROOM	R.O. ROUGH OPENING	S. SOUTH	S.C. SOLID CORE	SCHED. SCHEDULE	SECT. SECTION	S.F. SQUARE FOOT	SHT. SHEET	SIM. SIMILAR	S.P. SPRING POINT	SPEC. SPECIFICATION	SQ. OR SQUARE	S.S. STAINLESS STEEL	SEE STRUCTURAL DRAWINGS	STAGG. STAGGERED	STD. STANDARD	STIFF. STIFFENER	STEE. STEEL	STRUC. STRUCTURAL	SUSP. SUSPENDED	TR. TREAD	T & B TOP AND BOTTOM	TER. TERRAZZO	T & G TONGUE & GROOVE	THK. THICK	T.O. TOP OF	T.S. TUBE STEEL	TYP. TYPICAL	UNO. UNLESS NOTED OTHERWISE	V.G. VINYL COMPOSITION TILE	VER. VERIFY	VERT. VERTICAL	W. WEST	W. WITH	W.C. WATER CLOSET	W.D. WOOD	W/O. WITHOUT	W CENTERLINE
-----------------	------------------	--------------	----------------	---------------------	---------------------	-----------	----------------	------------	-----------------	----------	-------------	---------------	-----------------------	----------------	------------------	---------------	------------	------------------------------	-------------	----------------	------------------	----------------------	------------------	-------------------	-----------------------	----------------------	-------------------	---------------	--------------	------------	------------	--------------	-----------------	---------------	---------------	-----------	--------------	------------------	----------------	-------------------	--------------	--------------	---------------------	----------------------	------------	---------------	----------	------------------------	------------	--------------	---------------------	----------------	-----------------------	--------------	--------------	---------------	---------------	--------------------	-------------------------	---------------	----------------	----------	------------------	----------	-----------------	------------------	--------------------	-------------------	----------------	----------	--------------------	----------	-----------------	-----------------	---------------	------------------	------------	--------------	-------------------	---------------------	---------------	----------------------	-------------------------	------------------	---------------	------------------	-------------	-------------------	-----------------	-----------	----------------------	---------------	-----------------------	------------	-------------	-----------------	--------------	-----------------------------	-----------------------------	-------------	----------------	---------	---------	-------------------	-----------	--------------	--------------

PROJECT DIRECTORY

DEVELOPER:
CITY OF OURAY
360 6TH AVE.
P.O. BOX 468
OURAY, CO 81427

ARCHITECT/STRUCTURAL ENGINEER:
REYNOLDS ASH + ASSOCIATES
TRACY REYNOLDS
564 E 2ND AVE, SUITE 201
DURANGO, CO 81301
(970) 259-9474

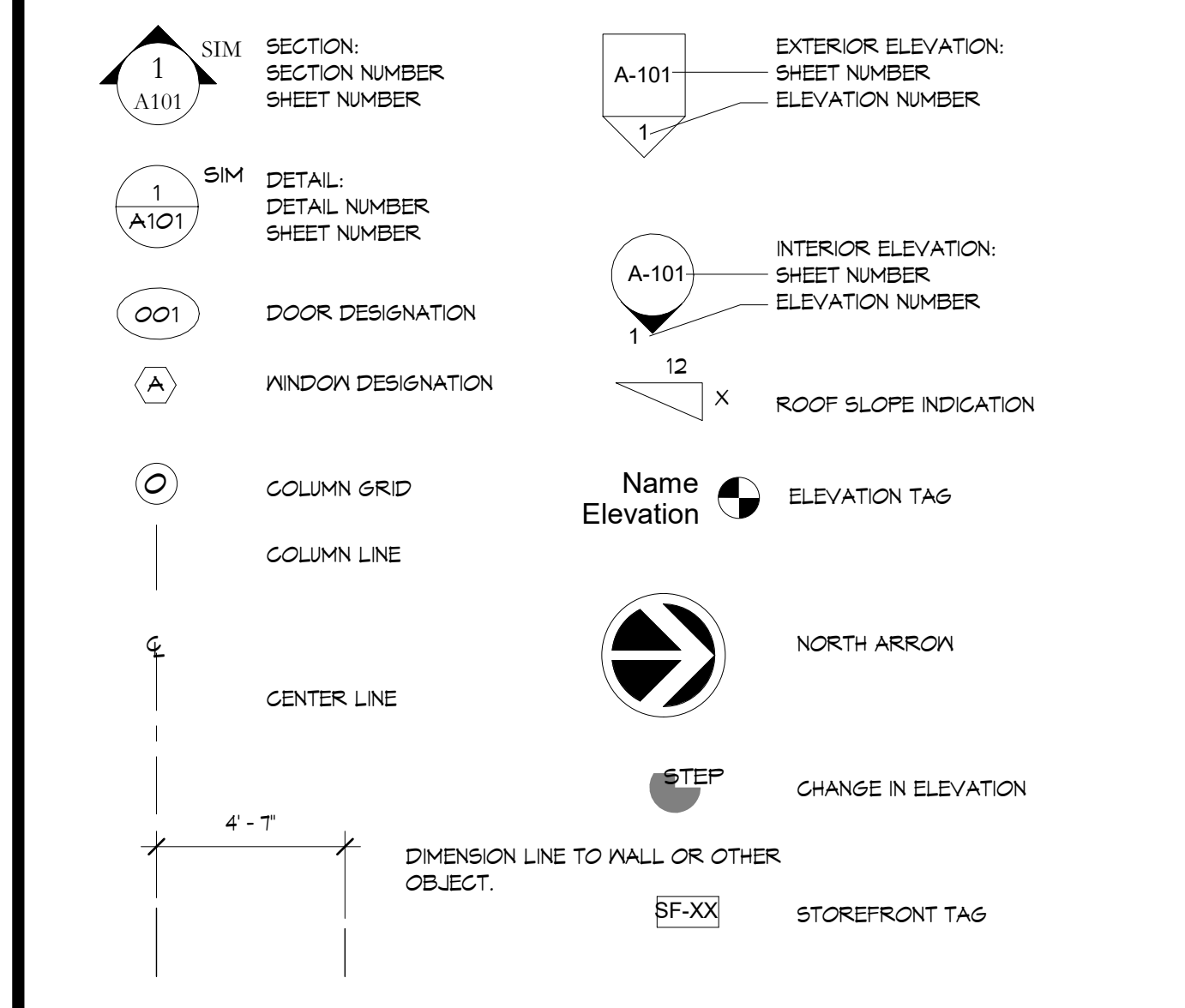
MEP ENGINEER:
MEHE ENGINEERING
DUSTIN SULLIVAN
512 E 3RD AVE, SUITE A
DURANGO, CO 81301
(970) 395-1510

GENERAL NOTES:

- APPLICABLE CODES:**
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 NATIONAL ELECTRIC CODE
- GENERAL/CONTRACT REQUIREMENTS:**
A. SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
B. ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY THE OWNER.
C. SUBCONTRACTOR MUST COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.
D. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES WORKING SIMULTANEOUSLY OR FOLLOWING THEM.
E. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
- PROJECT LAYOUT REQUIREMENTS:**
A. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE DRAWINGS.
B. DIMENSIONING IS AS FOLLOWS, UNLESS OTHERWISE NOTED:
CENTERLINE OF COLUMNS
FACE OF CONCRETE
FACE OF MASONRY
EXTERIOR FACE OF STUD AT EXTERIOR WALLS
FACE OF STUD AT INTERIOR STUD WALLS
CENTER OF WINDOW AND DOOR OPENINGS
C. ALL FINISH FLOOR ELEVATIONS ARE TO TOP OF SLAB OR TOP OF SHEATHING, U.N.O.
D. ALL STEPS SHALL HAVE 1" MAXIMUM RISERS AND 11" MINIMUM TREADS U.N.O OR SPECIFIED DIFFERENTLY ON THE DRAWINGS.
E. ALL INTERIOR FEATURES SHOWN ARE CONCEPTUAL. VERIFY SHAPE, HEIGHT, AND DISTANCE OFF FINISH FLOOR WITH OWNER AND ARCHITECT AT CONSTRUCTION PHASE.
- LIFE SAFETY REQUIREMENTS:**
A. SAFETY GLAZING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
GLAZING IN SWINGING DOORS
GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS
GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, BATHTUBS, HOT TUBS, WIRLPOOLS, ETC.
GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF A DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
GLAZING MEETING ALL OF THE FOLLOWING:
1. EXPOSED AREA, 9 S.F.
2. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
3. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
GLAZING IN GUARDRAILS AND RAILINGS.
GLAZING ADJACENT TO STAIRWAYS OR RAMPS.
- PROJECT CONSTRUCTION REQUIREMENTS:**
A. ALL FRAMED WALLS SHALL HAVE AN EXTERIOR MOISTURE BARRIER AS FOLLOWS:
TYVEK OR EQUAL AT WOOD SIDING OR HARDI-PLANK SIDING
ONE LAYER 30# FELT AT MASONRY VENEER
TWO LAYERS 15# FELT AT STUCCO
B. ALL WINDOWS SHALL BE FLASHED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS
C. AT MASONRY VENEER, PROVIDE FLEXIBLE MEMBRANE FLASHING AT THE BASE OF ALL WALLS AND AT WINDOW AND DOOR HEADS. PROVIDE PVG KEEPS AT 24 INCHES O.C. DIRECTLY ABOVE THE FLASHING.
- PROJECT WORKMANSHIP:**
A. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
B. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
C. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROXIMATE EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE SUBCONTRACTOR.
D. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK.
E. SUBCONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE SWEEP CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
F. PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.

PROGRESS SET
NOT FOR CONSTRUCTION

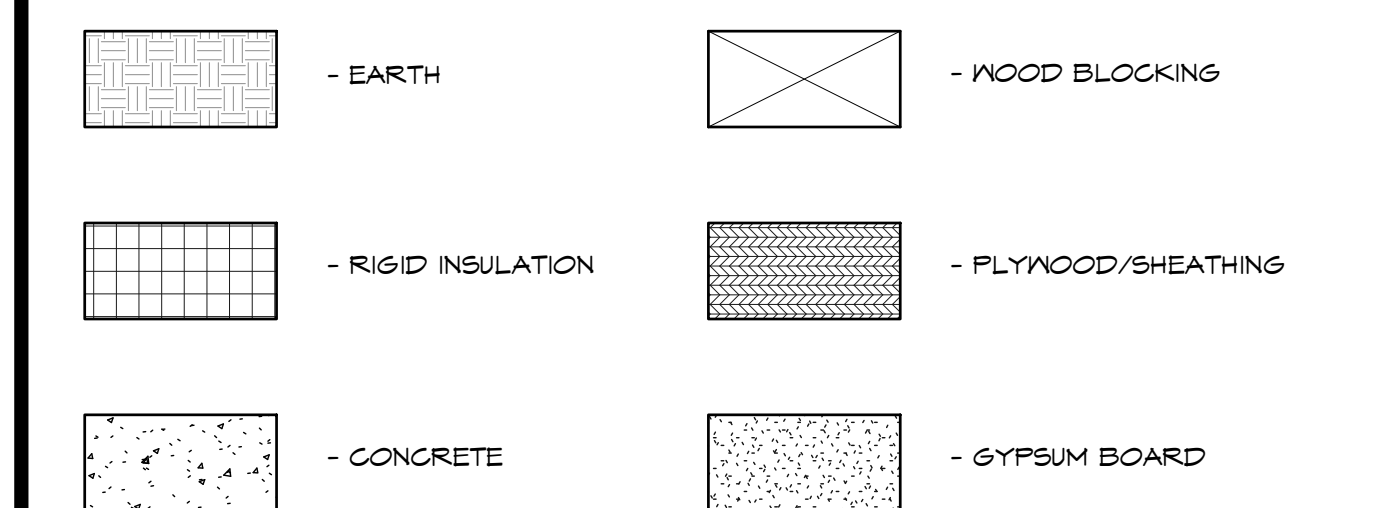
ARCHITECTURAL SYMBOLS



DRAWING INDEX

GENERAL	
G-101	COVER SHEET
SITE	
AS-101	SITE PLAN - OVERALL
ARCHITECTURAL	
D-201	DEMOLITION ELEVATIONS
A-101	MAIN LEVEL FLOOR PLAN
A-102	UPPER LEVEL FLOOR PLAN
A-103	PROPOSED ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	3-D VIEWS
A-301	BUILDING SECTIONS
STRUCTURAL	
S-201	FOUNDATION PLAN
S-301	UPPER LEVEL FRAMING PLAN
S-302	ROOF LEVEL FRAMING PLAN

MATERIALS LEGEND



OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427

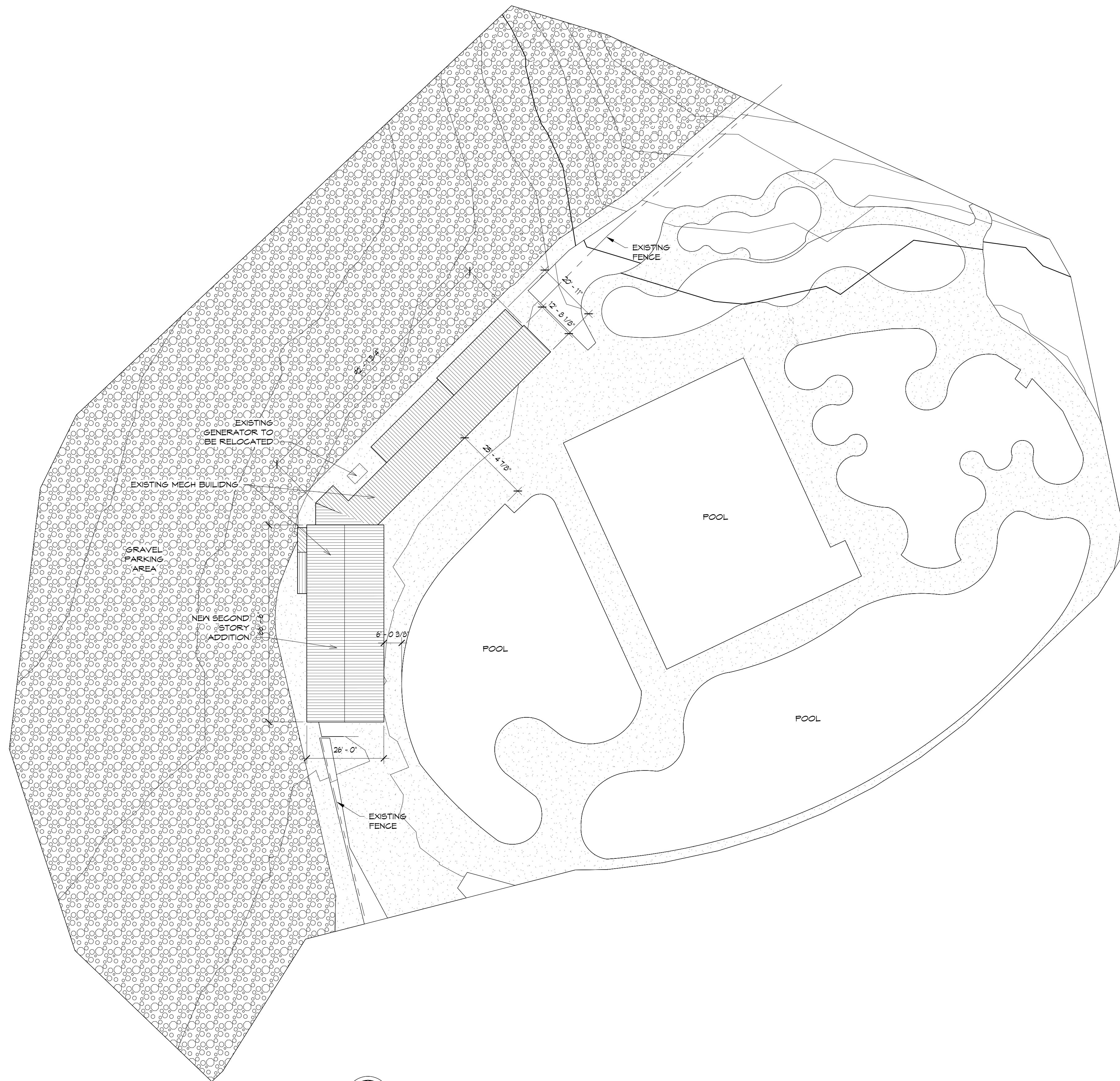
JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

G-101
COVER SHEET

NOTE: Clarify with Architect any abbreviations not listed. Some abbreviations on list may not be used in project.



ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"

SITE ZONING:	P-1
SITE AREA:	5.35 ACRE
MINIMUM REQUIRED SETBACKS FRONT YARD: SIDE YARD: REAR YARD:	AS DETERMINED BY PLANNING COMMISSION
HEIGHT REQUIREMENTS BUILDING MAX HEIGHT	20 FT
OCCUPANCY GROUP:	S-1
CONSTRUCTION TYPE:	II-B
FIRE SPRINKLERED:	NONE

SITE PLAN GENERAL NOTES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- B. CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE INSTALLATION WITH SAN MIGUEL POWER.
- C. CONTRACTOR SHALL COORDINATE GAS SERVICE AND METER INSTALLATION.
- E. SEE STRUCTURAL FOR EXCAVATION, STRUCTURAL FILL AND BACKFILL REQUIREMENTS.



REYNOLDS ASH + ASSOCIATES
ARCHITECTURE
ENGINEERING

564 E. AVENUE, SUITE 201
DURANGO, CO 81301
(970) 259-7594
FAX (970) 259-7592
262 PAGOSA STREET, STEL 200
P.O. BOX 96
PAGOSA SPRINGS, CO 81147
RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONST.**

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427

JOB. NO.: 22130
DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
SD PHASE: 12-20-2023

REVISIONS:

AS-101

SITE PLAN-
OVERALL



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE
ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81447

RA-AE-COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427

JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

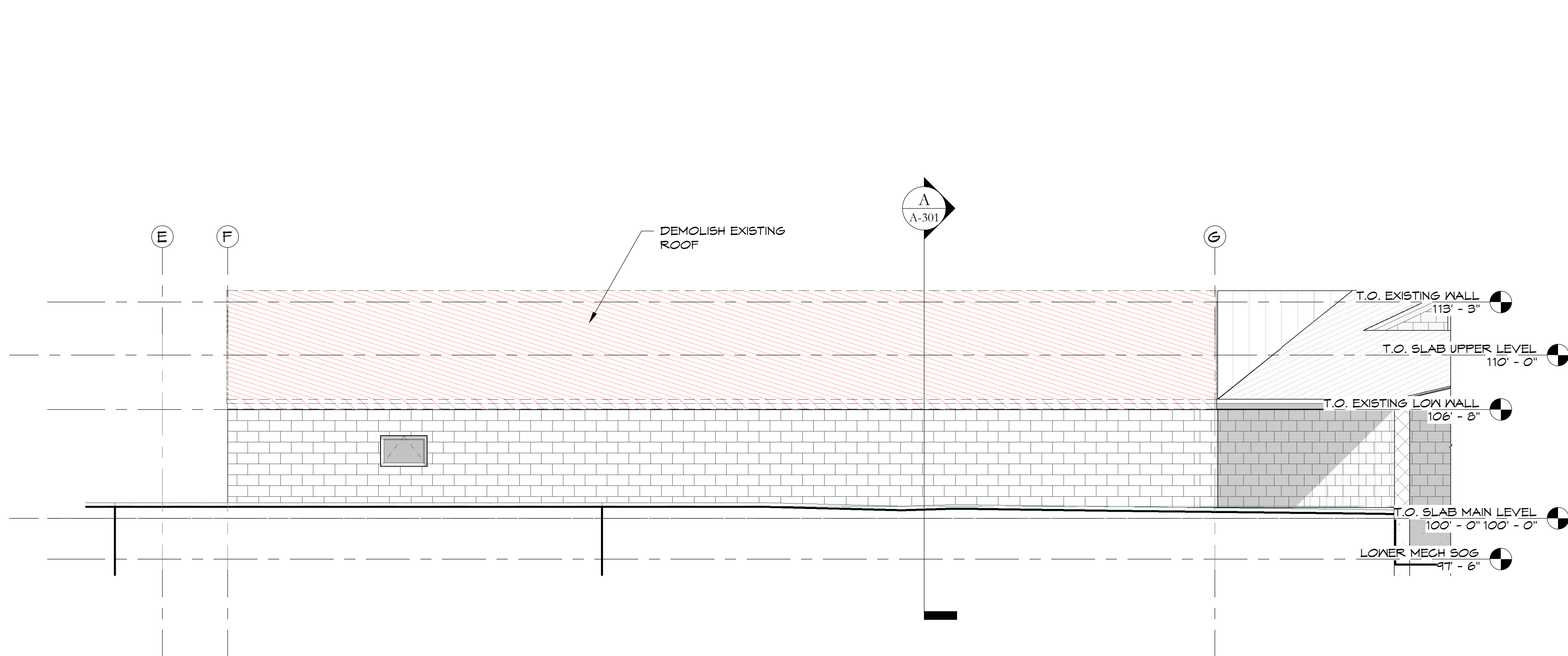
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

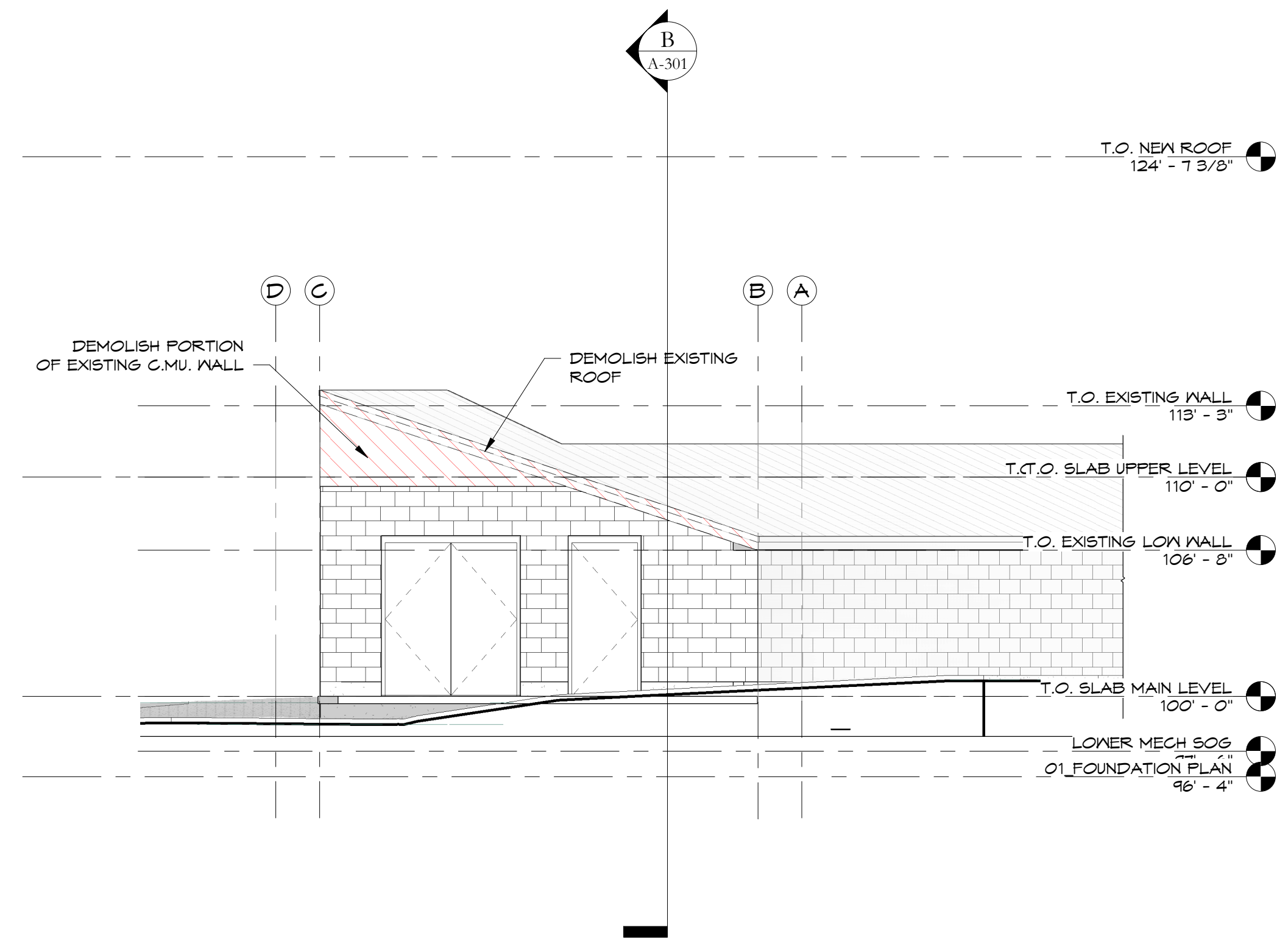
D-201

DEMOLITION ELEVATIONS

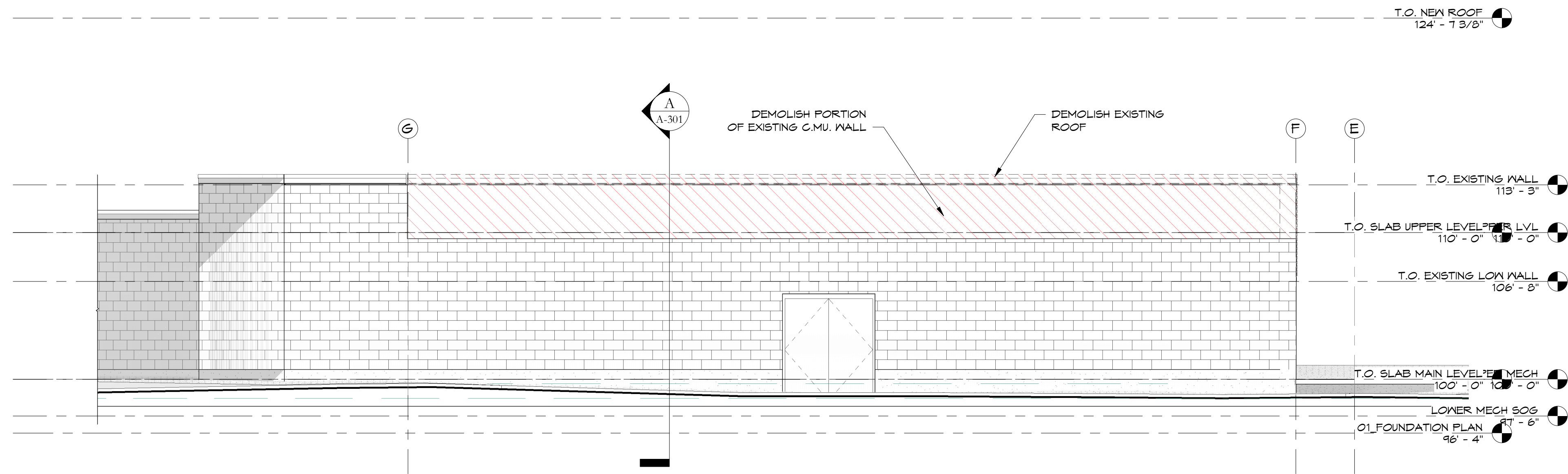
PRINT DATE: 1/4/2024 10:22:36 AM



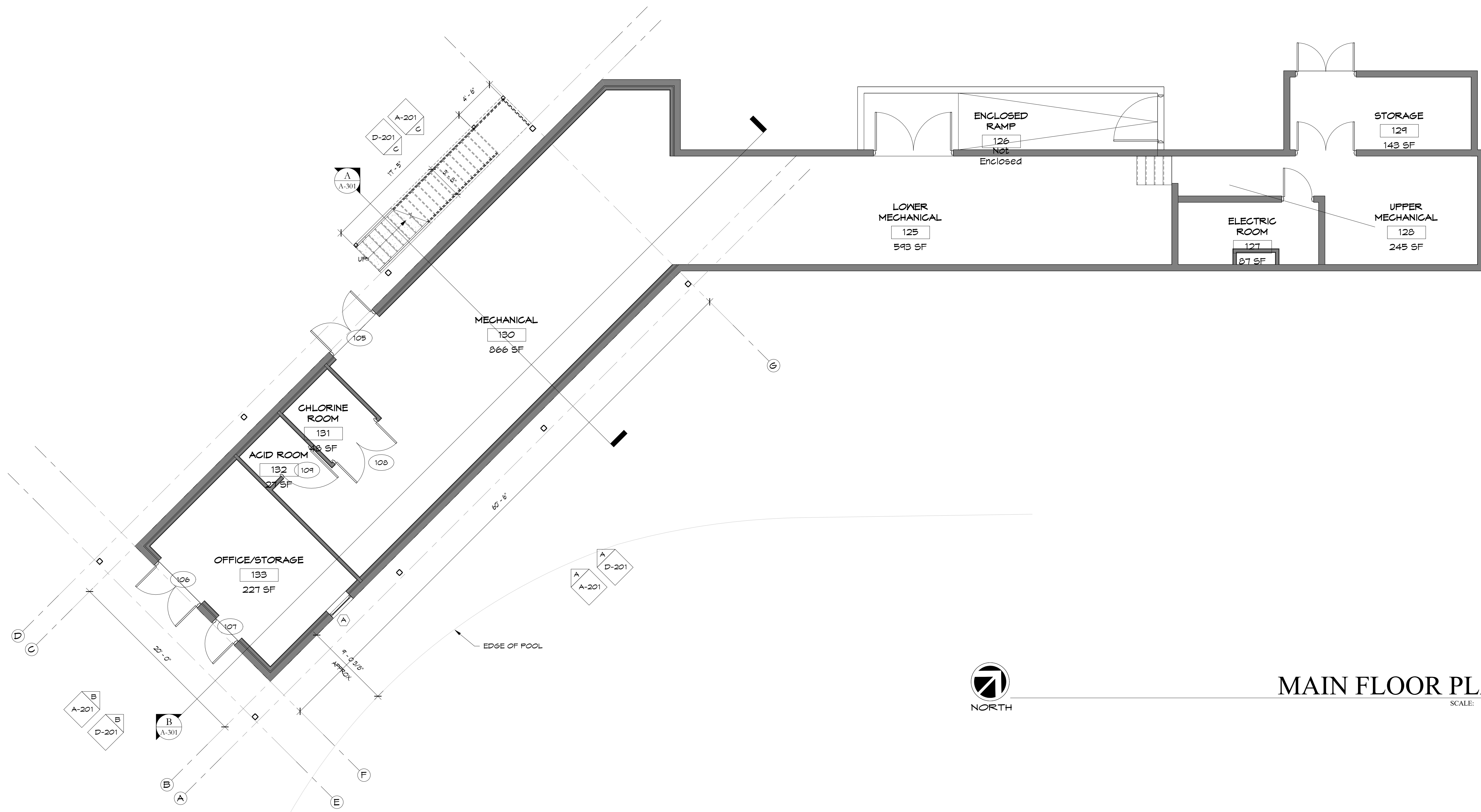
EAST - DEMO A
SCALE: 3/16" = 1'-0"
D-201



SOUTH A - DEMO B
SCALE: 3/16" = 1'-0"
D-201



WEST - DEMO C
SCALE: 3/16" = 1'-0"
D-201



MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

WALL TYPE LEGEND

- EXISTING EXTERIOR WALL:
8x16x8 SPLIT FACED (ONE SIDE) CONCRETE BLOCK
FULLY GROUTED
- EXISTING EXTERIOR WALL:
8x16x8 SPLIT FACED CONCRETE BLOCK
R1.5 / 1 1/2" CONTINUOUS RIGID INSULATION
R13 / 3 5/8" METAL STUDS AT 16" OC /M BATT
VAPOR BARRIER
5/8" G&B
- INTERIOR WALL:
5/8" G&B
3 5/8" METAL STUDS AT 16" OC
5/8" G&B
- CONG. WALL:
8" CAST IN PLACE CONCRETE WALL
- NEW EXTERIOR WALL:
6" METAL STUD FRAMING
GLASS MAT SHEATHING
CONTINUOUS RIGID INSULATION
METAL PANELS OVER FURRING STRIPS
5/8" GYP BOARD INTERIOR SIDE

GROSS SQUARE FOOTAGE

MAIN LEVEL (EXIST.)	2918 SF
UPPER LEVEL MECH. (NEW)	1548 SF



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTR.**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427**

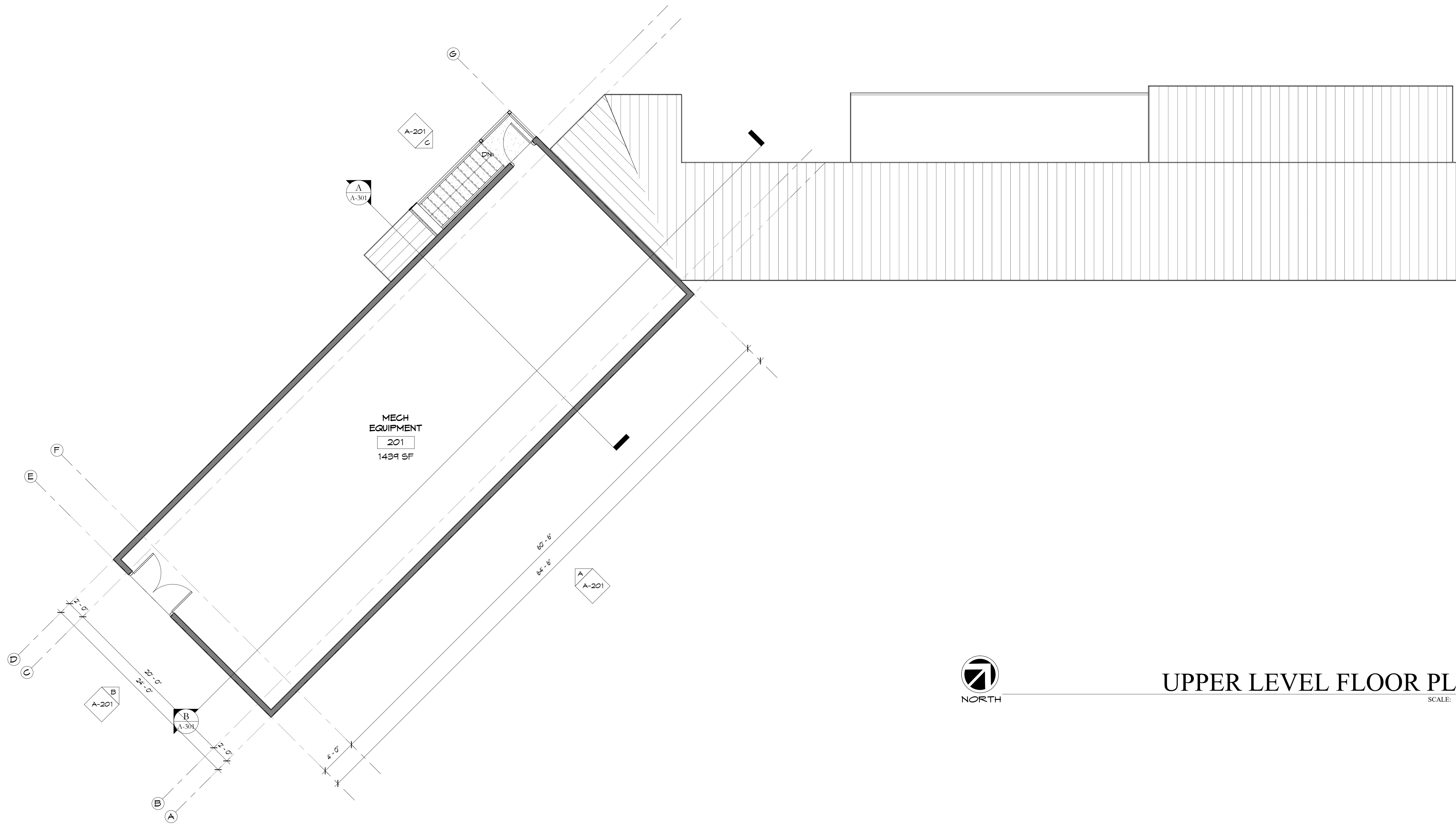
JOB NO.: **22130**
ISSUE DATE: **2023-12-20**
DRAWN BY: **RA+A**

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-101
MAIN LEVEL FLOOR PLAN



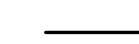
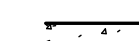

PRINT DATE: 1/4/2024 10:21:16 AM



UPPER LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

WALL TYPE LEGEND

-  EXISTING EXTERIOR WALL:
8X16X8 SPLIT FACED (ONE SIDE) CONCRETE BLOCK
FULLY GROUTED
-  EXISTING EXTERIOR WALL:
8X16X8 SPLIT FACED CONCRETE BLOCK
R15 / 1 1/2" CONTINUOUS RIGID INSULATION
R13 / 3 5/8" METAL STUDS AT 16" OC / 1/4" BATT
VAPOR BARRIER
5/8" G&B
-  INTERIOR WALL:
5/8" G&B
3 5/8" METAL STUDS AT 16" OC
5/8" G&B
-  CONG. WALL:
8" CAST IN PLACE CONCRETE WALL
-  NEW EXTERIOR WALL:
6" METAL STUD FRAMING
GLASS MAT SHEATHING
CONTINUOUS RIGID INSULATION
METAL PANELS OVER FURRING STRIPS
5/8" GYP BOARD INTERIOR SIDE

GROSS SQUARE FOOTAGE

MAIN LEVEL (EXIST.)	2918 SF
UPPER LEVEL MECH. (NEW)	1549 SF



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 36
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427**

JOB. NO.: **22130**
ISSUE DATE: **2023-12-20**
DRAWN BY: **RA+A**

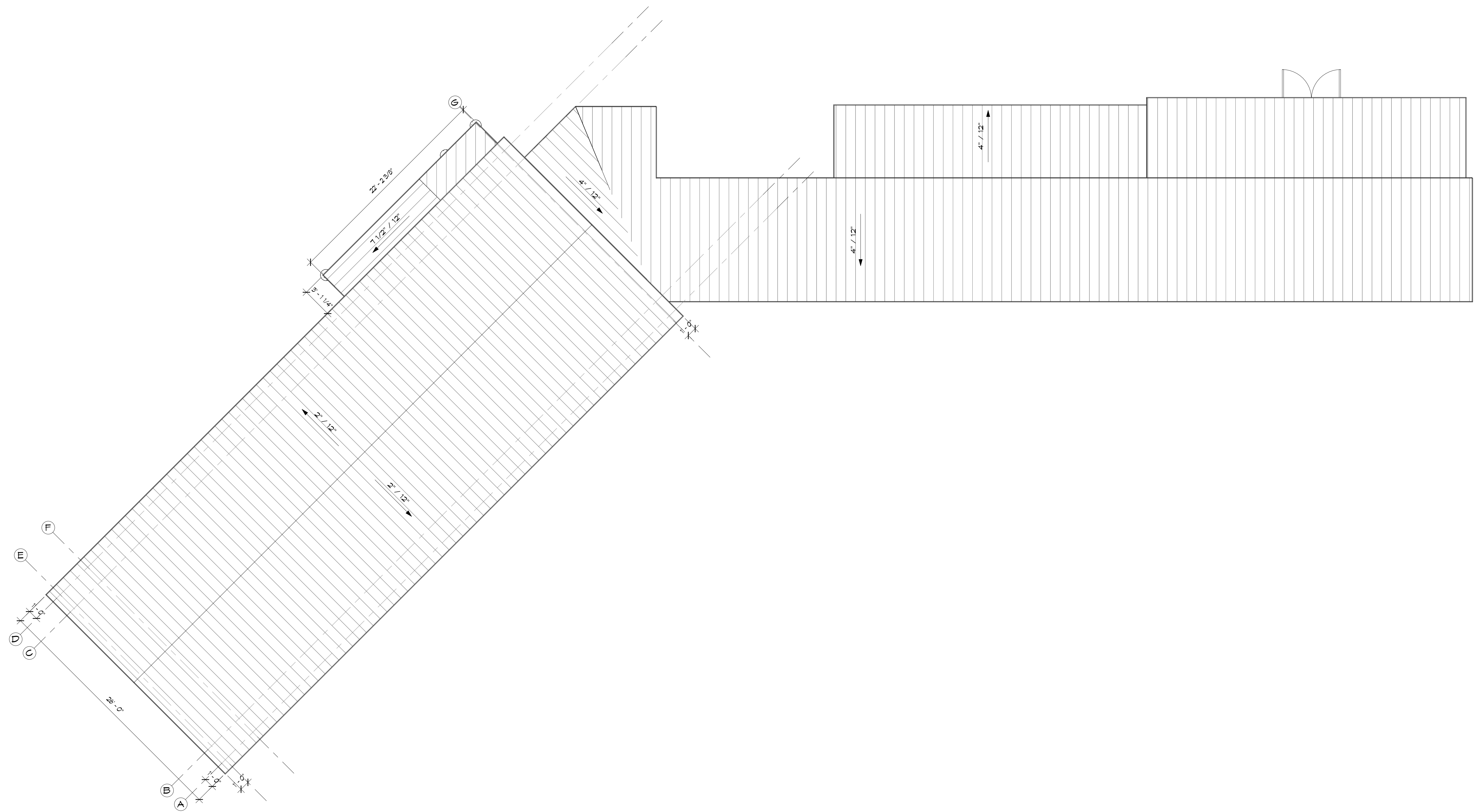
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-102

UPPER LEVEL FLOOR PLAN

PRINT DATE: 1/4/2024 10:22:30 AM



ROOF PLAN GENERAL NOTES

- A. ROOFING TO BE STANDING SEAM METAL ROOFING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERLAP FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8". INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
- B. PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.
- C. ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIPPLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
- D. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
- E. CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL. COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.
- F. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEK TITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.



NORTH

PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427**

JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-103

PROPOSED ROOF PLAN

PRINT DATE: 1/4/2024 10:21:22 AM

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427**

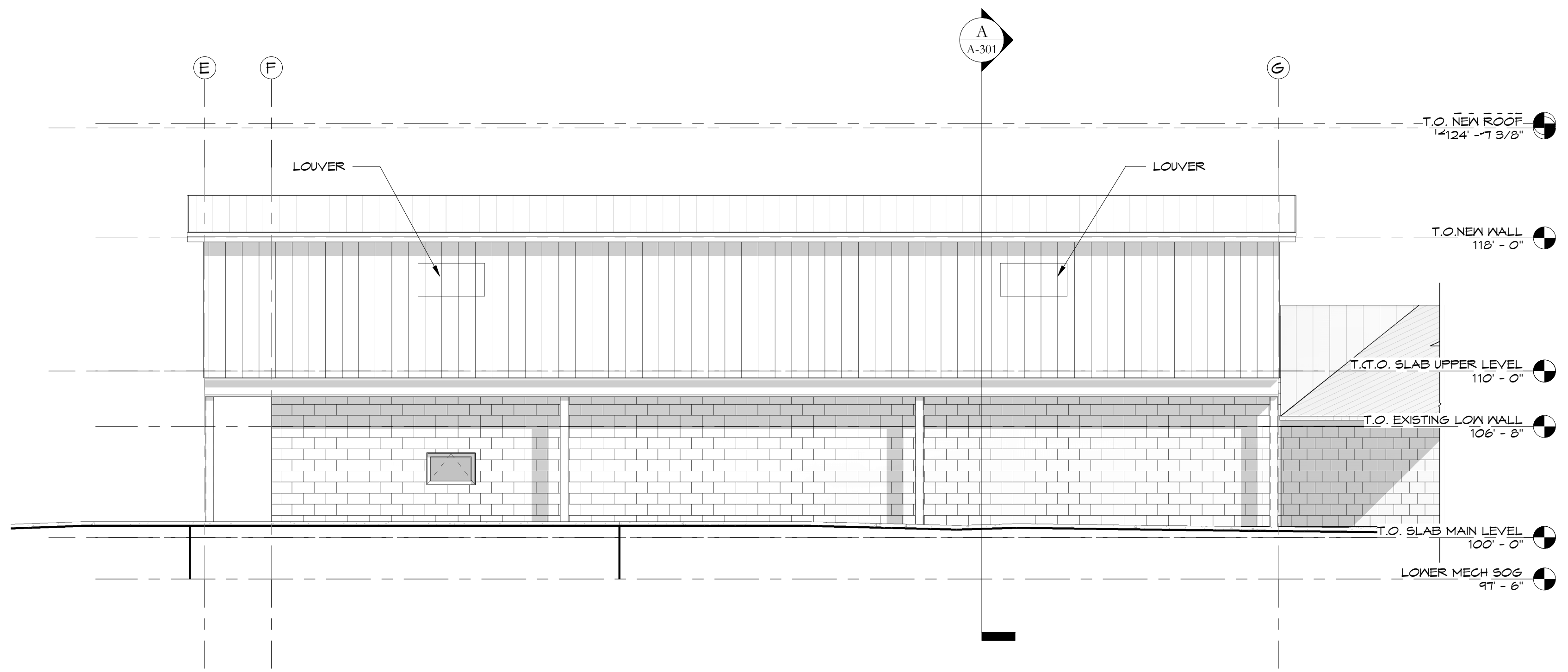
JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

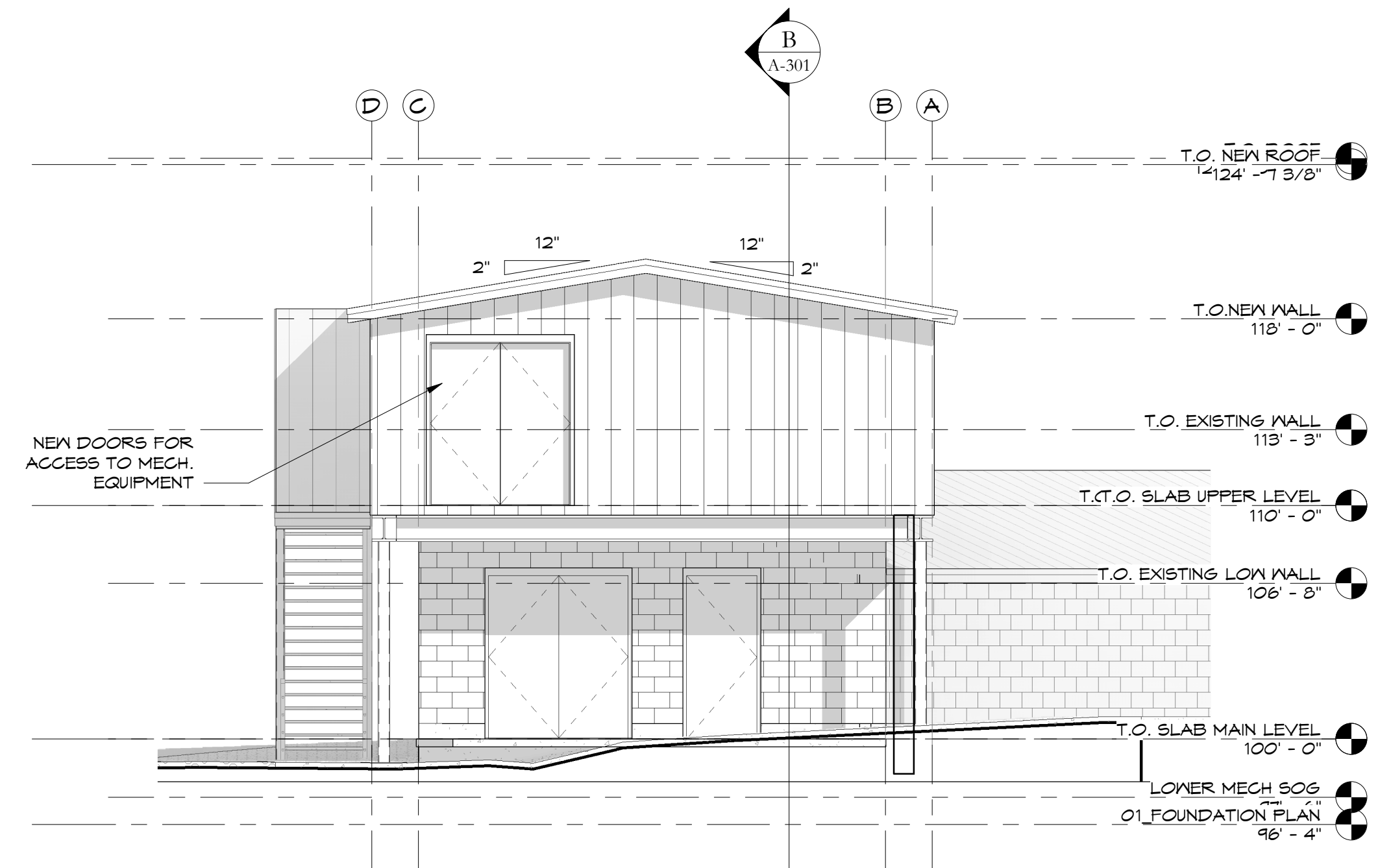
REVISIONS:

A-201
EXTERIOR ELEVATIONS

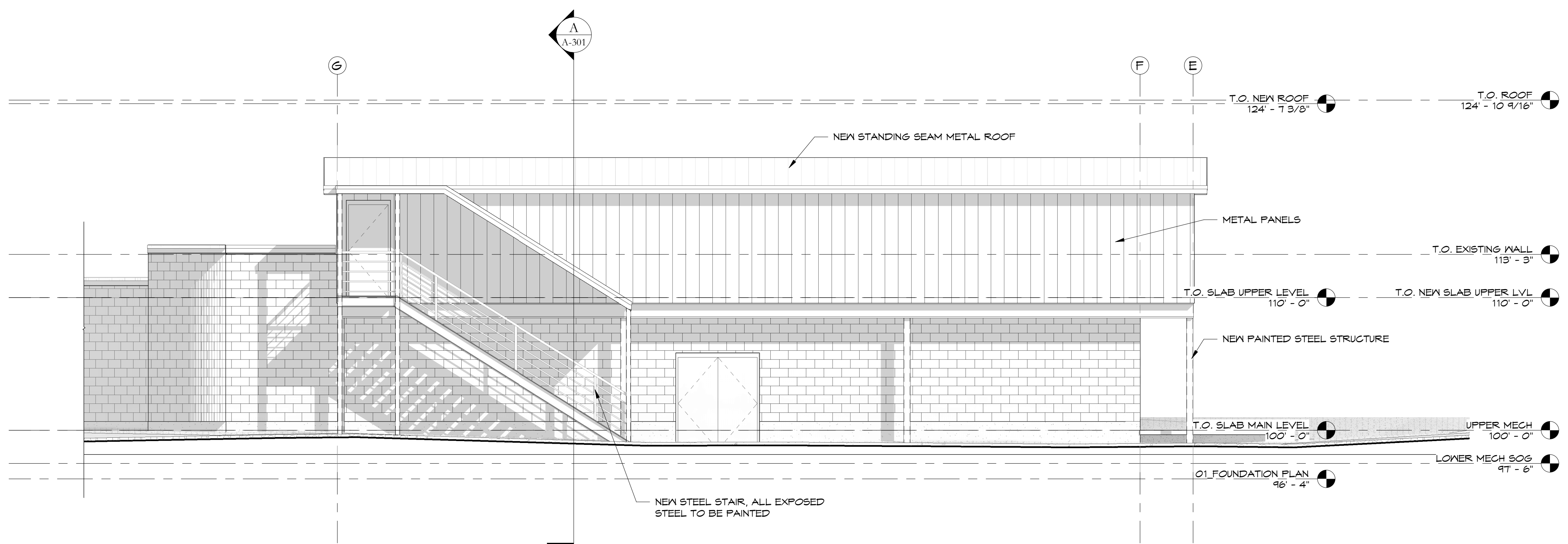
PRINT DATE: 1/4/2024 10:21:30 AM



EAST A
SCALE: 3/16" = 1'-0"
A-201



SOUTH A B
SCALE: 3/16" = 1'-0"
A-201



WEST C
SCALE: 3/16" = 1'-0"
A-201



REYNOLDS ASH
+ ASSOCIATES

ARCHITECTURE
ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427

JOB. NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-202

3-D VIEWS

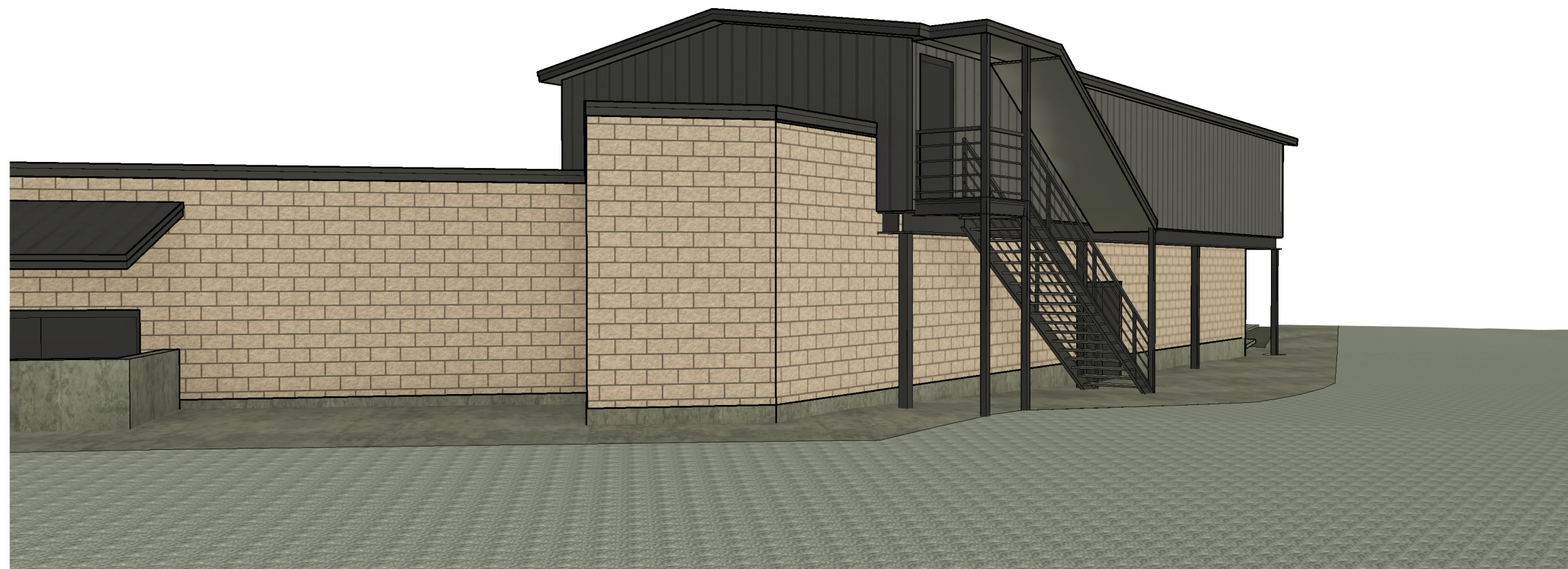
PRINT DATE: 1/4/2024 10:21:44 AM



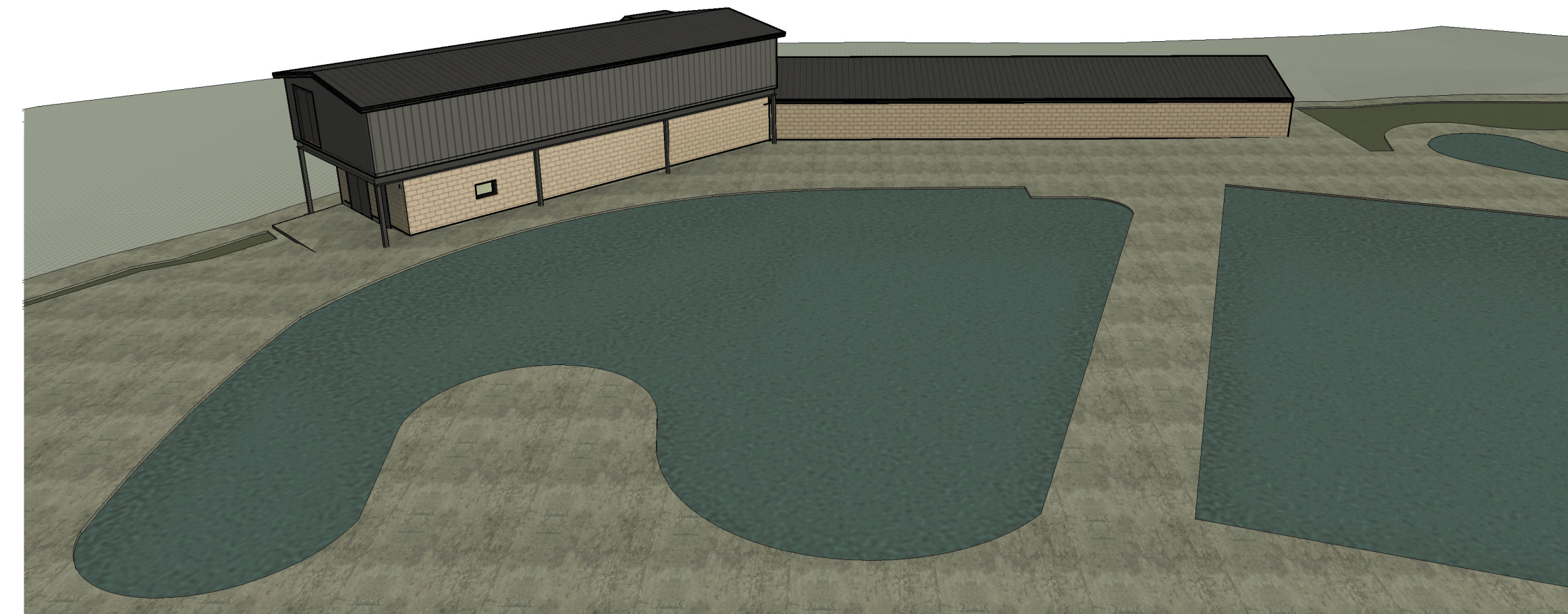
3-D VIEW **A**
SCALE: A-202



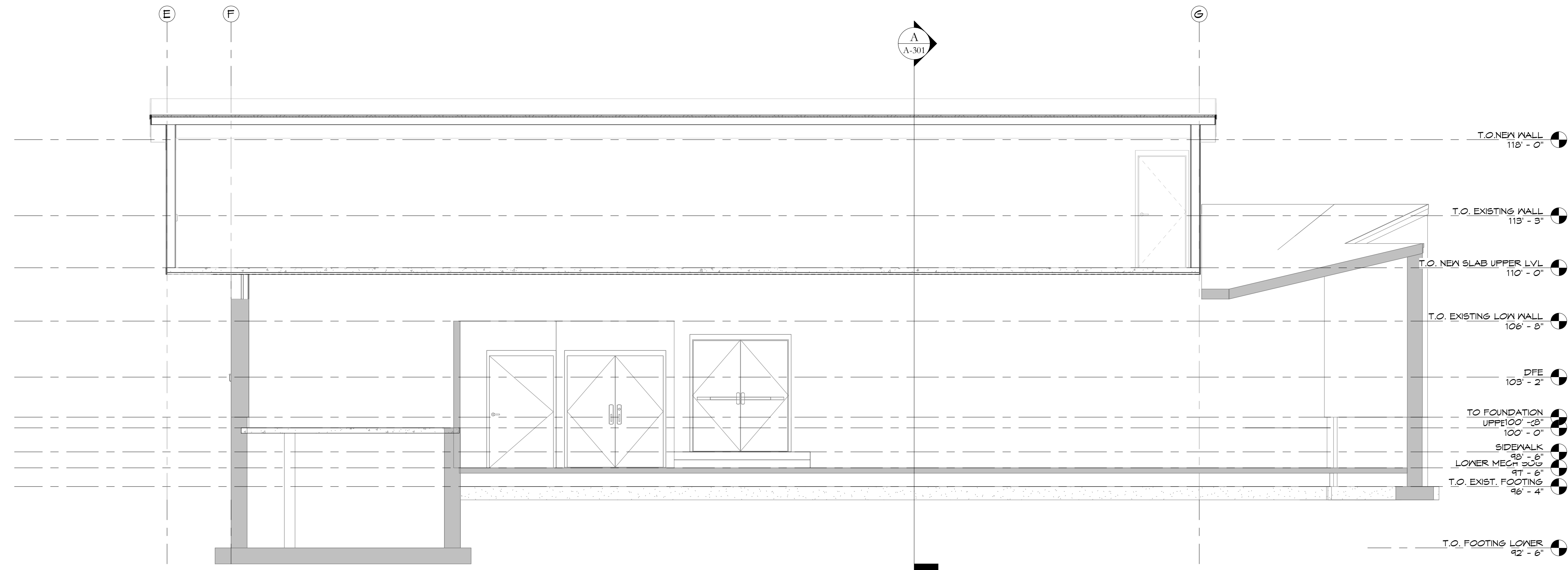
3-D VIEW **B**
SCALE: A-202



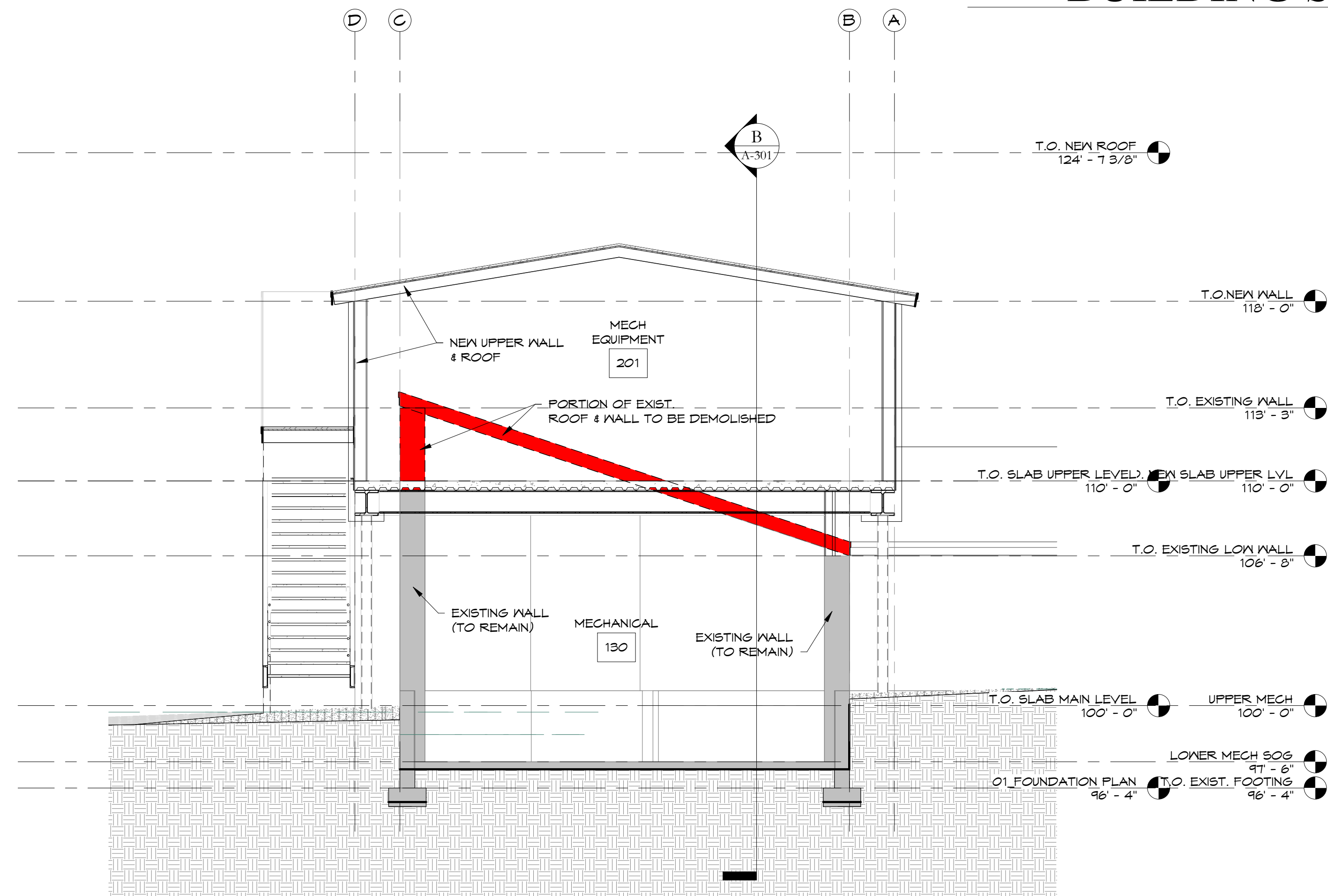
3-D VIEW **C**
SCALE: A-202



3-D VIEW **D**
SCALE: A-202



BUILDING SECTION B
SCALE: 1/4" = 1'-0"
A-301



BUILDING SECTION A
SCALE: 1/4" = 1'-0"
A-301



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOOSA STREET, STE. 200
P.O. BOX 36
PAGOOSA SPRINGS, CO 81147

RA-AE-COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427**

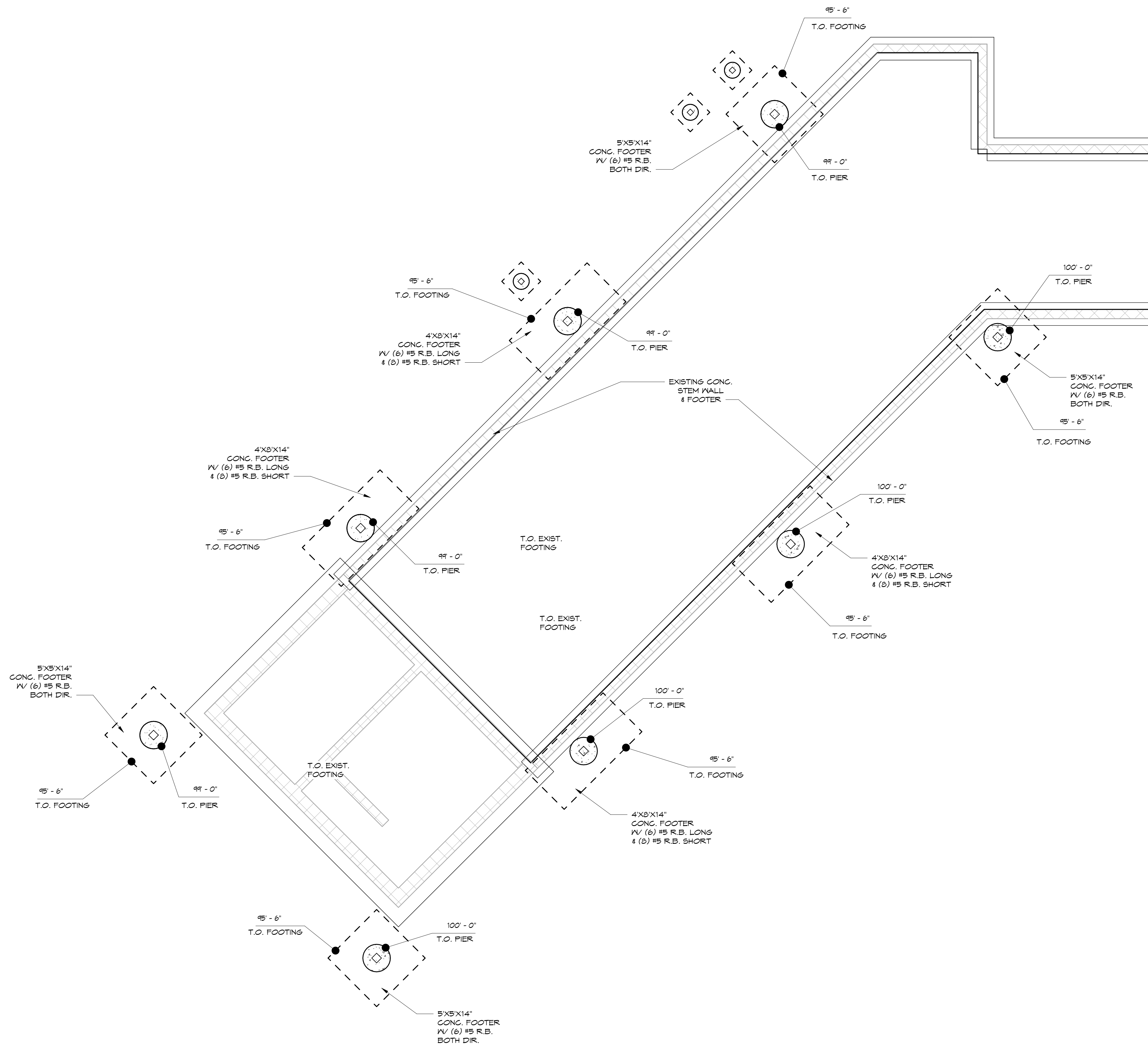
JOB. NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-301

BUILDING SECTIONS



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- GENERAL FOUNDATION PLAN NOTES:**
- SEE GEOTECHNICAL REPORT #XXX BY XXX GEOTECH FOR FOUNDATION, SLAB, AND SOIL PREP. RECOMMENDATIONS.
 - SEE GENERAL NOTES FOR CONCRETE REQUIREMENTS ON S-101.
 - ALL FOOTINGS SHALL BEAR A MINIMUM OF 32" BELOW LOWEST ADJACENT EXTERIOR GRADE.
 - ALL FOOTINGS SHALL HAVE 12" OF EMBEDMENT TO LOWEST ADJACENT GRADE.
 - DESIGN IS GENERALLY BASED ON BEARING CAPACITY OF XXX PSF PER XXX GEOTECH REPORT NO. XXX. NOTIFY ARCHITECT/ENGINEER IF COMPETENT SOIL IS NOT ENCOUNTERED.
 - WE RECOMMEND THAT THE GEOTECHNICAL ENGINEER OR A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER OBSERVE THE FOUNDATION EXCAVATIONS PRIOR TO PLACEMENT OF THE FOUNDATION REINFORCEMENT AND CONCRETE. THIS OBSERVATION IS TO ASSESS WHETHER THE EXPOSED BEARING STRATUM IS SIMILAR TO THAT ANTICIPATED FOR FOUNDATION SUPPORT. ANY LOOSE, SOFT, OR DISTURBED MATERIAL SHOULD BE UNDERCUT TO A SUITABLE BEARING SUBGRADE.
 - CONTRACTOR TO VERIFY THAT SUBGRADE IS EXCAVATED TO NATIVE MATERIAL AND NO EXPANSIVE OR LOW STRENGTH SOILS ARE ENCOUNTERED.
 - CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS AND FOUNDATION ELEVATIONS PRIOR TO START OF WORK AND SHALL NOTIFY A/E OF ANY DISCREPANCIES.
 - IF REQUIRED, CONTRACTOR TO INSTALL PASSIVE RADON SYSTEM IN GRABALL SPACES. PROVIDE 9 MIL PLASTIC OVER UNDISTURBED SOIL AND GLUE TO STEM WALLS. PROVIDE 3" OF 4" PERFORATED PIPE BELOW PLASTIC WITH 4" SOLID PIPE VENTED TO ROOF (SEE S-101).
 - ALL FOOTINGS SHALL BE OVER-EXCAVATED BY XX". SCARIFY & RECOMPACT NATIVE SOIL AT BOTTOM OF EXCAVATION BEFORE PLACING XX" OF COMPACTED STRUCTURAL FILL.



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81447

RAA-ALCOM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAAVA ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427**

JOB. NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

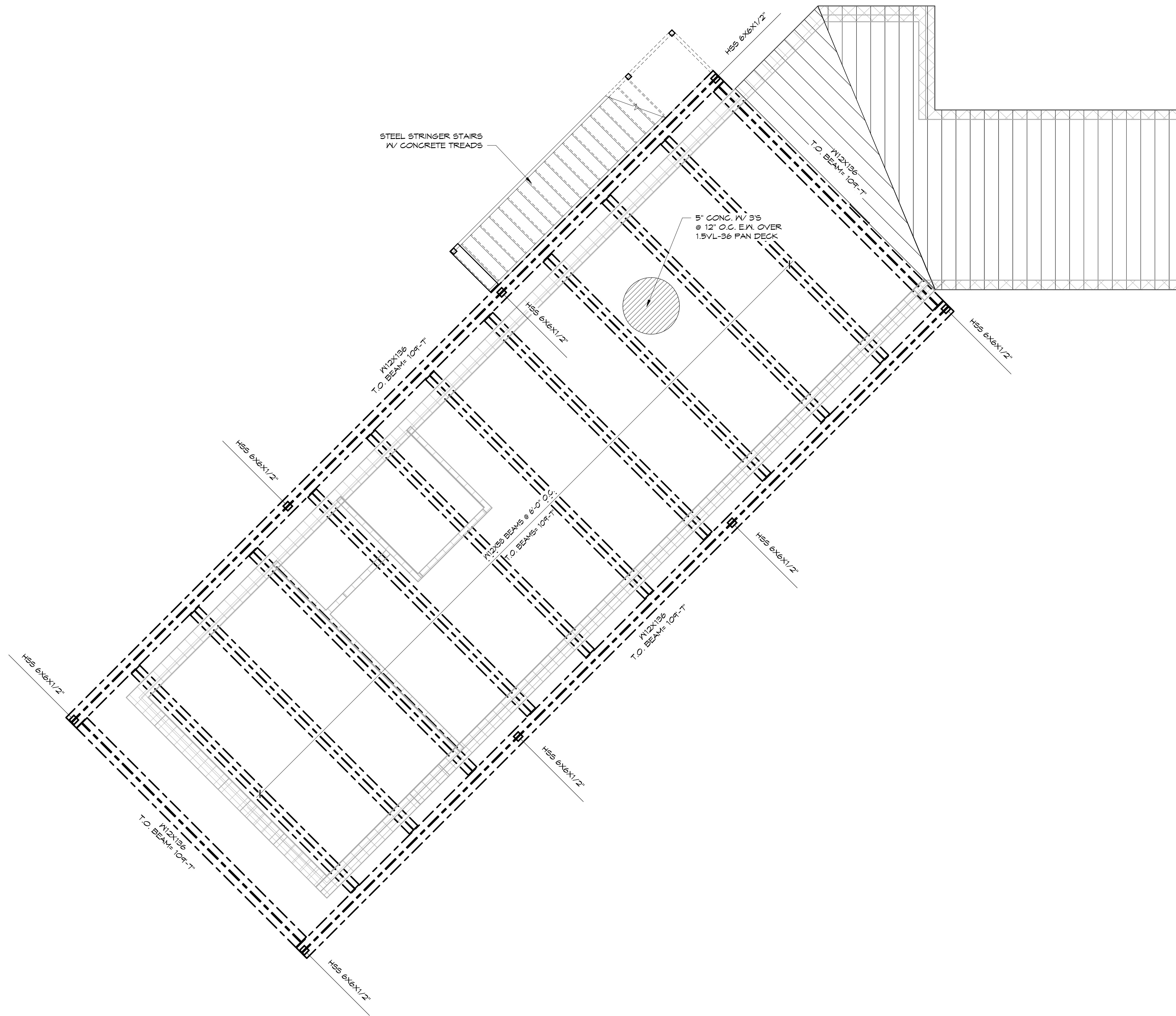
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-201
FOUNDATION PLAN

PRINT DATE: 1/4/2024 9:24:15 AM

LEDGER SCHEDULE	
No.	DESCRIPTION



- GENERAL FRAMING PLAN NOTES:**
- A. ALL PRODUCTS NOTED MAY BE SUBSTITUTED WITH EQUAL PRODUCTS BY TRUS-JOIST, BOISE CASCADE, INTERNATIONAL PAPER, OR LOUISIANA PACIFIC, OR ROSEBURG.
 - B. ALL STRUCTURAL COMPOSITE MEMBERS (LVL, PSL, ETC...) SHALL BE GRADED AS 24F-1.0E OR BETTER.
 - C. ALL GLULAM BEAMS ARE TO BE 20F-V12 RATED (ALASKAN YELLOW) AND ARCHITECTURAL APPEARANCE GRADE UNLESS OTHERWISE NOTED.
 - D. ROOF TRUSSES AND CORRESPONDING HANGERS SHALL BE SIZED BY TRUSS MANUFACTURER. SEE GENERAL NOTES ON S-101.
 - E. POSTS SHALL CARRY DOWN TO THE FOUNDATION.
 - F. HEADER SCHEDULE: HA-B, WHERE:

HA-B	"A" = NUMBER OF PLYS
	"B" = NOMINAL MEMBER SIZE
	9 = 2X9 D.F. #1
	10 = 2X10 D.F. #1
	12 = 2X12 D.F. #1
	9.5 = 1.75"X9.5" LVL
	11.875 = 1.75"X11.875" LVL
	14 = 1.75"X14" LVL
 - G. POST SCHEDULE: PAB, WHERE:

PAB	"A" = NUMBER OF JACK OR GRIPPLE STUDS
	"B" = NOMINAL KING STUDS
	ALL POSTS NOT OTHERWISE NOTED ARE P21
	P44 = 4X4 TIMBER
	P66 = 6X6 TIMBER
	P88 = 8X8 TIMBER
	P1010 = 10X10 TIMBER
	5.25X5.25 = 5.25"X5.25" 1.0E PSL COLUMN
	5.25X1.00 = 5.25"X1.00" 1.0E PSL COLUMN
 - H. ALL HEADERS IN BEARING AND EXTERIOR WALLS NOT OTHERWISE NOTED SHALL BE (2) 2X8S.
 - I. WHERE BEAMS/HEADERS ARE NOTED AS "FLUSH", PLACE TOP OF BEAM FLUSH WITH TOP OF JOISTS, AND HANG JOISTS FROM BEAM WHERE APPLICABLE.
 - J. FRAMING PLAN ELEVATIONS ARE TO TOP OF BEAM UNLESS OTHERWISE NOTED.
 - K. SEE GENERAL NOTES ON S-101 FOR SHEATHING CONNECTION REQUIREMENTS.
 - L. STUDS THAT EXCEED 13' HEIGHT SHALL BE STRUCTURAL COMPOSITE STUDS.



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 250-7494
FAX (970) 250-7492

262 PAGOSA STREET, STE. 200
P.O. BOX 36
PAGOSA SPRINGS, CO 81447

RAA-ALCOM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAAVA ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427**

JOB. NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-301

UPPER LEVEL FRAMING PLAN

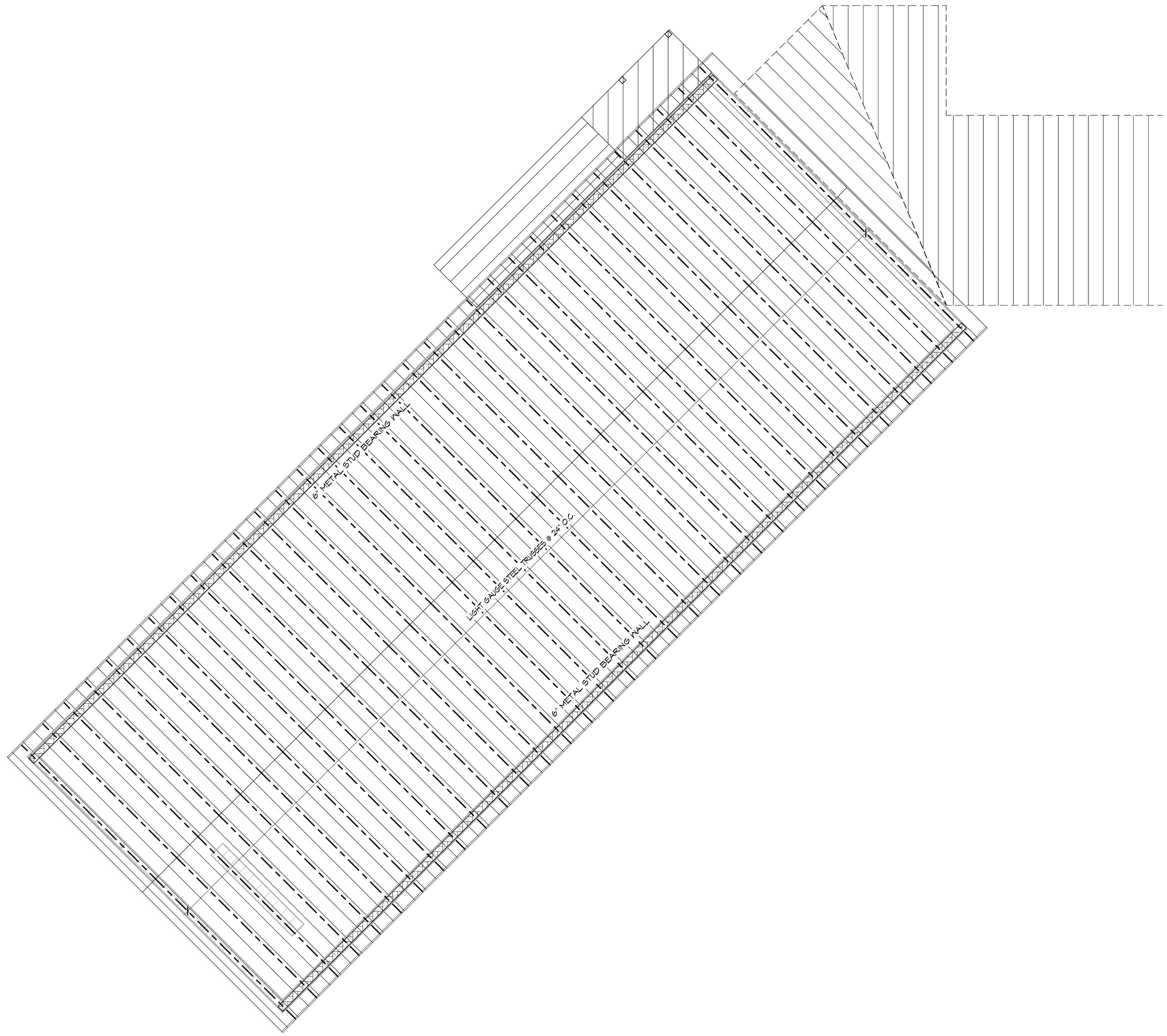


UPPER LEVEL FRAMING PLAN

SCALE: 1/4" = 1'-0"

PRINT DATE: 1/4/2024 9:24:17 AM

X LEDGER SCHEDULE	
No.	DESCRIPTION



GENERAL FRAMING PLAN NOTES:

- A. ALL PRODUCTS NOTED MAY BE SUBSTITUTED WITH EQUAL PRODUCTS BY TRUS-JOIST, BOISE CASCADE, INTERNATIONAL PAPER, OR LOUISIANA PACIFIC, OR ROSEBURG.
- B. ALL STRUCTURAL COMPOSITE MEMBERS (LVL, PSL, ETC...) SHALL BE GRADED AS 24F-1.0E OR BETTER.
- C. ALL GLULAM BEAMS ARE TO BE 20F-V12 RATED (ALASKAN YELLOW) AND ARCHITECTURAL APPEARANCE GRADE UNLESS OTHERWISE NOTED.
- D. ROOF TRUSSES AND CORRESPONDING HANGERS SHALL BE SIZED BY TRUSS MANUFACTURER. SEE GENERAL NOTES ON 5-101.
- E. POSTS SHALL CARRY DOWN TO THE FOUNDATION.
- F. HEADER SCHEDULE: HA-B, WHERE:

HA-B	"A" = NUMBER OF PLYS
	"B" = NOMINAL MEMBER SIZE
	9 = 2X8 D.F. #1
	10 = 2X10 D.F. #1
	12 = 2X12 D.F. #1
	1.25 = 1.75"X1.25" LVL
	9.5 = 1.75"X9.5" LVL
	11.875 = 1.75"X11.875" LVL
	14 = 1.75"X14" LVL
- G. POST SCHEDULE: PAB, WHERE:

	"A" = NUMBER OF JACK OR GRIPPLE STUDS
	"B" = NOMINAL KING STUDS
	ALL POSTS NOT OTHERWISE NOTED ARE P21
	P44 = 4X4 TIMBER
	P66 = 6X6 TIMBER
	P88 = 8X8 TIMBER
	P1010 = 10X10 TIMBER
	5.25X5.25 = 5.25"X5.25" 1.0E PSL COLUMN
	5.25X1.00 = 5.25"X1.00" 1.0E PSL COLUMN
- H. ALL HEADERS IN BEARING AND EXTERIOR WALLS NOT OTHERWISE NOTED SHALL BE (2) 2X8'S.
- I. WHERE BEAMS/HEADERS ARE NOTED AS "FLUSH", PLACE TOP OF BEAM FLUSH WITH TOP OF JOISTS, AND HANG JOISTS FROM BEAM WHERE APPLICABLE.
- J. FRAMING PLAN ELEVATIONS ARE TO TOP OF BEAM UNLESS OTHERWISE NOTED.
- K. SEE GENERAL NOTES ON 5-101 FOR SHEATHING CONNECTION REQUIREMENTS.
- L. STUDS THAT EXCEED 13' HEIGHT SHALL BE STRUCTURAL COMPOSITE STUDS.



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 251-7494
FAX (970) 251-7492
202 PAGOOSA STREET, STE. 200
P.O. BOX 56
PAGOOSA SPRINGS, CO 81447
RAA-ALCOM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 1
OURAY, COLORADO 81427**

JOB. NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-302
ROOF LEVEL FRAMING PLAN



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

PRINT DATE: 1/4/2024 9:24:18 AM

SITE VICINITY MAP



PROJECT DATA

SITE ZONING	P-1
SITE AREA	5.35 ACRE
GROSS FLOOR AREAS	
MAIN LEVEL (EXISTING)	2818 S.F.
UPPER LEVEL MECH. (NEW)	1657 S.F.
PARTY DECK (NEW)	2296 S.F.
OCCUPANCY GROUP:	S-1
CONSTRUCTION TYPE:	TYPE II-B

OURAY HOT SPRINGS POOL MECHANICAL BUILDING OPTION 2 1220 MAIN ST OURAY, COLORADO 81427



REYNOLDS ASH
+ ASSOCIATES
ARCHITECTURE
ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 96
PAGOSA SPRINGS, CO 81447

RAA@COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO THE USE OF FEDERAL LAW. PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA ARCHITECTS, P.C.

ABBREVIATIONS

AB. ANCHOR BOLT	I.D. INSIDE DIAMETER
ACT. ANCHOR BOLT	INSUL. INSULATION
A.F.F. ABOVE FINISHED FLOOR	INT. INTERIOR
AGGR. AGGREGATE	JAN. JANITOR
AL. ALUMINUM	JNT. JOINT
ALT. ALTERNATE	JST. JOIST
APPROX. APPROXIMATE	KIT. KITCHEN
ARCH. ARCHITECTURAL	LAB. LABORATORY
BD. BOARD	LAM. LAMINATE
BLDG. BUILDING	LAV. LAVATORY
BLK. BLOCK	LT. LIGHT
BLK'G. BLOCKING	MAX. MAXIMUM
BM. BEAM	MECH. MECHANICAL
BOT. BOTTOM	MEMB. MEMBRANE
BTWN. BETWEEN	MFR. MANUFACTURER
B.U.R. BUILT UP ROOFING	M.H. MANHOLE
B.W. BOTHWAYS	MIN. MINIMUM
C.J. CONTROL JT.	MISC. MISCELLANEOUS
CLG. CAULKING	M.O. MASONRY OPENING
CLK. CLEAR	MTL. METAL
CLR. CLEAR	MUL. MULLION
C.M.U. CONCRETE MASONRY UNIT	N. NORTH
COL. COLUMN	N.I.C. NOT IN CONTRACT
CONC. CONCRETE	NO. NUMBER
CONN. CONNECTION	NOM. NOMINAL
CONSTR. CONSTRUCTION	N.T.S. NOT TO SCALE
CONT. CONTINUOUS	
C.T. CERAMIC TILE	
C.O.A. CENTER OF ARCH	
DES. DEGREE	
DET./DTL. DETAIL	
D.F. DRINKING FOUNTAIN	
DIAG. DIAGONAL	
DIA. DIAMETER	
DN. DOWN	
DWS. DRAINAGE	
E. EAST	
(E) EXISTING	
EA. EACH	
E.J. EXPANSION JOINT	
E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM	
EL./ELEV. ELEVATION	
ELEC. ELECTRICAL	
ELEV. ELEVATION	
EMER. EMERGENCY	
ENCL. ENCLOSURE	
EQ. EQUAL	
EQUIP. EQUIPMENT	
E.W. EACH WAY	
E.W.C. ELECTRIC WATER COOLER	
EXP. EXPANSION	
EXT. EXTERIOR	
F.A. FIRE ALARM	
F.D. FLOOR DRAIN	
F.D.C. FIRE DEPARTMENT CONNECTION	
FDN. FOUNDATION	
F.E. FIRE EXTINGUISHER	
F.E.C. FIRE EXTINGUISHER CABINET	
F.F. FINISH FLOOR	
F.H.C. FIRE HOSE CABINET	
FIN. FINISH	
FL. FLOOR LINE	
FLR. FLOOR	
FLUOR. FLUORESCENT	
FND. FOUNDATION	
F.O.B. FACE OF BRICK	
F.O.C. FACE OF CONCRETE	
F.S. FULL SIZE	
FT. FOOT OR FEET	
FTG. FOOTING	
FURR. FURRING	
GA. GAUGE	
GALV. GALVANIZED	
G.C. GENERAL CONTRACTOR	
G.L. GLASS	
GR. GRADE	
GYP. GYPSUM	
GYP. BD. GYPSUM BOARD	
H.B. HOSE BIBB	
H.C. HOLLOW CORE	
H/C. HANDICAPPED	
HDND. HARDWOOD	
HDNE. HARDWARE	
H.M. HOLLOW METAL	
HORIZ. HORIZONTAL	
HR. HOUR	
HT. HEIGHT	
HVAC. HEATING, VENTILATION AND AIR CONDITIONING	
	U.N.O. UNLESS NOTED OTHERWISE
	V.G.T. VINYL COMPOSITION TILE
	VER. VERIFY
	VERT. VERTICAL
	W. WEST
	W/ WITH
	W.C. WATER CLOSET
	WD. WOOD
	W/O WITHOUT
	W/O CENTERLINE

PROJECT DIRECTORY

DEVELOPER:
CITY OF OURAY
360 6TH AVE.
P.O. BOX 468
OURAY, CO 81427

ARCHITECT/ STRUCTURAL ENGINEER:
REYNOLDS ASH + ASSOCIATES
TRACY REYNOLDS
564 E 2ND AVE, SUITE 201
DURANGO, CO 81301
(970) 259-9474

MEP ENGINEER:
ME4E ENGINEERING
DUSTIN SULLIVAN
572 E 3RD AVE, SUITE A
DURANGO, CO 81301
(970) 395-1570

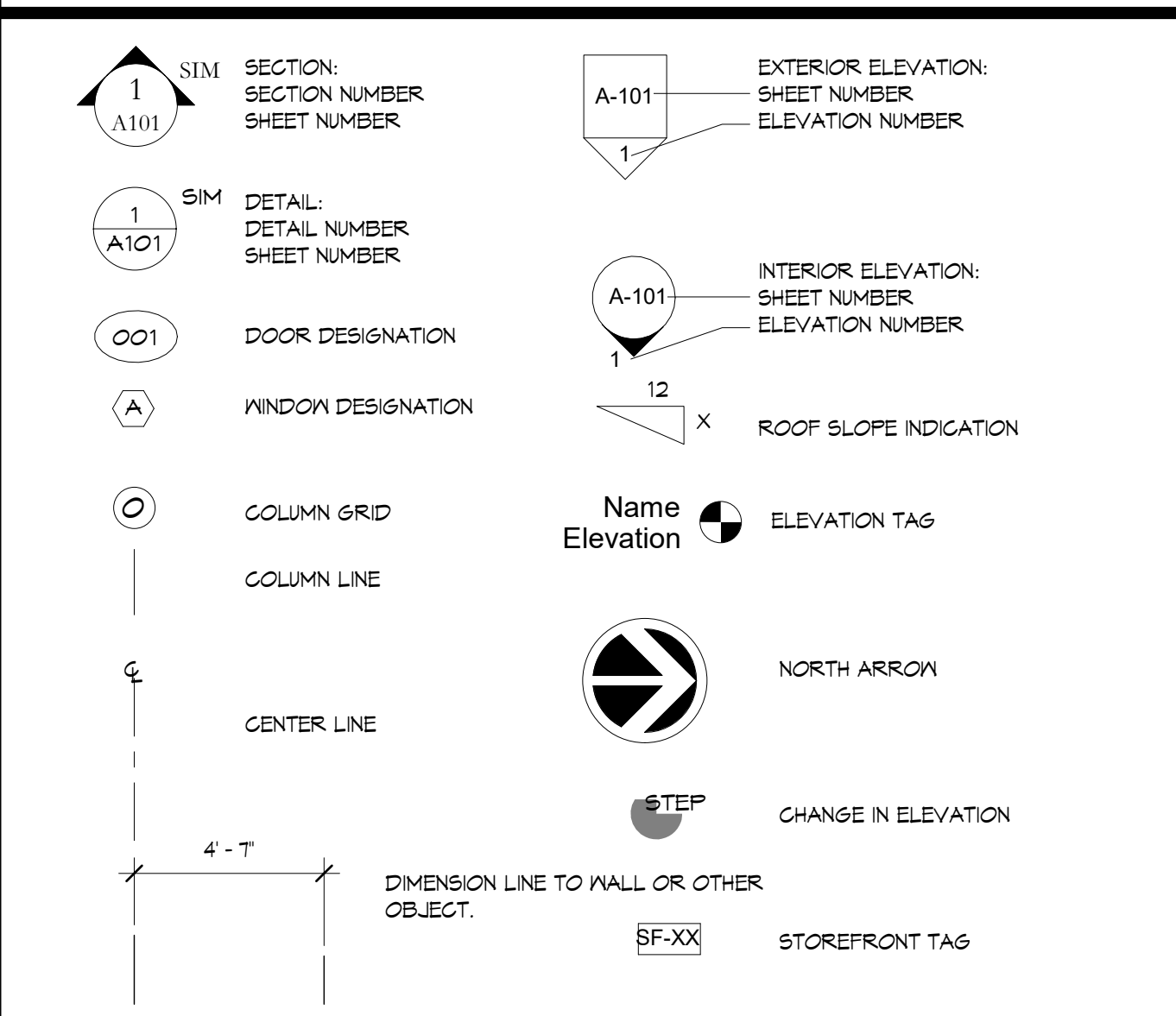
GENERAL NOTES:

- APPLICABLE CODES:**
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 NATIONAL ELECTRIC CODE
- GENERAL/CONTRACT REQUIREMENTS:**
A. SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
B. ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY THE OWNER.
C. SUBCONTRACTOR MUST COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.
D. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES WORKING SIMULTANEOUSLY OR FOLLOWING THEM.
E. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
- PROJECT LAYOUT REQUIREMENTS:**
A. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE DRAWINGS.
B. DIMENSIONING IS AS FOLLOWS, UNLESS OTHERWISE NOTED:
CENTERLINE OF COLUMNS
FACE OF CONCRETE
FACE OF MASONRY
EXTERIOR FACE OF STUD AT EXTERIOR WALLS
FACE OF STUD AT INTERIOR STUD WALLS
CENTER OF WINDOW AND DOOR OPENINGS
C. ALL FINISH FLOOR ELEVATIONS ARE TO TOP OF SLAB OR TOP OF SHEATHING, U.N.O.
D. ALL STEPS SHALL HAVE 1" MAXIMUM RISERS AND 11" MINIMUM TREADS U.N.O OR SPECIFIED DIFFERENTLY ON THE DRAWINGS.
E. ALL INTERIOR FEATURES SHOWN ARE CONCEPTUAL. VERIFY SHAPE, HEIGHT, AND DISTANCE OFF FINISH FLOOR WITH OWNER AND ARCHITECT AT CONSTRUCTION PHASE.
- LIFE SAFETY REQUIREMENTS:**
A. SAFETY GLAZING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
GLAZING IN SWINGING DOORS
GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS
GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, BATHTUBS, HOT TUBS, WIRLPOOLS, ETC.
GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF A DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
GLAZING MEETING ALL OF THE FOLLOWING:
1. EXPOSED AREA, 9 S.F.
2. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
3. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
GLAZING IN GUARDRAILS AND RAILINGS.
GLAZING ADJACENT TO STAIRWAYS OR RAMPS.
- PROJECT CONSTRUCTION REQUIREMENTS:**
A. ALL FRAMED WALLS SHALL HAVE AN EXTERIOR MOISTURE BARRIER AS FOLLOWS:
TYVEK OR EQUAL AT WOOD SIDING OR HARDI-PLANK SIDING
ONE LAYER 30# FELT AT MASONRY VENEER
TWO LAYERS 15# FELT AT STUCCO
B. ALL WINDOWS SHALL BE FLASHED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS
C. AT MASONRY VENEER, PROVIDE FLEXIBLE MEMBRANE FLASHING AT THE BASE OF ALL WALLS AND AT WINDOW AND DOOR HEADS. PROVIDE PVG KEEPS AT 24 INCHES O.C. DIRECTLY ABOVE THE FLASHING.
VI. **PROJECT WORKMANSHIP:**
A. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
B. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
C. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE SUBCONTRACTOR.
D. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK.
E. SUBCONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE SWEEP CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
F. PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427

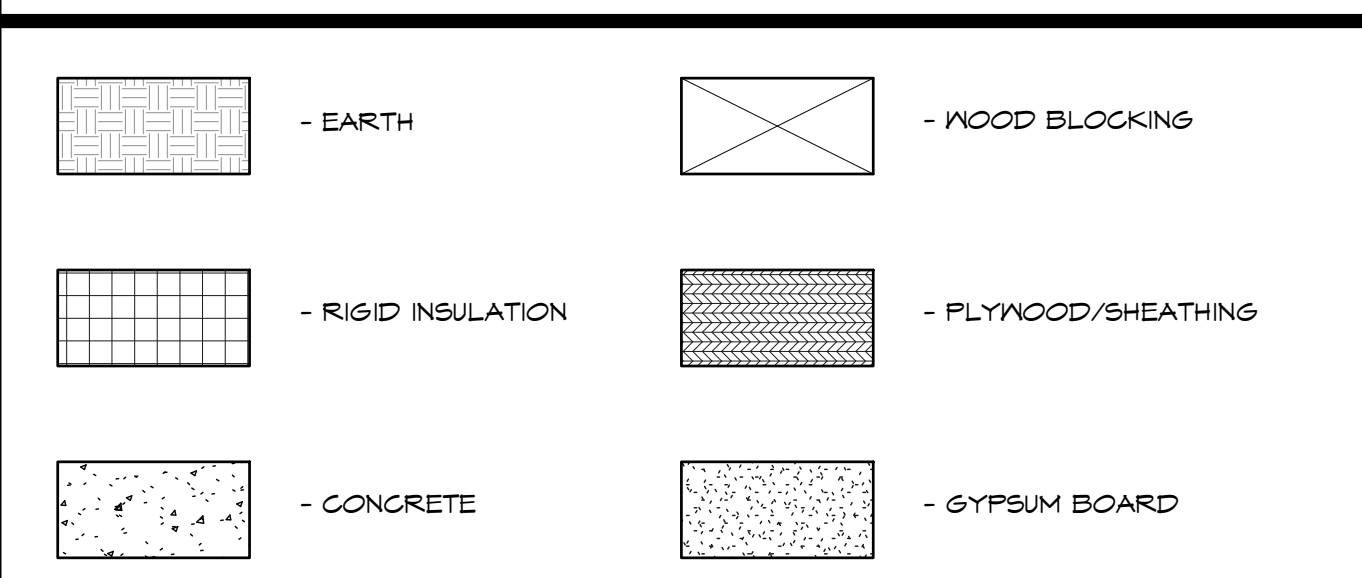
ARCHITECTURAL SYMBOLS



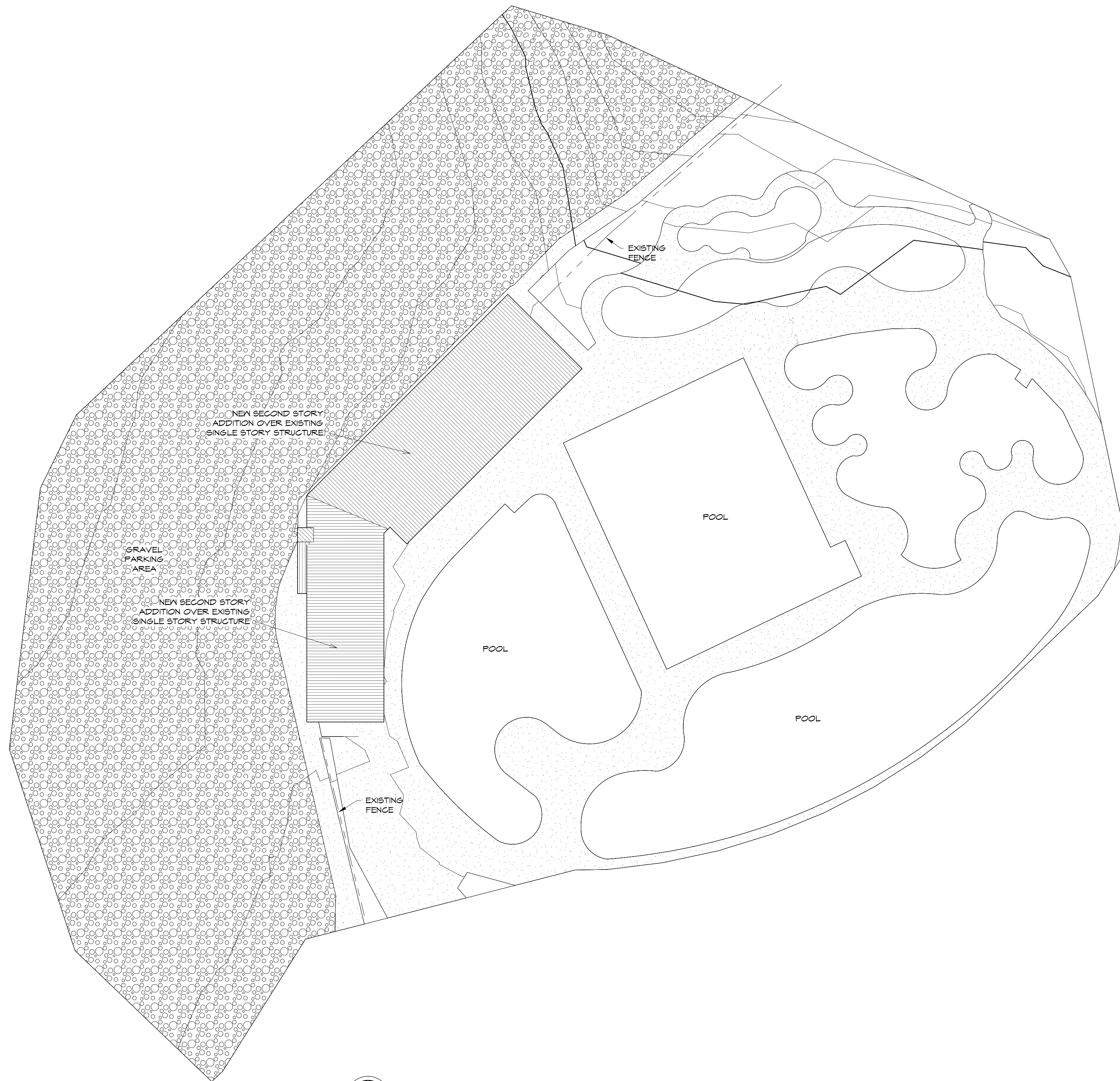
DRAWING INDEX

GENERAL	G-101 COVER SHEET
SITE	
AS-101	SITE PLAN- OVERALL
ARCHITECTURAL	
D-201	DEMOLITION ELEVATIONS
D-202	DEMOLITION ELEVATIONS
D-203	DEMOLITION ELEVATIONS
A-101	MAIN LEVEL FLOOR PLAN
A-102	UPPER LEVEL FLOOR PLAN
A-103	PROPOSED ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-204	3-D VIEWS
A-205	3-D VIEW
A-301	BUILDING SECTIONS
STRUCTURAL	
S-201	FOUNDATION PLAN
S-301	UPPER LEVEL FRAMING PLAN
S-302	ROOF LEVEL FRAMING PLAN

MATERIALS LEGEND



NOTE: Clarify with Architect any abbreviations not listed. Some abbreviations on list may not be used in project.



SITE ZONING:	P-1
SITE AREA:	5.35 ACRE
MINIMUM REQUIRED SETBACKS	AS DETERMINED BY PLANNING COMMISSION
FRONT YARD:	
SIDE YARD:	
REAR YARD:	
HEIGHT REQUIREMENTS	20 FT
BUILDING MAX HEIGHT	
OCCUPANCY GROUP:	S-1
CONSTRUCTION TYPE:	II-B
FIRE SPRINKLERED:	NFPA 13

- SITE PLAN GENERAL NOTES**
- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
 - B. CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE INSTALLATION WITH SAN MIGUEL COUNTY.
 - C. CONTRACTOR SHALL VERIFY WATER METER LOCATION.
 - D. CONTRACTOR SHALL COORDINATE GAS SERVICE AND METER INSTALLATION.
 - E. SEE STRUCTURAL FOR EXCAVATION, STRUCTURAL FILL AND BACKFILL REQUIREMENTS.



NORTH

ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

564 E. AVENUE, SUITE 201
DURANGO, CO 81301
(970) 259-7504
FAX (970) 259-7502

262 PAGOSA STREET, STEL 200
P.O. BOX 96
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RA+A ARCHITECTS, P.C.

PROGRESS SET NOT FOR CONST.

OURAY HOT SPRINGS POOL MECHANICAL BUILDING OPTION 2
OURAY, COLORADO 81427

JOB. NO.: 22130
DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
SD PHASE: 12-20-2023

REVISIONS:

AS-101

SITE PLAN-OVERALL



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427

JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

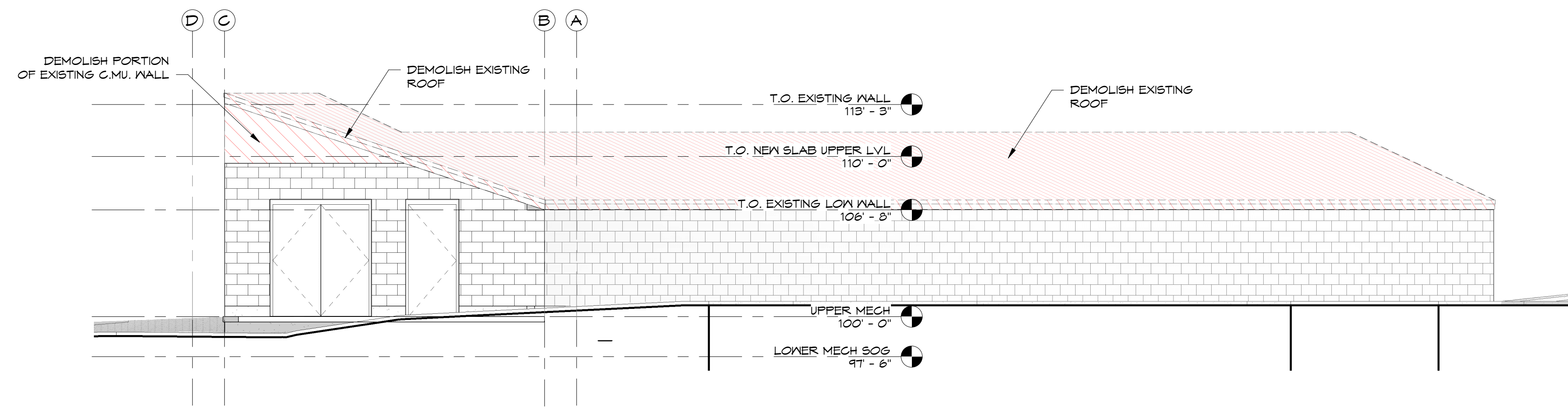
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

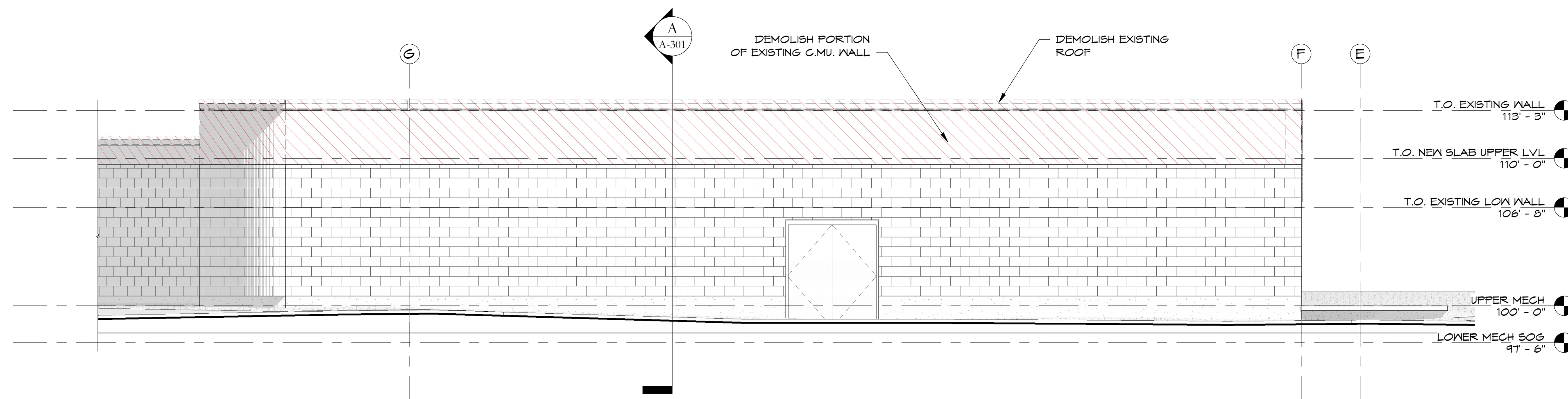
D-201

DEMOLITION ELEVATIONS

PRINT DATE: 1/4/2024 9:56:58 AM



SOUTH - DEMO A
SCALE: 3/16" = 1'-0" D-201



WEST - DEMO B
SCALE: 3/16" = 1'-0" D-201



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 251-7494
FAX (970) 251-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 36
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427

JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

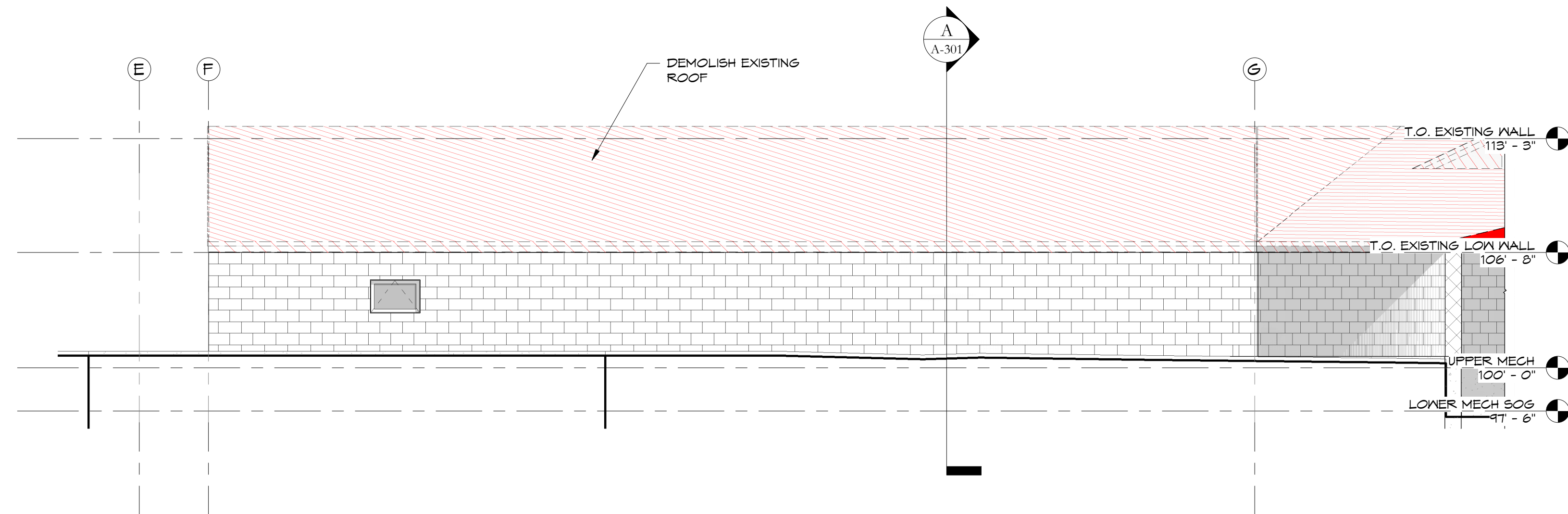
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

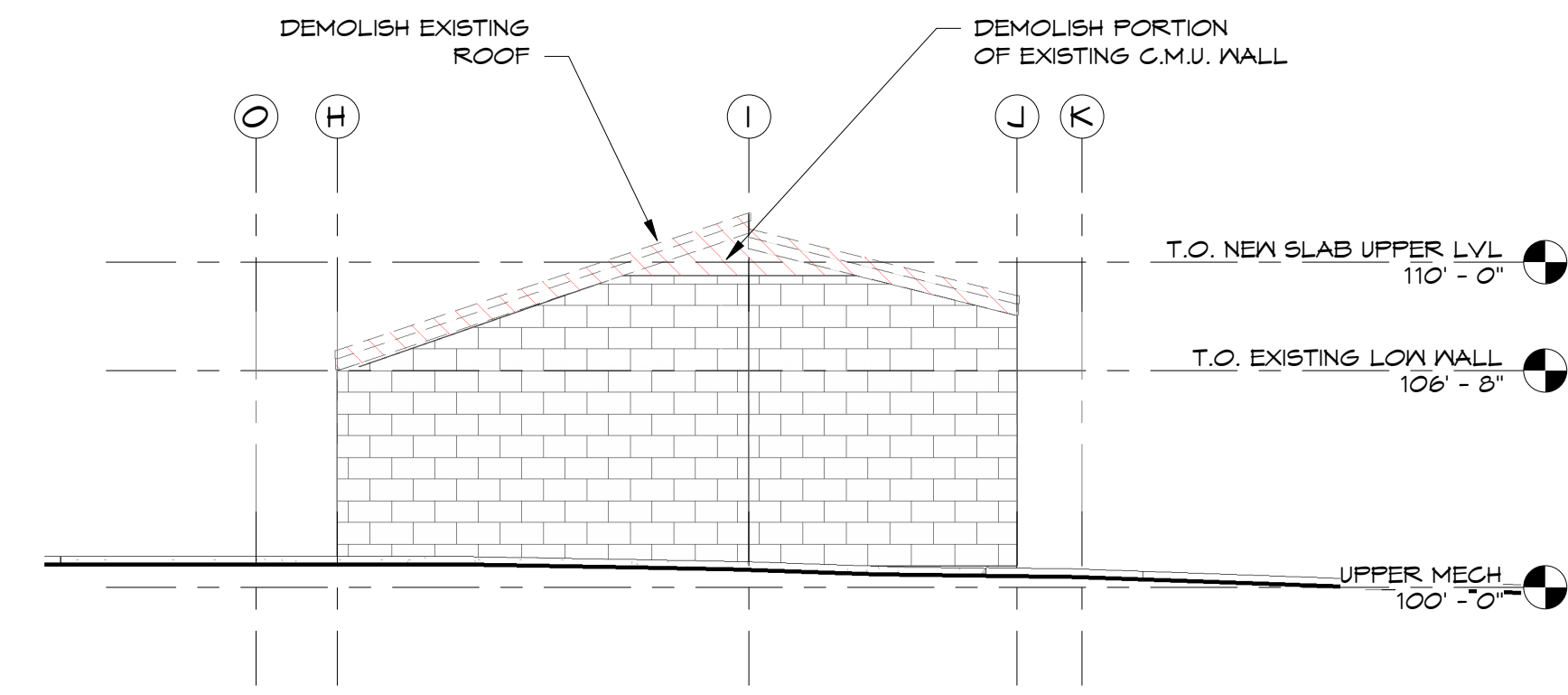
D-202

DEMOLITION ELEVATIONS

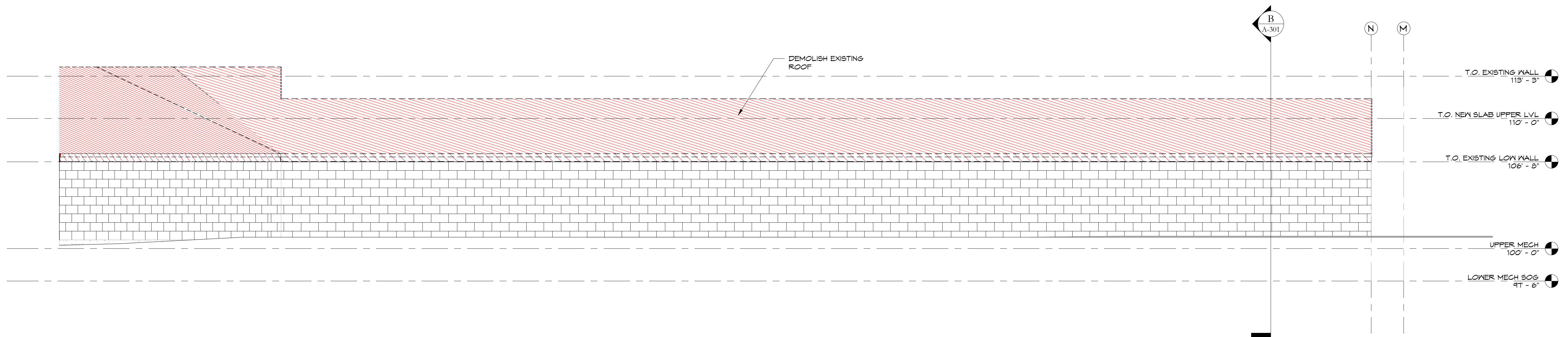
PRINT DATE: 1/4/2024 9:57:03 AM



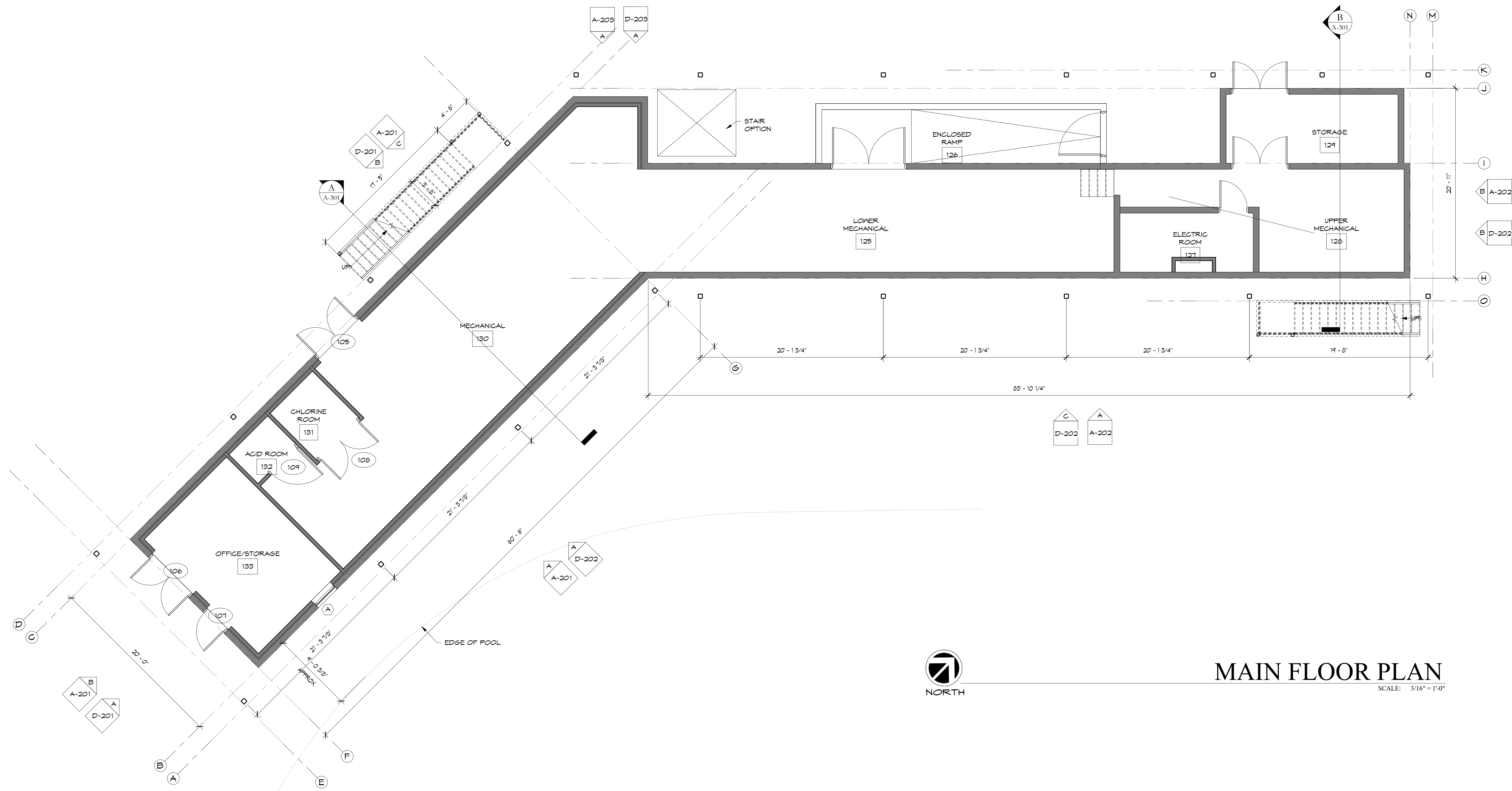
EAST - DEMO A
SCALE: 3/16" = 1'-0" D-202



NORTHEAST - DEMO B
SCALE: 3/16" = 1'-0" D-202



SOUTHEAST - DEMO C
SCALE: 1/4" = 1'-0" D-202



MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

WALL TYPE LEGEND

- EXISTING EXTERIOR WALL:
6X16X8 SPLIT FACED (ONE SIDE) CONCRETE BLOCK FULLY GROUTED
- EXISTING EXTERIOR WALL:
6X16X8 SPLIT FACED CONCRETE BLOCK
R15 / 1 1/2" CONTINUOUS RIGID INSULATION
R13 / 3 5/8" METAL STUDS AT 16" OC / 1/4" BATT
VAPOR BARRIER
5/8" G&B
- INTERIOR WALL:
5/8" G&B
3 5/8" METAL STUDS AT 16" OC
5/8" G&B
- CONC. WALL:
8" CAST IN PLACE CONCRETE WALL
- NEW EXTERIOR WALL:
6" METAL STUD FRAMING
GLASS MAT SHEATHING
CONTINUOUS RIGID INSULATION
METAL PANEL OVER FURRING STRIPS AS SPECIFIED
5/8" GYP BOARD AT INTERIOR

GROSS SQUARE FOOTAGE

MAIN LEVEL (EXIST.)	2918 SF
PARTY DECK (NEW)	2246 SF
UPPER LEVEL MECH. (NEW)	1657 SF



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 251-7494
FAX (970) 251-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81447

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427**

JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-101
MAIN LEVEL FLOOR PLAN

PRINT DATE: 1/6/2024 3:30:55 PM



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81447

RA-AE/COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427**

JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

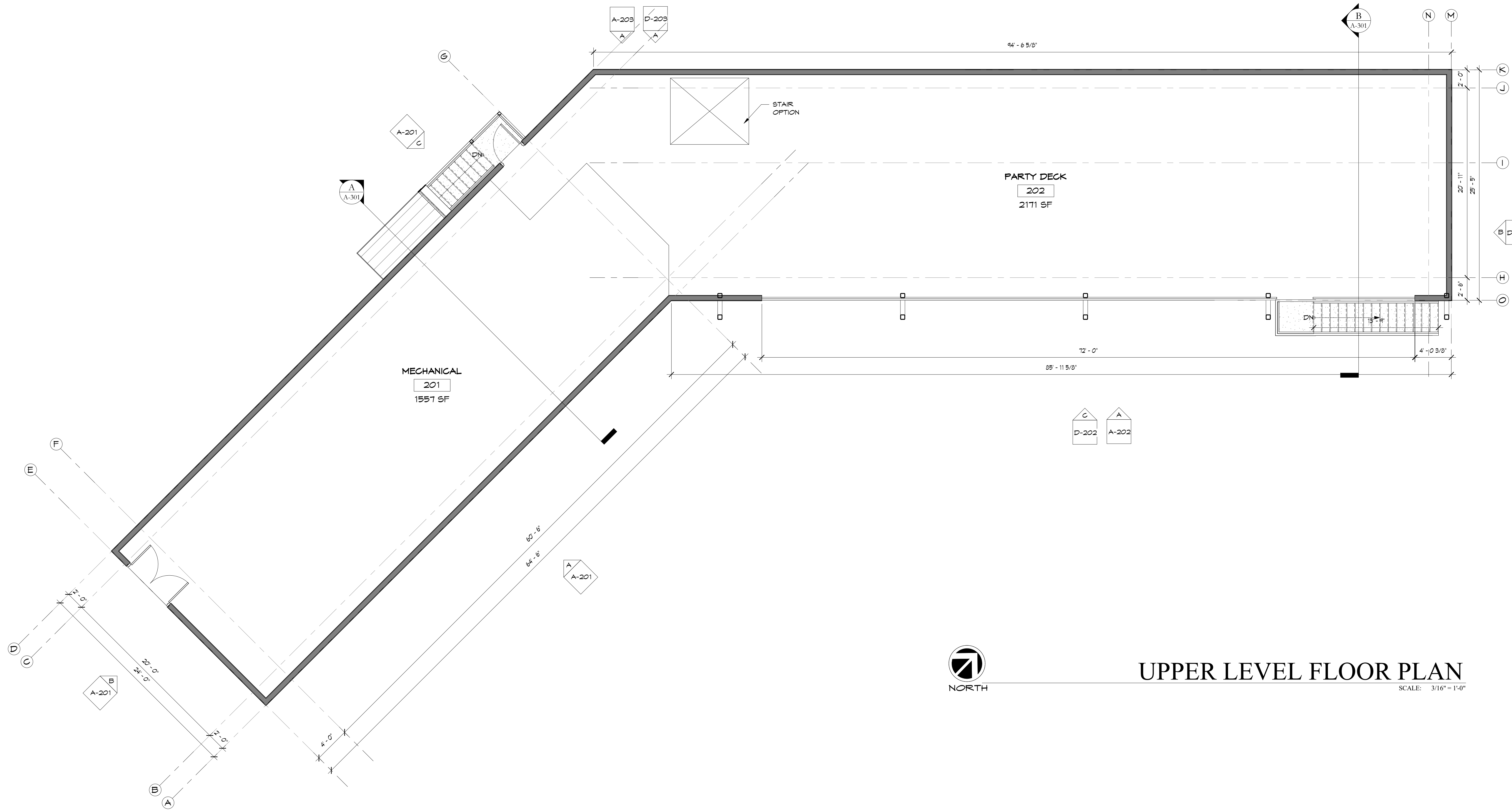
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-102

UPPER LEVEL FLOOR PLAN

PRINT DATE: 1/6/2024 3:31:00 PM



UPPER LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

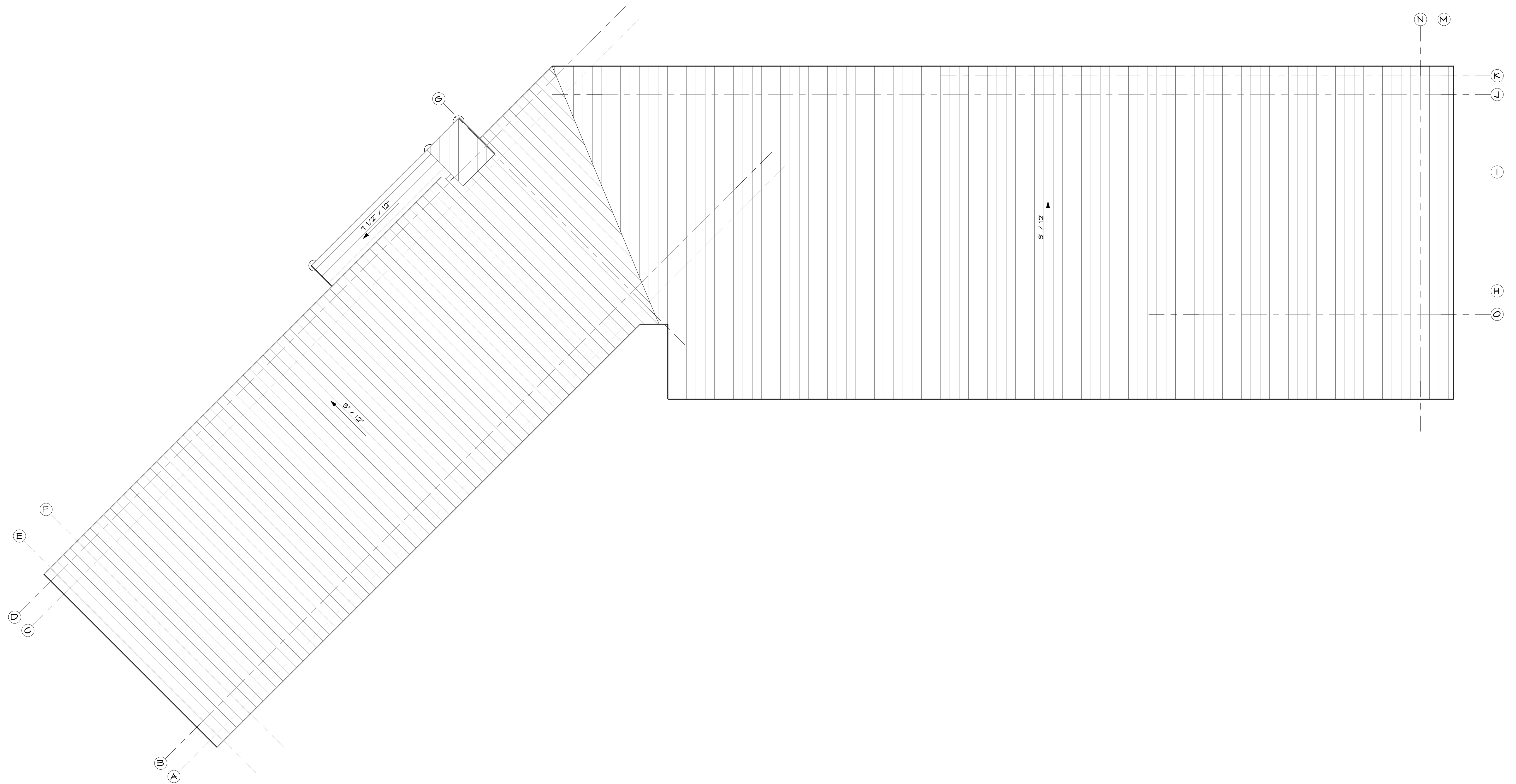
WALL TYPE LEGEND

- EXISTING EXTERIOR WALL:
8X16X8 SPLIT FACED (ONE SIDE) CONCRETE BLOCK
FULLY GROUTED
- EXISTING EXTERIOR WALL:
8X16X8 SPLIT FACED CONCRETE BLOCK
R7.5 / 1 1/2" CONTINUOUS RIGID INSULATION
R13 / 3 5/8" METAL STUDS AT 16" OC / 1/4" BATT
VAPOR BARRIER
5/8" G&B
- INTERIOR WALL:
5/8" G&B
3 5/8" METAL STUDS AT 16" OC
5/8" G&B
- CONG. WALL:
8" CAST IN PLACE CONCRETE WALL
- NEW EXTERIOR WALL:
6" METAL STUD FRAMING
GLASS MAT SHEATHING
CONTINUOUS RIGID INSULATION
METAL PANEL OVER FURRING STRIPS AS SPECIFIED
5/8" GYP BOARD AT INTERIOR

GROSS SQUARE FOOTAGE

MAIN LEVEL (EXIST.)	2918 SF
PARTY DECK (NEW)	2246 SF
UPPER LEVEL MECH. (NEW)	1657 SF

PRINT DATE: 1/6/2024 3:31:00 PM



ROOF PLAN GENERAL NOTES

- A. ROOFING TO BE STANDING SEAM METAL ROOFING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERLAP FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8". INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
- B. PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.
- C. ALL 24 GA. PREFINISHED METAL FLASHINGS TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIPPLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
- D. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
- E. CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL, COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.
- F. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKTITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.



PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOOSA STREET, STE. 200
P.O. BOX 56
PAGOOSA SPRINGS, CO 81447

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427**

JOB. NO.: **22130**
ISSUE DATE: **2023-12-20**
DRAWN BY: **RA+A**

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-103

PROPOSED ROOF PLAN

PRINT DATE: 1/4/2024 9:55:48 AM

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427**

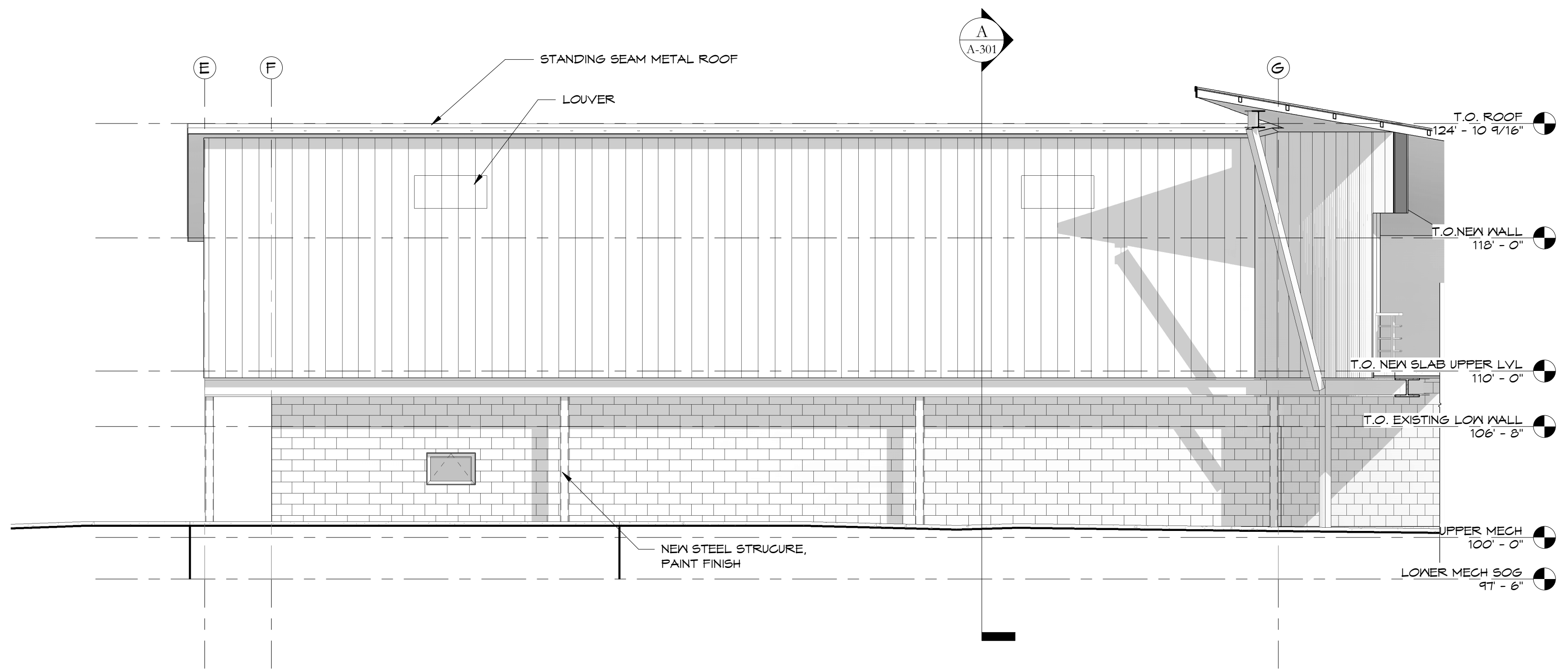
JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

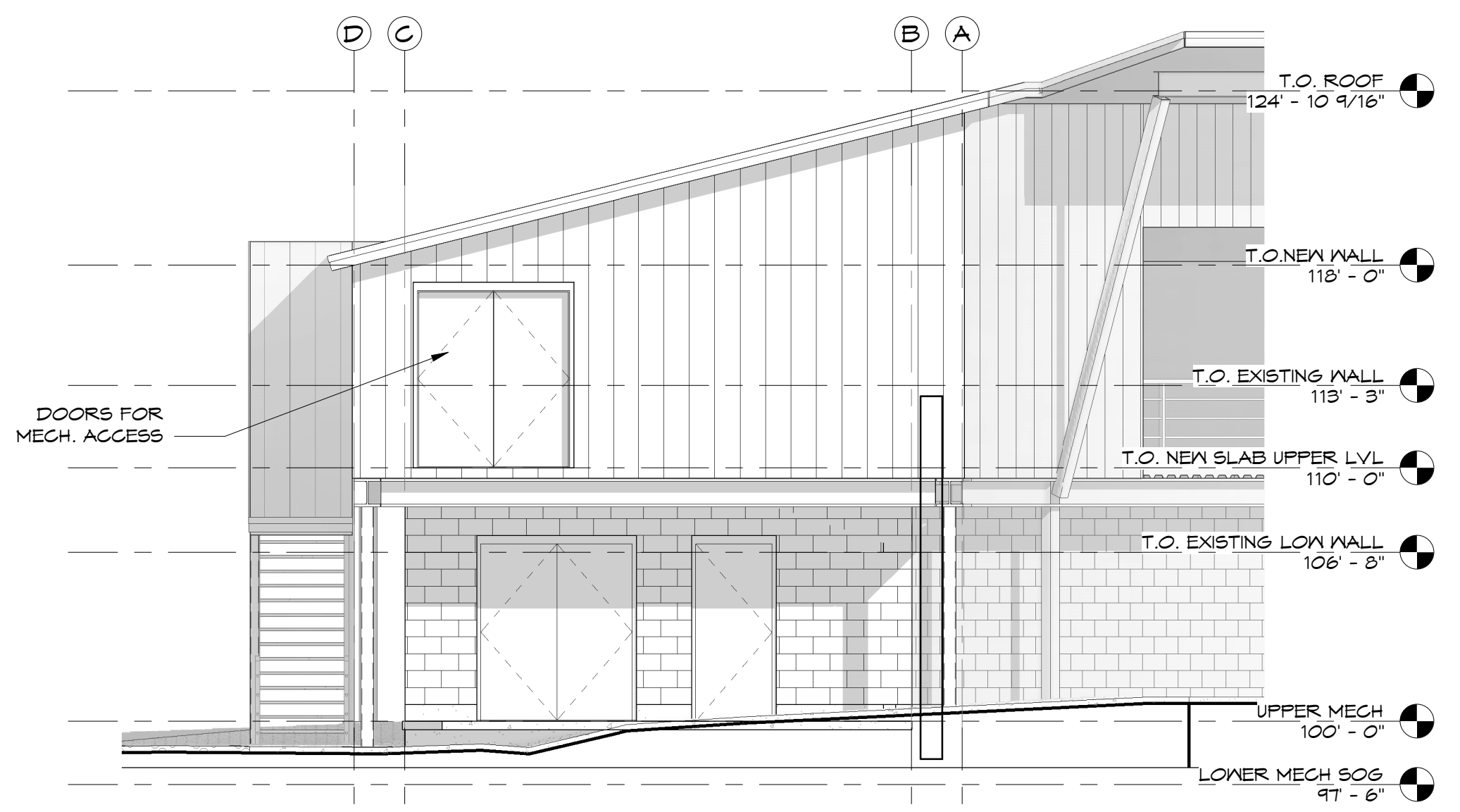
REVISIONS:

A-201
EXTERIOR ELEVATIONS

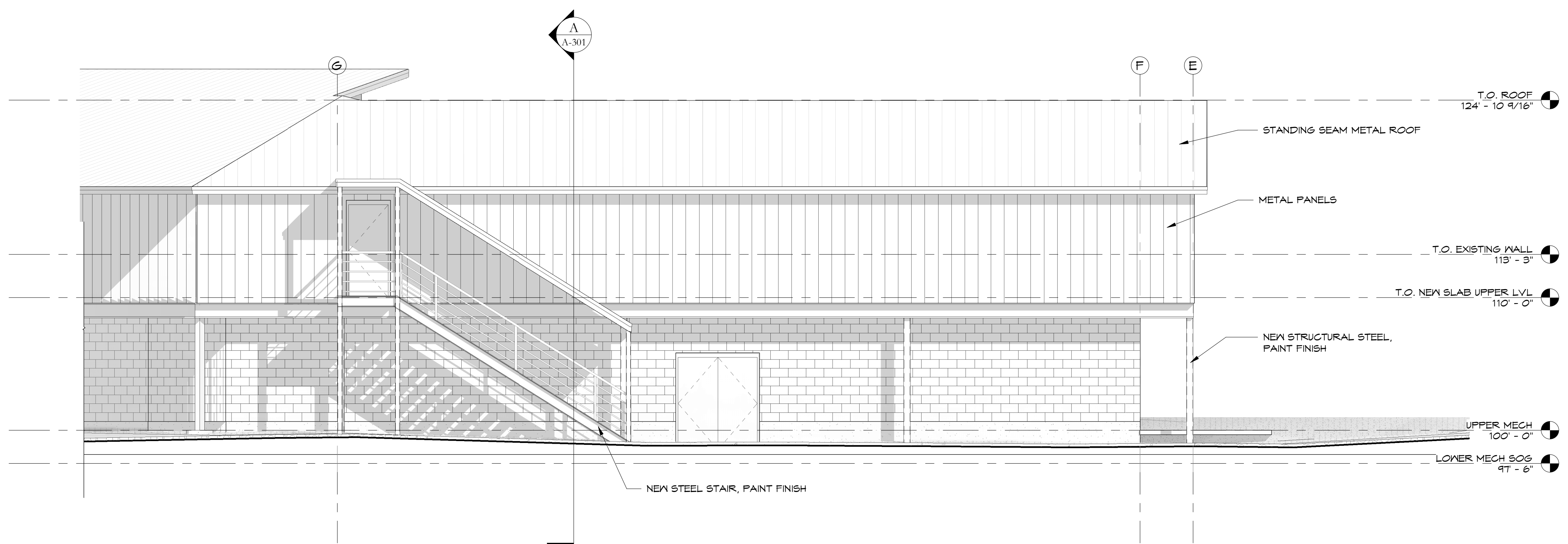
PRINT DATE: 1/4/2024 10:45:23 AM



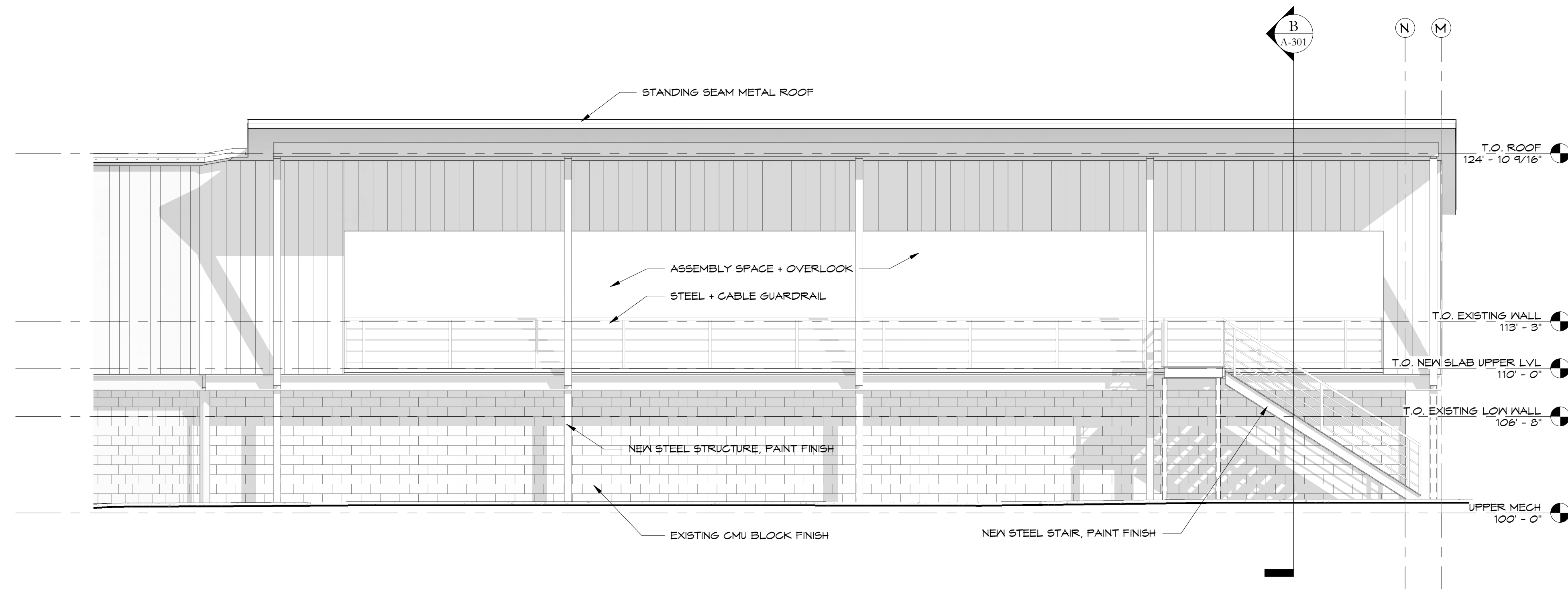
EAST A
SCALE: 3/16" = 1'-0"
A-201



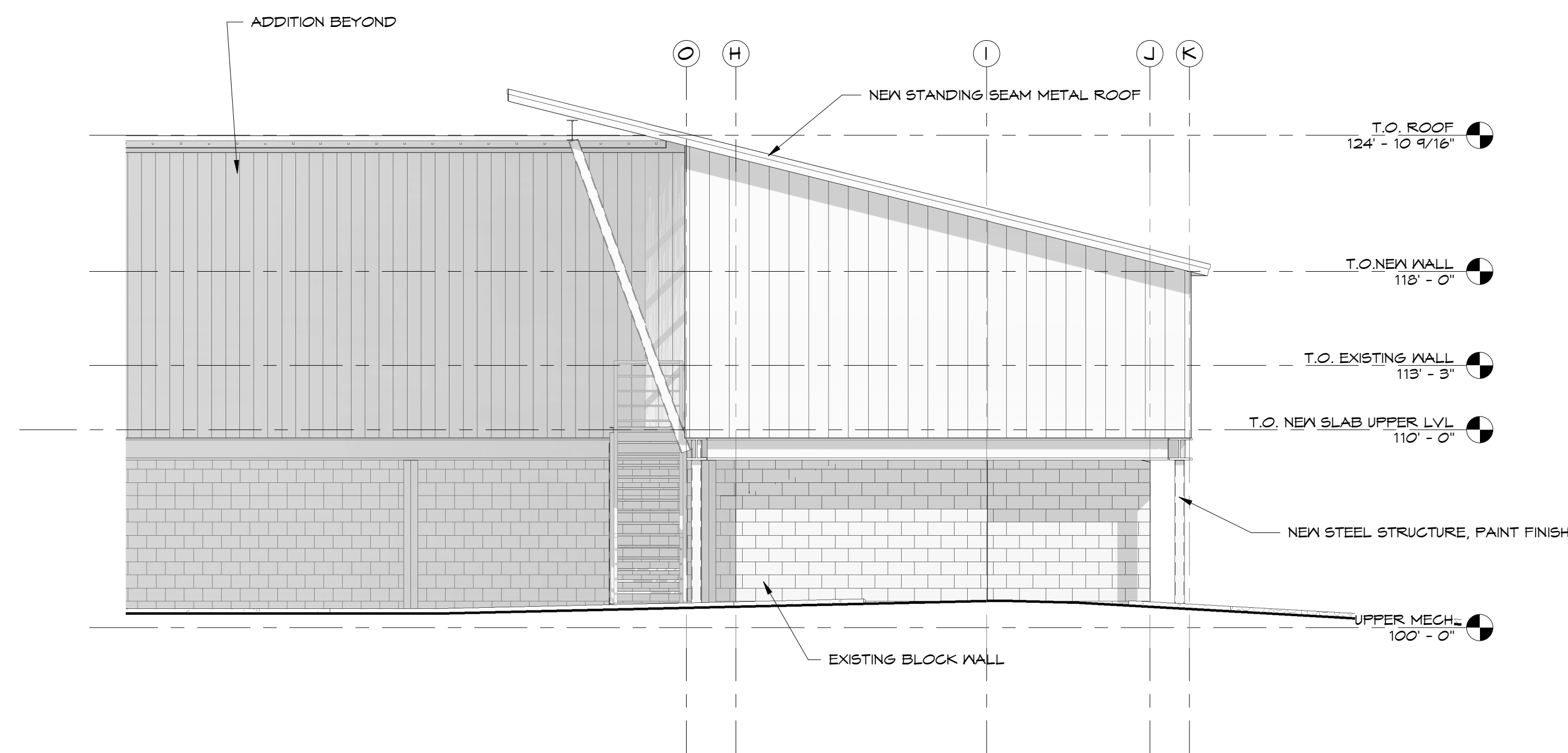
SOUTH B
SCALE: 3/16" = 1'-0"
A-201



WEST C
SCALE: 3/16" = 1'-0"
A-201



SOUTHEAST A
SCALE: 3/16" = 1'-0"
A-202



NORTHEAST B
SCALE: 3/16" = 1'-0"
A-202



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427**

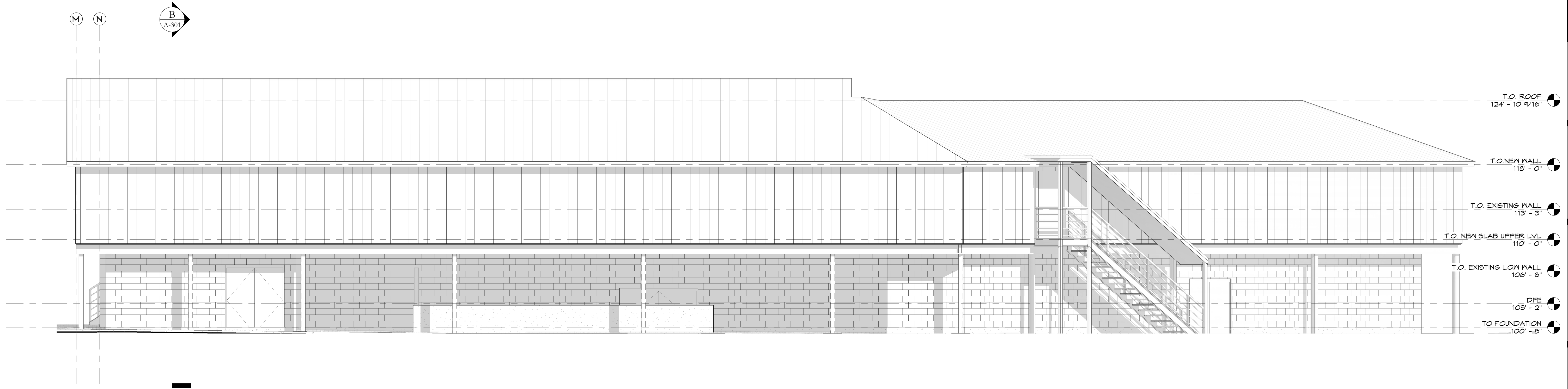
JOB. NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-202

EXTERIOR ELEVATIONS



NORTHWEST **A**
 SCALE: 3/16" = 1'-0"
A-203



**REYNOLDS ASH
 + ASSOCIATES**

**ARCHITECTURE
 ENGINEERING**

1140 MAIN AVE, STE. B
 DURANGO, CO 81301
 (970) 259-7494
 FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
 P.O. BOX 36
 PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
 EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
 AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
 PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
 FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
 ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
 OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
 ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
 BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
 WERE PREPARED AND PUBLICATION THEREOF IS
 EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
 PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
 OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
 EXPRESS WRITTEN CONSENT OF
 RA+A ARCHITECTS, P.C.

**PROGRESS SET
 NOT FOR CONST.**

**OURAY HOT SPRINGS POOL
 MECHANICAL BUILDING
 OPTION 2
 OURAY, COLORADO 81427**

JOB. NO.: **22130**
 ISSUE DATE: **2023-12-20**
 DRAWN BY: **RA+A**

ISSUE RECORD:
 2023/12/20 S.D. SET

REVISIONS:

A-203

EXTERIOR ELEVATIONS



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427**

JOB. NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-204
3-D VIEWS

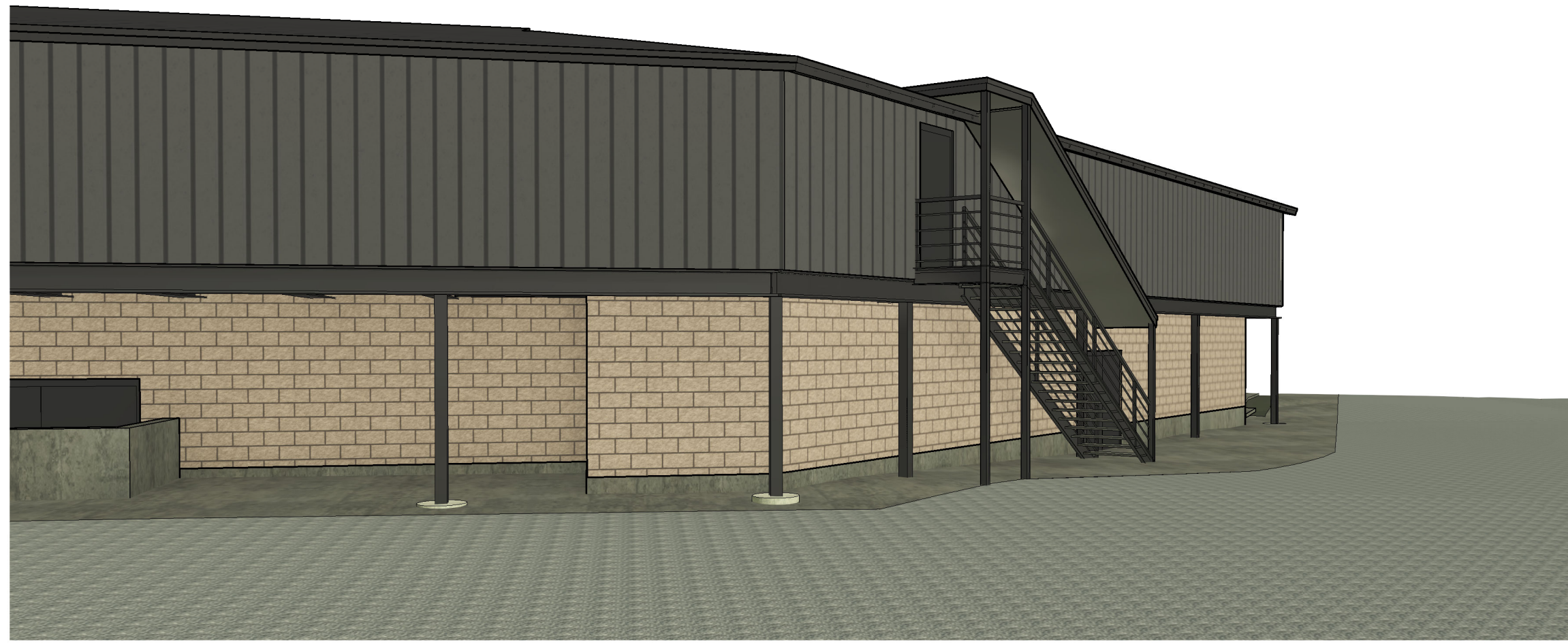
PRINT DATE: 1/4/2024 9:56:08 AM



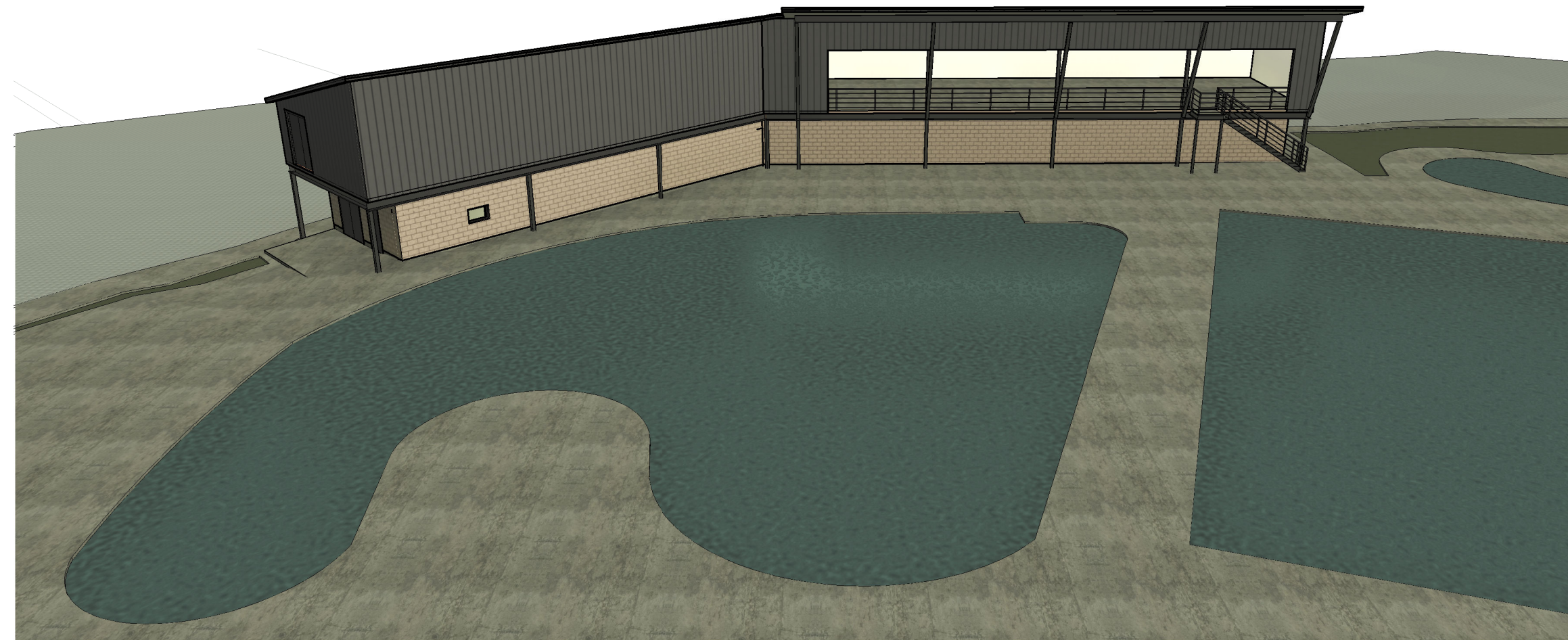
3-D VIEW **A**
SCALE: A-204



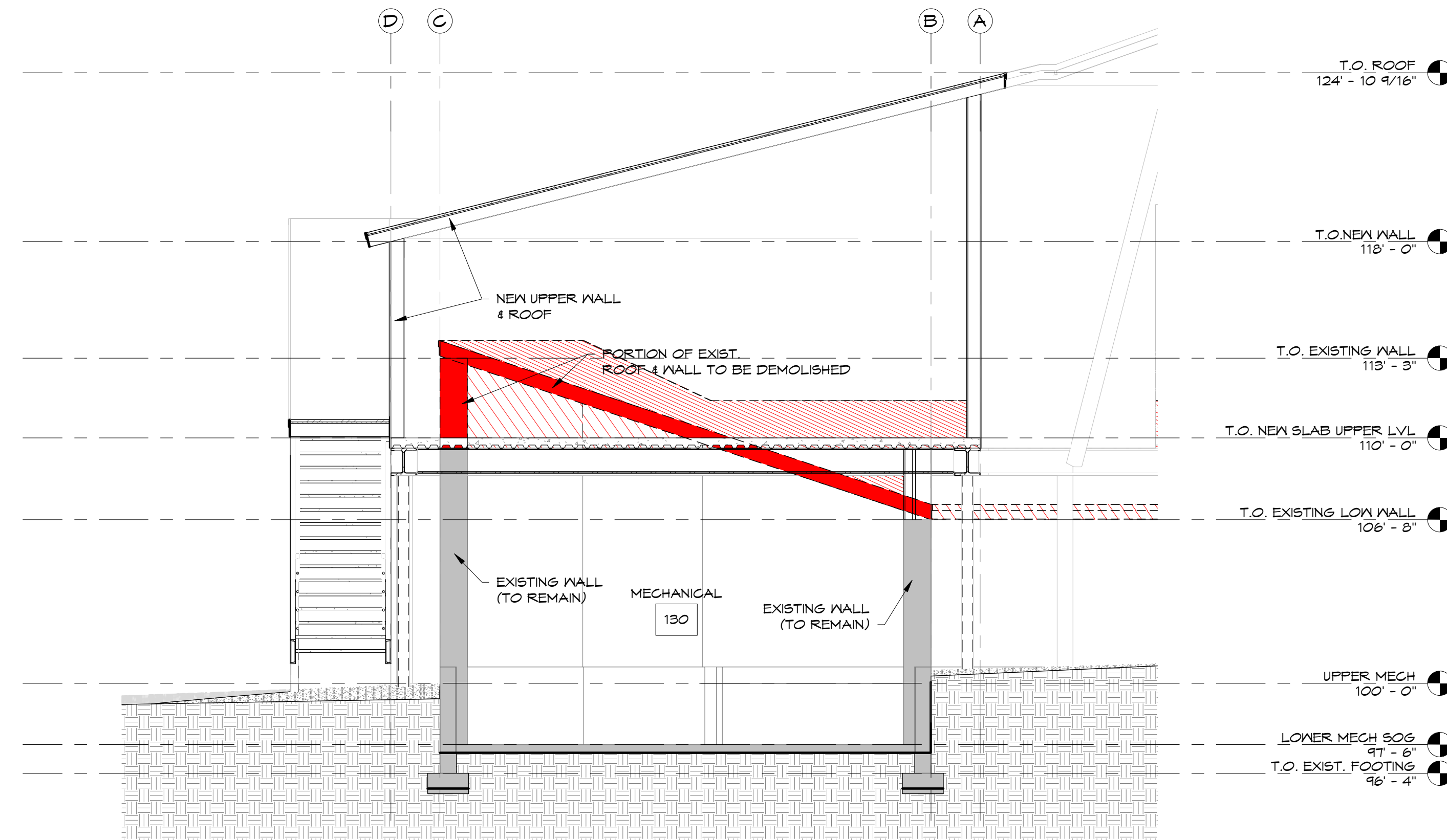
3-D VIEW **B**
SCALE: A-204



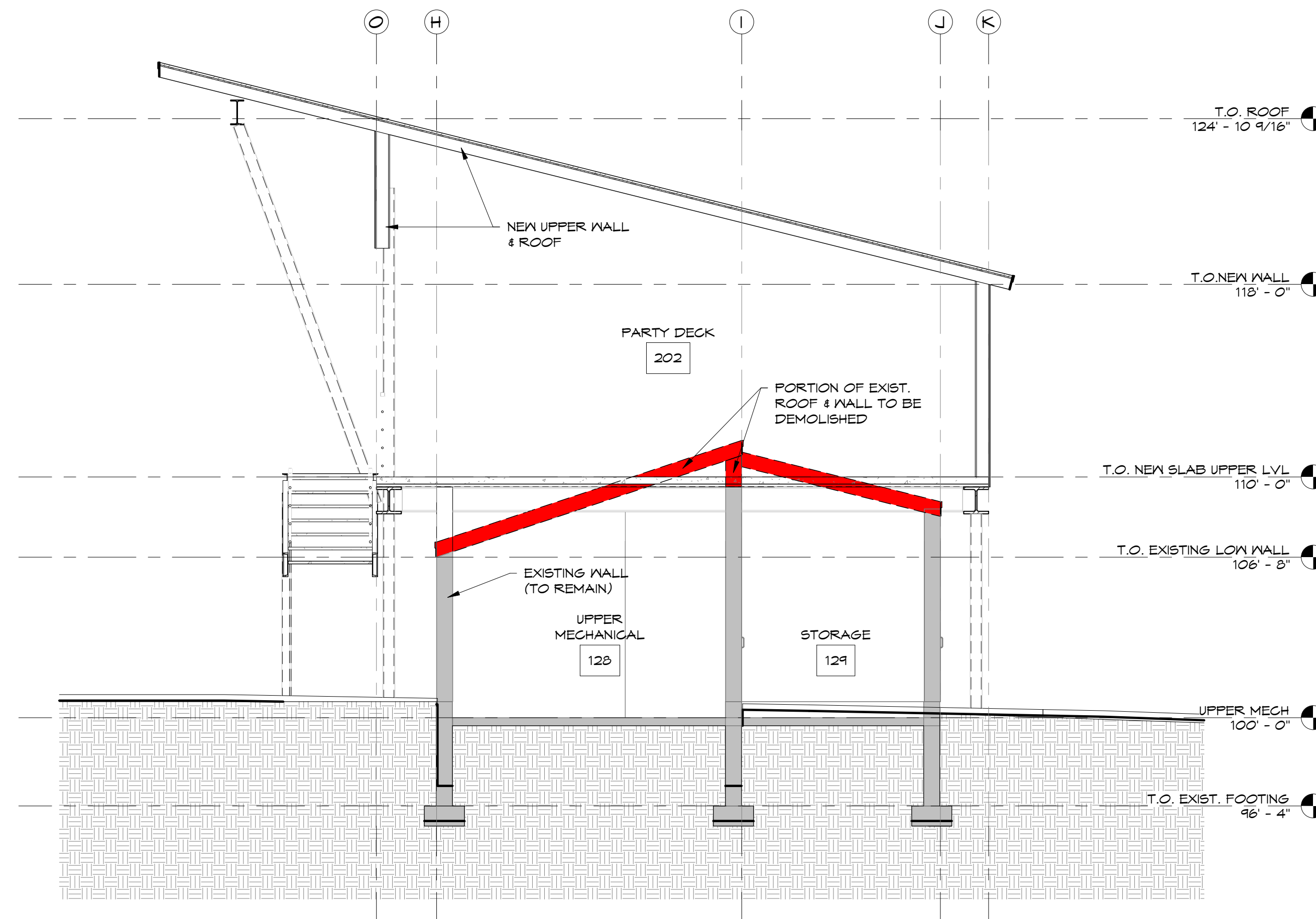
3-D VIEW **C**
SCALE: A-204



3-D VIEW **D**
SCALE: A-204



BUILDING SECTION A
SCALE: 1/4" = 1'-0"
A-301



BUILDING SECTION B
SCALE: 1/4" = 1'-0"
A-301



REYNOLDS ASH + ASSOCIATES
ARCHITECTURE
ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2**
OURAY, COLORADO 81427

JOB. NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-301
BUILDING SECTIONS



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE
ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200
P.O. BOX 36
PAGOSA SPRINGS, CO 81447

RA-AE-COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RAVA ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427

JOB NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

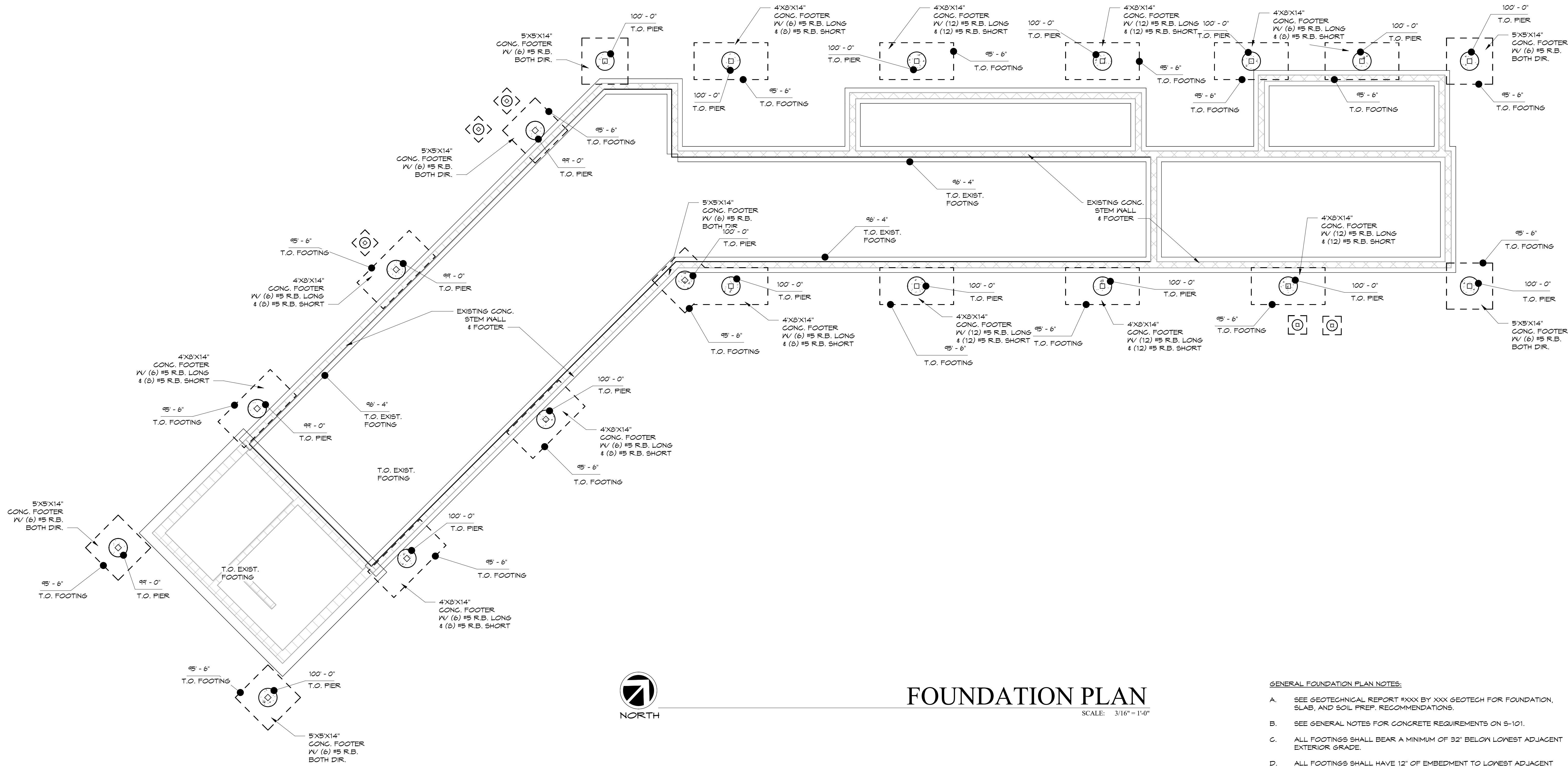
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-201

FOUNDATION PLAN

PRINT DATE: 1/4/2024 10:00:17 AM



FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

GENERAL FOUNDATION PLAN NOTES:

- A. SEE GEOTECHNICAL REPORT #XXX BY XXX GEOTECH FOR FOUNDATION, SLAB, AND SOIL PREP. RECOMMENDATIONS.
- B. SEE GENERAL NOTES FOR CONCRETE REQUIREMENTS ON S-101.
- C. ALL FOOTINGS SHALL BEAR A MINIMUM OF 32" BELOW LOWEST ADJACENT EXTERIOR GRADE.
- D. ALL FOOTINGS SHALL HAVE 12" OF EMBEDMENT TO LOWEST ADJACENT GRADE.
- E. DESIGN IS GENERALLY BASED ON BEARING CAPACITY OF XXX PSF PER XXX GEOTECH REPORT NO. XXX. NOTIFY ARCHITECT/ENGINEER IF COMPETENT SOIL IS NOT ENCOUNTERED.
- F. WE RECOMMEND THAT THE GEOTECHNICAL ENGINEER OR A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER OBSERVE THE FOUNDATION EXCAVATIONS PRIOR TO PLACEMENT OF THE FOUNDATION REINFORCEMENT AND CONCRETE. THIS OBSERVATION IS TO ASSESS WHETHER THE EXPOSED BEARING STRATUM IS SIMILAR TO THAT ANTICIPATED FOR FOUNDATION SUPPORT. ANY LOOSE, SOFT, OR DISTURBED MATERIAL SHOULD BE UNDERCUT TO A SUITABLE BEARING SUBGRADE.
- G. CONTRACTOR TO VERIFY THAT SUBGRADE IS EXCAVATED TO NATIVE MATERIAL AND NO EXPANSIVE OR LOW STRENGTH SOILS ARE ENCOUNTERED.
- H. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS AND FOUNDATION ELEVATIONS PRIOR TO START OF WORK AND SHALL NOTIFY A/E OF ANY DISCREPANCIES.
- I. IF REQUIRED, CONTRACTOR TO INSTALL PASSIVE RADON SYSTEM IN CRAWL SPACES, PROVIDE 3 MIL. PLASTIC OVER UNDISTURBED SOIL AND GLUE TO STEM WALLS. PROVIDE 8" OF 4" PERFORATED PIPE BELOW PLASTIC WITH 4" SOLID PIPE VENTED TO ROOF (SEE S-101).
- J. ALL FOOTINGS SHALL BE OVER-EXCAVATED BY XX". SCARIFY & RECOMPACT NATIVE SOIL AT BOTTOM OF EXCAVATION BEFORE PLACING XX" OF COMPACTED STRUCTURAL FILL.



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200
P.O. BOX 36
PAGOSA SPRINGS, CO 81447

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RAVA ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427

JOB NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

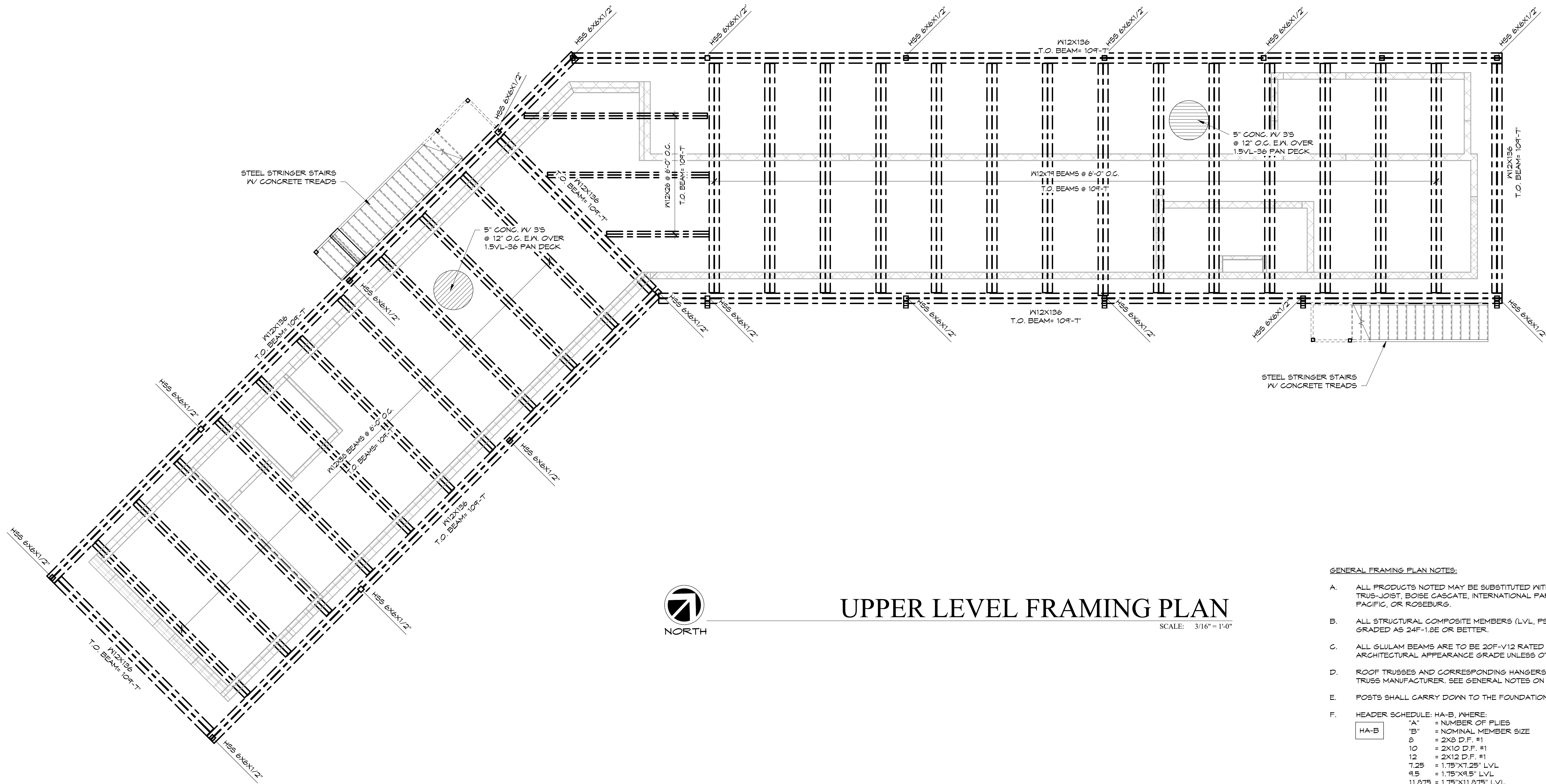
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-301

UPPER LEVEL FRAMING PLAN

PRINT DATE: 1/4/2024 10:00:20 AM



NORTH

UPPER LEVEL FRAMING PLAN

SCALE: 3/16" = 1'-0"

LEDGER SCHEDULE	
No.	DESCRIPTION

GENERAL FRAMING PLAN NOTES:

- ALL PRODUCTS NOTED MAY BE SUBSTITUTED WITH EQUAL PRODUCTS BY TRUS-JOIST, BOISE CASCATE, INTERNATIONAL PAPER, OR LOUISIANA PAFIFIC, OR ROSEBURG.
- ALL STRUCTURAL COMPOSITE MEMBERS (LVL, PSL, ETC...) SHALL BE GRADED AS 24F-1.8E OR BETTER.
- ALL GLULAM BEAMS ARE TO BE 20F-V12 RATED (ALASKAN YELLOW) AND ARCHITECTURAL APPEARANCE GRADE UNLESS OTHERWISE NOTED.
- ROOF TRUSSES AND CORRESPONDING HANGERS SHALL BE SIZED BY TRUSS MANUFACTURER. SEE GENERAL NOTES ON S-101.
- POSTS SHALL CARRY DOWN TO THE FOUNDATION.
- HEADER SCHEDULE: HA-B, WHERE:

HA-B	"A" = NUMBER OF PLYS	"B" = NOMINAL MEMBER SIZE
8	= 2X8 D.F. #1	
10	= 2X10 D.F. #1	
12	= 2X12 D.F. #1	
1.25	= 1.75"X1.25" LVL	
1.5	= 1.75"X1.5" LVL	
1.75	= 1.75"X1.75" LVL	
1.875	= 1.75"X1.875" LVL	
1.4	= 1.75"X1.4" LVL	
- POST SCHEDULE: PAB, WHERE:

"A"	= NUMBER OF JACK OR CRIPPLE STUDS
"B"	= NOMINAL KING STUDS
ALL POSTS NOT OTHERWISE NOTED ARE P21	
P44	= 4X4 TIMBER
P66	= 6X6 TIMBER
P88	= 8X8 TIMBER
P1010	= 10X10 TIMBER
5.25X5.25	= 5.25"X5.25" 1.8E PSL COLUMN
5.25X7.00	= 5.25"X7.00" 1.8E PSL COLUMN
- ALL HEADERS IN BEARING AND EXTERIOR WALLS NOT OTHERWISE NOTED SHALL BE (2) 2X8'S.
- WHERE BEAMS/HEADERS ARE NOTED AS "FLUSH", PLACE TOP OF BEAM FLUSH WITH TOP OF JOISTS, AND HANG JOISTS FROM BEAM WHERE APPLICABLE.
- FRAMING PLAN ELEVATIONS ARE TO TOP OF BEAM UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES ON S-101 FOR SHEATHING CONNECTION REQUIREMENTS.
- STUDS THAT EXCEED 13' HEIGHT SHALL BE STRUCTURAL COMPOSITE STUDS.



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AL.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RAA ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONST.

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 2
OURAY, COLORADO 81427

JOB. NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

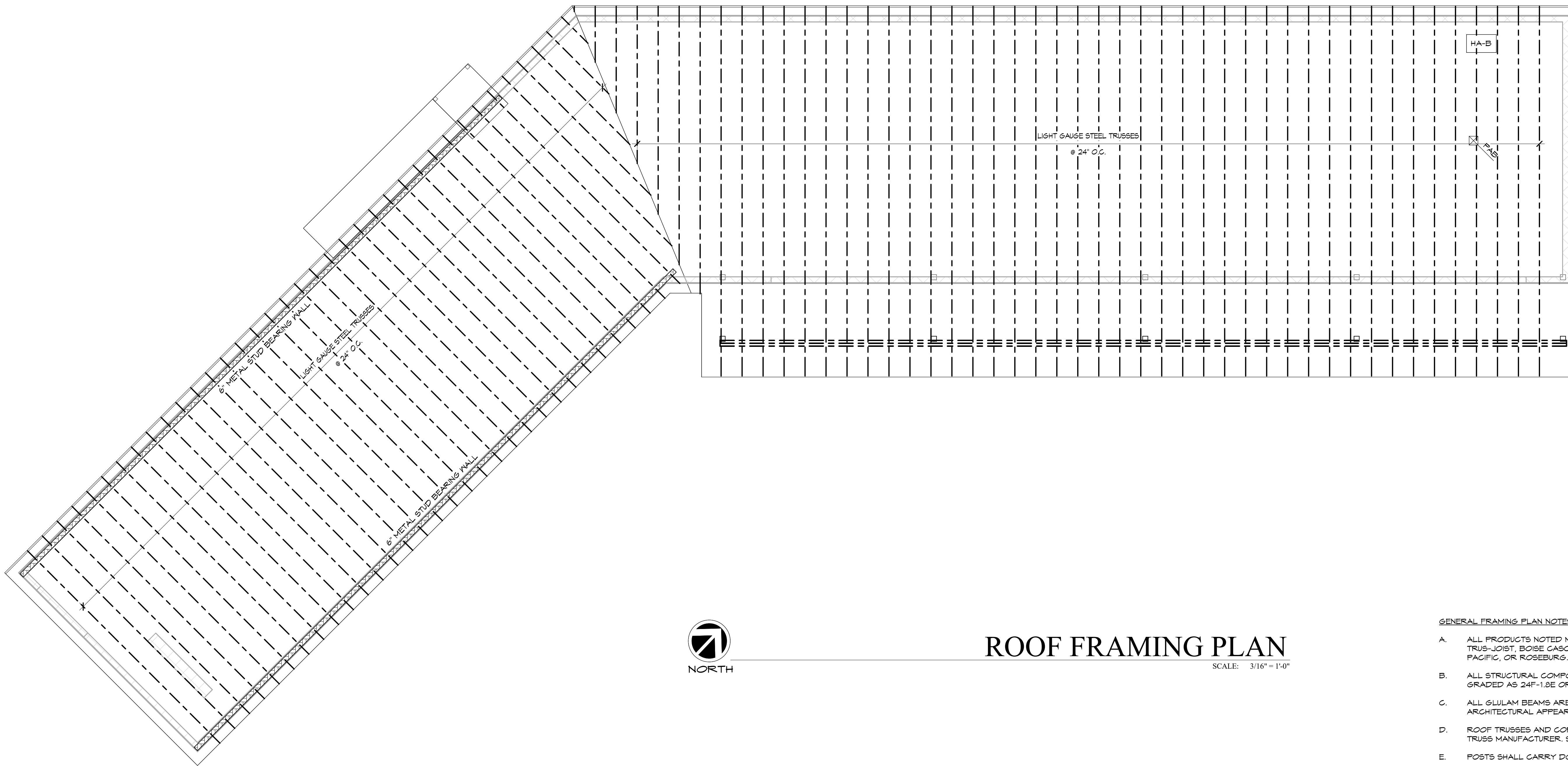
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-302

ROOF LEVEL FRAMING PLAN

PRINT DATE: 1/4/2024 10:00:21 AM



NORTH

ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"

GENERAL FRAMING PLAN NOTES:

- A. ALL PRODUCTS NOTED MAY BE SUBSTITUTED WITH EQUAL PRODUCTS BY TRUS-JOIST, BOISE CASCATE, INTERNATIONAL PAPER, OR LOUISIANA PACIFIC, OR ROSEBURG.
- B. ALL STRUCTURAL COMPOSITE MEMBERS (LVL, PSL, ETC...) SHALL BE GRADED AS 24F-1.8E OR BETTER.
- C. ALL GLULAM BEAMS ARE TO BE 20F-V12 RATED (ALASKAN YELLOW) AND ARCHITECTURAL APPEARANCE GRADE UNLESS OTHERWISE NOTED.
- D. ROOF TRUSSES AND CORRESPONDING HANGERS SHALL BE SIZED BY TRUSS MANUFACTURER. SEE GENERAL NOTES ON S-101.
- E. POSTS SHALL CARRY DOWN TO THE FOUNDATION.
- F. HEADER SCHEDULE: HA-B, WHERE:
 "A" = NUMBER OF PLYS
 "B" = NOMINAL MEMBER SIZE
 8 = 2X8 D.F. #1
 10 = 2X10 D.F. #1
 12 = 2X12 D.F. #1
 1.25 = 1.75"X1.25" LVL
 9.5 = 1.75"X9.5" LVL
 11.875 = 1.75"X11.875" LVL
 14 = 1.75"X14" LVL
- G. POST SCHEDULE: PAB, WHERE:
 "A" = NUMBER OF JACK OR CRIPPLE STUDS
 "B" = NOMINAL KING STUDS
 ALL POSTS NOT OTHERWISE NOTED ARE P21
 P44 = 4X4 TIMBER
 P66 = 6X6 TIMBER
 P88 = 8X8 TIMBER
 P1010 = 10X10 TIMBER
 5.25X5.25 = 5.25"X5.25" 1.8E PSL COLUMN
 5.25X1.00 = 5.25"X1.00" 1.8E PSL COLUMN
- H. ALL HEADERS IN BEARING AND EXTERIOR WALLS NOT OTHERWISE NOTED SHALL BE (2) 2X8'S.
- I. WHERE BEAMS/HEADERS ARE NOTED AS "FLUSH", PLACE TOP OF BEAM FLUSH WITH TOP OF JOISTS, AND HANG JOISTS FROM BEAM WHERE APPLICABLE.
- J. FRAMING PLAN ELEVATIONS ARE TO TOP OF BEAM UNLESS OTHERWISE NOTED.
- K. SEE GENERAL NOTES ON S-101 FOR SHEATHING CONNECTION REQUIREMENTS.
- L. STUDS THAT EXCEED 13' HEIGHT SHALL BE STRUCTURAL COMPOSITE STUDS.

LEDGER SCHEDULE

No.	DESCRIPTION

SITE VICINITY MAP



PROJECT DATA

SITE ZONING	P-1
SITE AREA	5.35 ACRE
GROSS FLOOR AREAS	
MAIN LEVEL (EXISTING)	2818 S.F.
UPPER LEVEL MECH. (NEW)	1548 S.F.
PARTY DECK (NEW)	2296 S.F.
OCCUPANCY GROUP:	S-1/A
CONSTRUCTION TYPE:	II-B

OURAY HOT SPRINGS POOL MECHANICAL BUILDING OPTION 3 1220 MAIN ST OURAY, COLORADO 81427



REYNOLDS ASH + ASSOCIATES
1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492
202 PAGOSA STREET, STE. 200
P.O. BOX 96
PAGOSA SPRINGS, CO 81447
RAA@COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO THE USE OF FEDERAL LAW. PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA ARCHITECTS, P.C.

ABBREVIATIONS

AB. ANCHOR BOLT	I.D. INSIDE DIAMETER
ACT. ANCOUSTICAL CEILING TILE	INSUL. INSULATION
A.F.F. ABOVE FINISHED FLOOR	INT. INTERIOR
AGGR. AGGREGATE	JAN. JANITOR
AL. ALUMINUM	JNT. JOINT
ALT. ALTERNATE	JST. JOIST
APPROX. APPROXIMATE	KIT. KITCHEN
ARCH. ARCHITECTURAL	LAB. LABORATORY
BD. BOARD	LAM. LAMINATE
BLDG. BUILDING	LAV. LAVATORY
BLK. BLOCK	LT. LIGHT
BLK'G. BLOCKING	MAX. MAXIMUM
BM. BEAM	MECH. MECHANICAL
BOT. BOTTOM	MEMB. MEMBRANE
BTWN. BETWEEN	MFR. MANUFACTURER
B.U.R. BUILT UP ROOFING	M.H. MANHOLE
B.W. BOTH	MIN. MINIMUM
C.J. CONTROL JT.	MISC. MISCELLANEOUS
CLG. CEILING	M.O. MASONRY OPENING
CLKG. CAULKING	MTL. METAL
CLR. CLEAR	MUL. MULLION
C.M.U. CONCRETE MASONRY UNIT	N. NORTH
COL. COLUMN	N.I.C. NOT IN CONTRACT
CONC. CONCRETE	NO. NUMBER
CONN. CONNECTION	NOM. NOMINAL
CONSTR. CONSTRUCTION	N.T.S. NOT TO SCALE
CONT. CONTINUOUS	
C.T. CERAMIC TILE	
C.O.A. CENTER OF ARCH	
DES. DEGREE	O.C. ON CENTER
DET./DTL. DETAIL	O.D. OUTSIDE DIAMETER
D.F. DRINKING FOUNTAIN	OH. OVERHEAD
DIAG. DIAGONAL	OPG. OPENING
DIA. DIAMETER	OPP. OPPOSITE
DN. DOWN	PCT. PRE-CAST
DWS. DRAINAGE	P.L. PROPERTY LINE
E. EAST	P.LAM. PLASTIC LAMINATE
(E) EXISTING	PLAS. PLASTER
EA. EACH	PLYND. PLYWOOD
E.J. EXPANSION JOINT	FR. FAIR
E.L.F.S. EXTERIOR INSULATION AND FINISH SYSTEM	Q.T. QUARRY TILE
EL./ELEV. ELEVATION	R. RISER
ELEC. ELECTRICAL	R.D. ROOF DRAIN
ELEV. ELEVATION	RE. REFER TO ...
EMER. EMERGENCY	REFR. REFRIGERATOR
ENCL. ENCLOSURE	REINF. REINFORCED
EQ. EQUAL	REQD. REQUIRED
EQUIP. EQUIPMENT	RM. ROOM
E.W. EACH WAY	R.O. ROUGH OPENING
E.W.C. ELECTRIC WATER COOLER	S. SOUTH
EXP. EXPANSION	S.C. SOLID CORE
EXT. EXTERIOR	S.C. SCHEDULE
F.A. FIRE ALARM	SECT. SECTION
F.D. FLOOR DRAIN	S.F. SQUARE FOOT
F.D.C. FIRE DEPARTMENT CONNECTION	SHT. SHEET
FDN. FOUNDATION	SIM. SIMILAR
F.E. FIRE EXTINGUISHER	S.P. SPRING POINT
F.E.C. FIRE EXTINGUISHER CABINET	SPEC. SPECIFICATION
F.F. FINISH FLOOR	SQ. OR SQUARE
F.H.C. FIRE HOSE CABINET	S.S. STAINLESS STEEL
FIN. FINISH	SEE STRUCTURAL DRAWINGS
F.L. FLOW LINE	S.D. STAGGERED
FLR. FLOOR	STD. STANDARD
FLUOR. FLUORESCENT	STIFF STIFFENER
FND. FOUNDATION	STL. STEEL
F.O.B. FACE OF BRICK	STRUC. STRUCTURAL
F.O.C. FACE OF CONCRETE	SUSP. SUSPENDED
F.S. FULL SIZE	TR. TREAD
FT. FOOT OR FEET	T & B TOP AND BOTTOM
FTG. FOOTING	TER. TERRAZZO
FURR. FURRING	T & G TONGUE & GROOVE
GA. GAUGE	THK. THICK
GALV. GALVANIZED	T.O. TOP OF
G.C. GENERAL CONTRACTOR	T.S. TUBE STEEL
G.L. GLASS	TYP. TYPICAL
GR. GRADE	UNO. UNLESS NOTED OTHERWISE
GR. GRADE	V.G.T. VINYL COMPOSITION TILE
GYP. GYPSUM	VER. VERIFY
GYP. BD. GYPSUM BOARD	VERT. VERTICAL
H.B. HOSE BIBB	W. WEST
H.C. HOLLOW CORE	W. WITH
H/C. HANDICAPPED	W.C. WATER CLOSET
HDND. HARDWOOD	WD. WOOD
HDNE. HARDWARE	W/O. WITHOUT
H.M. HOLLOW METAL	W/O CENTERLINE
HORIZ. HORIZONTAL	
HR. HOUR	
HT. HEIGHT	
HVAC. HEATING, VENTILATION AND AIR CONDITIONING	

PROJECT DIRECTORY

DEVELOPER:
CITY OF OURAY
360 6TH AVE.
P.O. BOX 468
OURAY, CO 81427

ARCHITECT/ STRUCTURAL ENGINEER:
REYNOLDS ASH + ASSOCIATES
TRACY REYNOLDS
564 E 2ND AVE, SUITE 201
DURANGO, CO 81301
(970) 259-9474

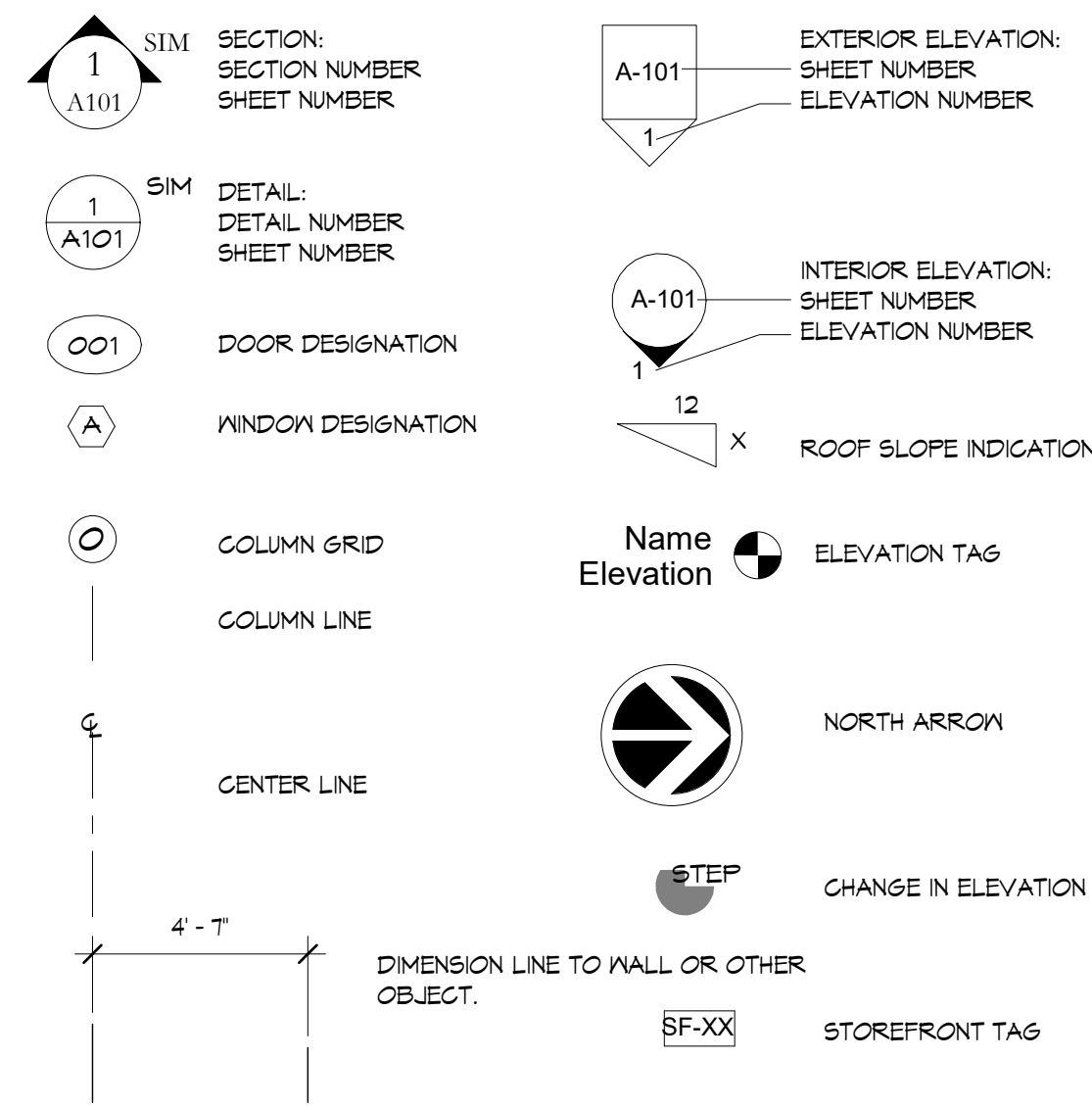
MEP ENGINEER:
ME4E ENGINEERING
DUSTIN SULLIVAN
572 E 3RD AVE, SUITE A
DURANGO, CO 81301
(970) 395-1570

GENERAL NOTES:

- I. APPLICABLE CODES:
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 NATIONAL ELECTRIC CODE
- II. GENERAL/CONTRACT REQUIREMENTS:
A. SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
B. ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY THE OWNER.
C. SUBCONTRACTOR MUST COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.
D. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES WORKING SIMULTANEOUSLY OR FOLLOWING THEM.
E. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
- III. PROJECT LAYOUT REQUIREMENTS:
A. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE DRAWINGS.
B. DIMENSIONING IS AS FOLLOWS, UNLESS OTHERWISE NOTED:
CENTERLINE OF COLUMNS
FACE OF CONCRETE
FACE OF MASONRY
EXTERIOR FACE OF STUD AT EXTERIOR WALLS
FACE OF STUD AT INTERIOR STUD WALLS
CENTER OF WINDOW AND DOOR OPENINGS
C. ALL FINISH FLOOR ELEVATIONS ARE TO TOP OF SLAB OR TOP OF SHEATHING, U.N.O.
D. ALL STEPS SHALL HAVE 1" MAXIMUM RISERS AND 11" MINIMUM TREADS U.N.O OR SPECIFIED DIFFERENTLY ON THE DRAWINGS.
E. ALL INTERIOR FEATURES SHOWN ARE CONCEPTUAL. VERIFY SHAPE, HEIGHT, AND DISTANCE OFF FINISH FLOOR WITH OWNER AND ARCHITECT AT CONSTRUCTION PHASE.
- IV. LIFE SAFETY REQUIREMENTS:
A. SAFETY GLAZING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
GLAZING IN SWINGING DOORS
GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS
GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, BATHTUBS, HOT TUBS, WIRLPOOLS, ETC.
GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF A DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
GLAZING MEETING ALL OF THE FOLLOWING:
1. EXPOSED AREA, 9 S.F.
2. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
3. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
GLAZING IN GUARDRAILS AND RAILINGS.
GLAZING ADJACENT TO STAIRWAYS OR RAMPS.
- V. PROJECT CONSTRUCTION REQUIREMENTS:
A. ALL FRAMED WALLS SHALL HAVE AN EXTERIOR MOISTURE BARRIER AS FOLLOWS:
TYVEK OR EQUAL AT WOOD SIDING OR HARDI-PLANK SIDING
ONE LAYER 30# FELT AT MASONRY VENEER
TWO LAYERS 15# FELT AT STUCCO
B. ALL WINDOWS SHALL BE FLASHED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS
C. AT MASONRY VENEER, PROVIDE FLEXIBLE MEMBRANE FLASHING AT THE BASE OF ALL WALLS AND AT WINDOW AND DOOR HEADS. PROVIDE PVG KEEPS AT 24 INCHES O.C. DIRECTLY ABOVE THE FLASHING.
VI. PROJECT WORKMANSHIP:
A. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
B. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
C. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE SUBCONTRACTOR.
D. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK.
E. SUBCONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE SWEEP CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
F. PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.

PROGRESS SET
NOT FOR CONSTRUCTION

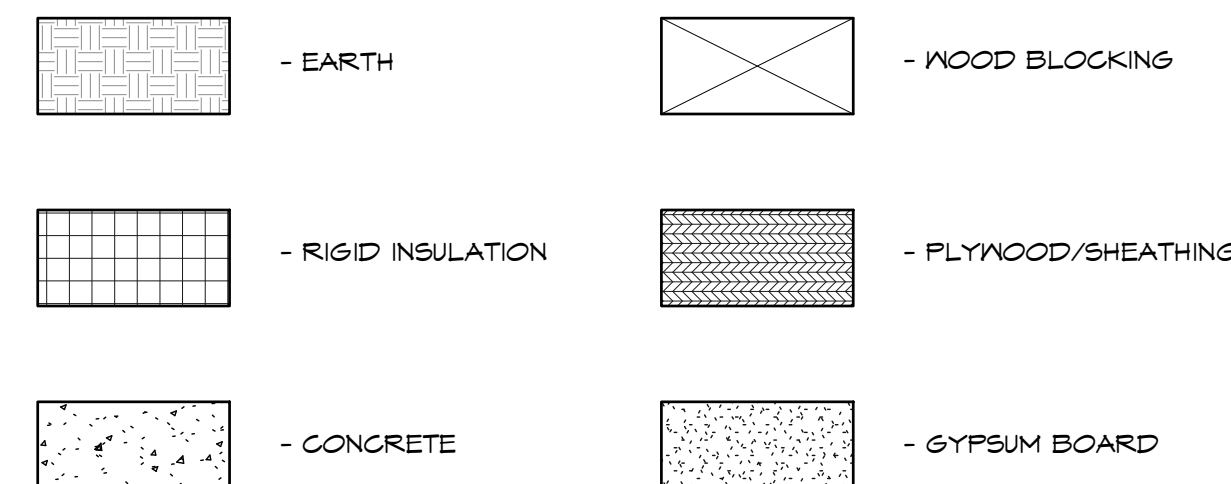
ARCHITECTURAL SYMBOLS



DRAWING INDEX

GENERAL	G-101 COVER SHEET
SITE	
AS-101	SITE PLAN - OVERALL
ARCHITECTURAL	
D-201	DEMOLITION ELEVATIONS
D-202	DEMOLITION ELEVATIONS
D-203	DEMOLITION ELEVATIONS
A-101	MAIN LEVEL FLOOR PLAN
A-102	UPPER LEVEL FLOOR PLAN
A-103	PROPOSED ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-204	3-D VIEWS
A-205	3-D VIEW
A-301	BUILDING SECTIONS
STRUCTURAL	
S-201	FOUNDATION PLAN
S-301	UPPER LEVEL FRAMING PLAN
S-302	LOW ROOF FRAMING PLAN
S-303	ROOF LEVEL FRAMING PLAN

MATERIALS LEGEND



OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427

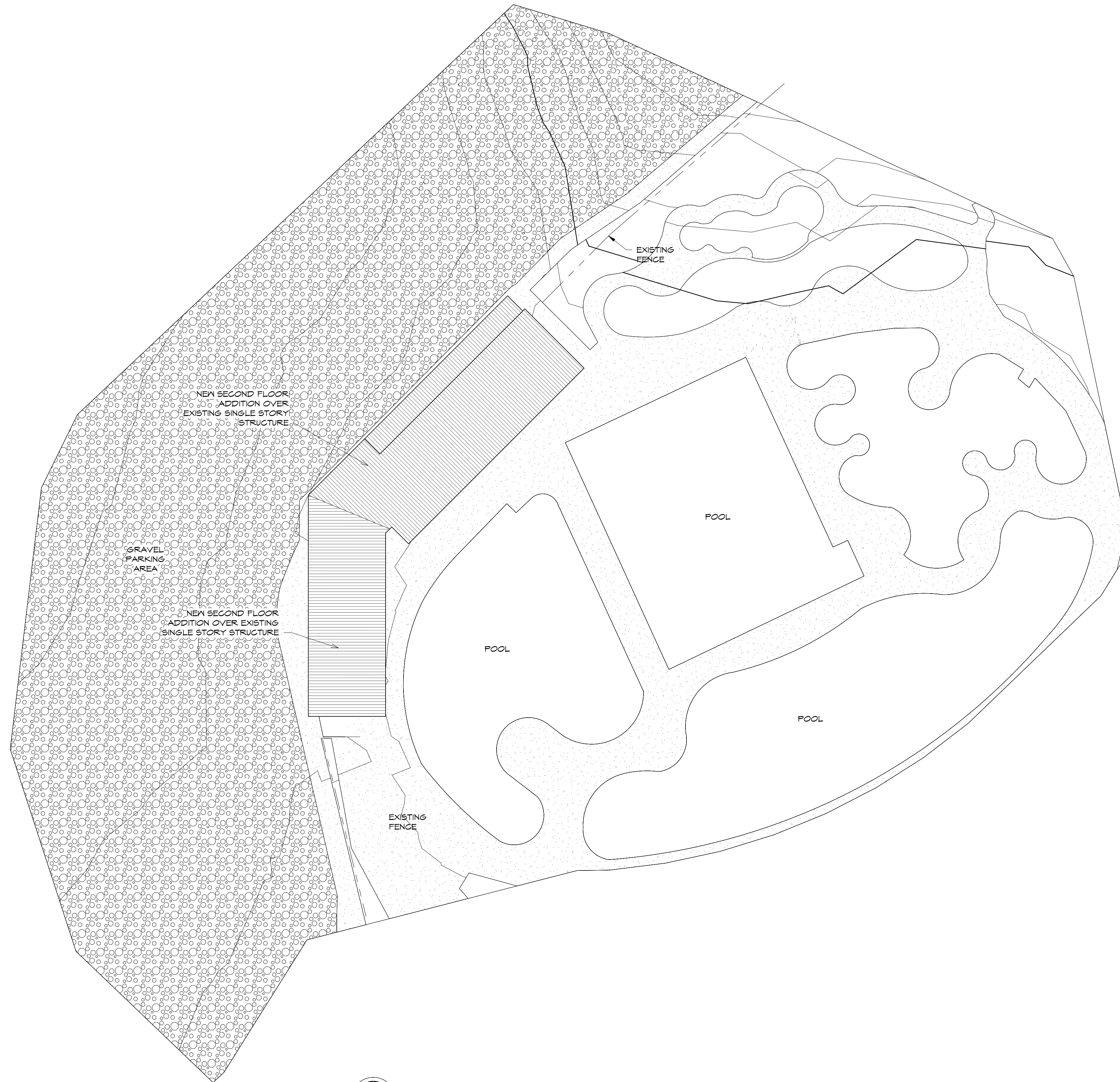
JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

G-101
COVER SHEET

NOTE: Clarify with Architect any abbreviations not listed. Some abbreviations on list may not be used in project.



SITE ZONING:	P-1
SITE AREA:	5.35 ACRE
MINIMUM REQUIRED SETBACKS	AS DETERMINED BY PLANNING COMMISSION
FRONT YARD:	
SIDE YARD:	
REAR YARD:	
HEIGHT REQUIREMENTS	20 FT
BUILDING MAX HEIGHT	
OCCUPANCY GROUP:	S-1, A
CONSTRUCTION TYPE:	II-B
FIRE SPRINKLERED:	NFPA 13

SITE PLAN GENERAL NOTES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- B. CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE INSTALLATION WITH SAN MIGUEL POWER.
- C. CONTRACTOR SHALL VERIFY WATER METER LOCATION. CONTRACTOR IS RESPONSIBLE FOR WATER SERVICE INSTALLATION. OWNER IS RESPONSIBLE FOR TAP FEE.
- D. CONTRACTOR SHALL COORDINATE GAS SERVICE AND METER INSTALLATION.
- E. SEE STRUCTURAL FOR EXCAVATION, STRUCTURAL FILL AND BACKFILL REQUIREMENTS.



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

564 E. AVENUE, SUITE 201
DURANGO, CO 81301
(970) 259-7504
FAX (970) 259-7502

262 PAGOSA STREET, STEL 200
P.O. BOX 96
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF
THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH
THEY WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONST.**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427**

JOB. NO.: 22130
DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
SD PHASE 12-20-2023

REVISIONS:



NORTH

ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"

AS-101

SITE PLAN-
OVERALL



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONST.

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427

JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

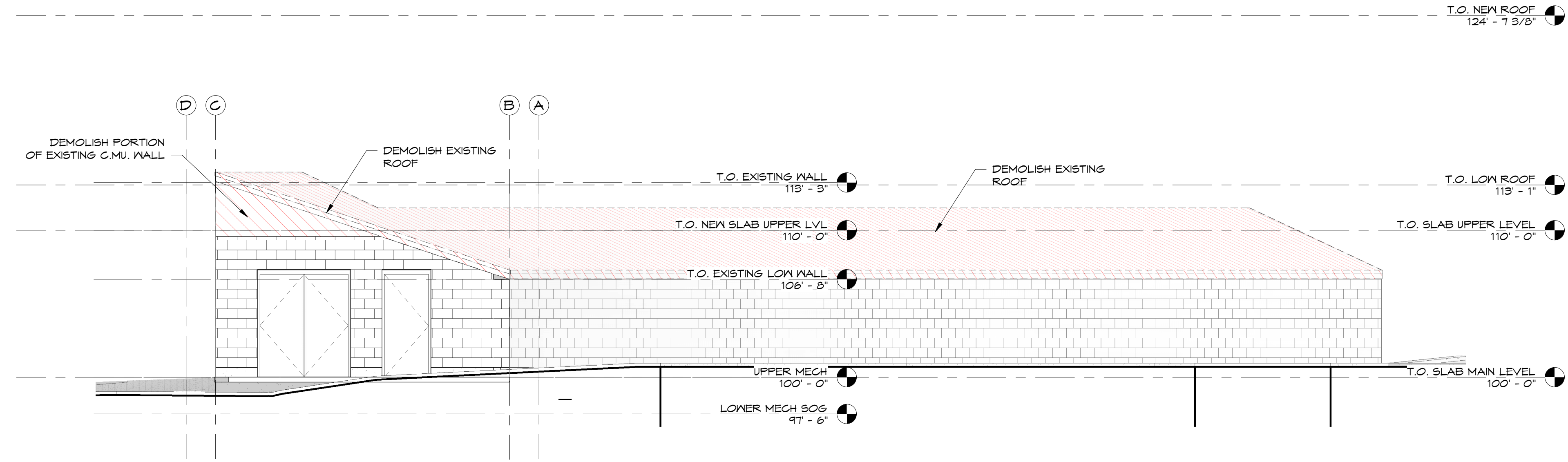
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

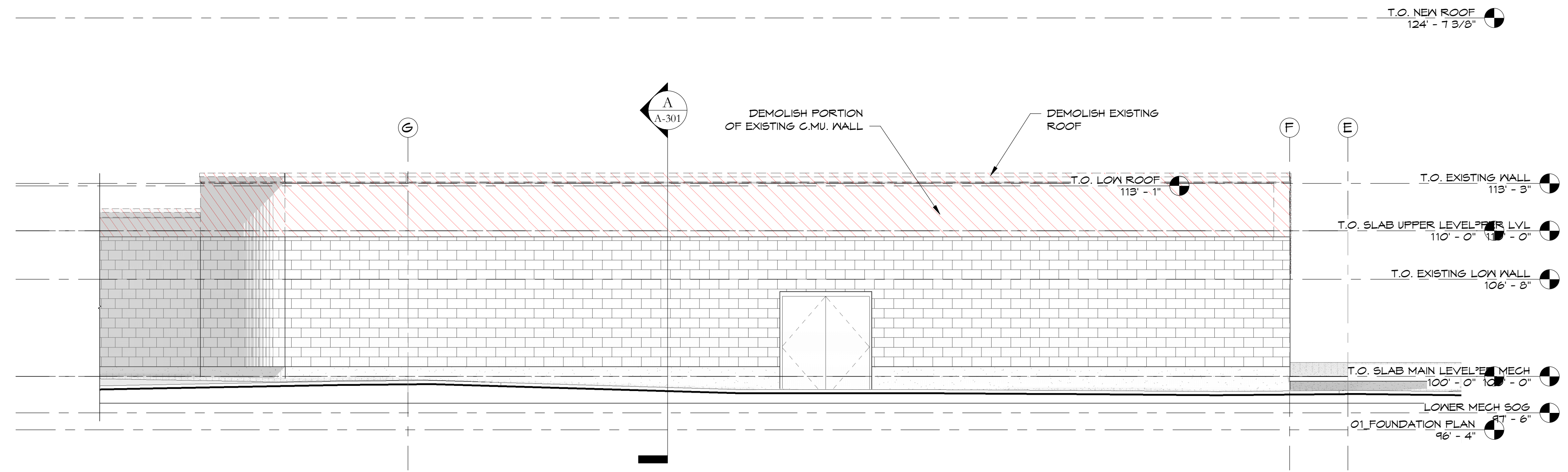
D-201

DEMOLITION ELEVATIONS

PRINT DATE: 1/4/2024 11:15:44 AM



SOUTH - DEMO A
SCALE: 3/16" = 1'-0" D-201



WEST - DEMO B
SCALE: 3/16" = 1'-0" D-201



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81447

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427

JOB. NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

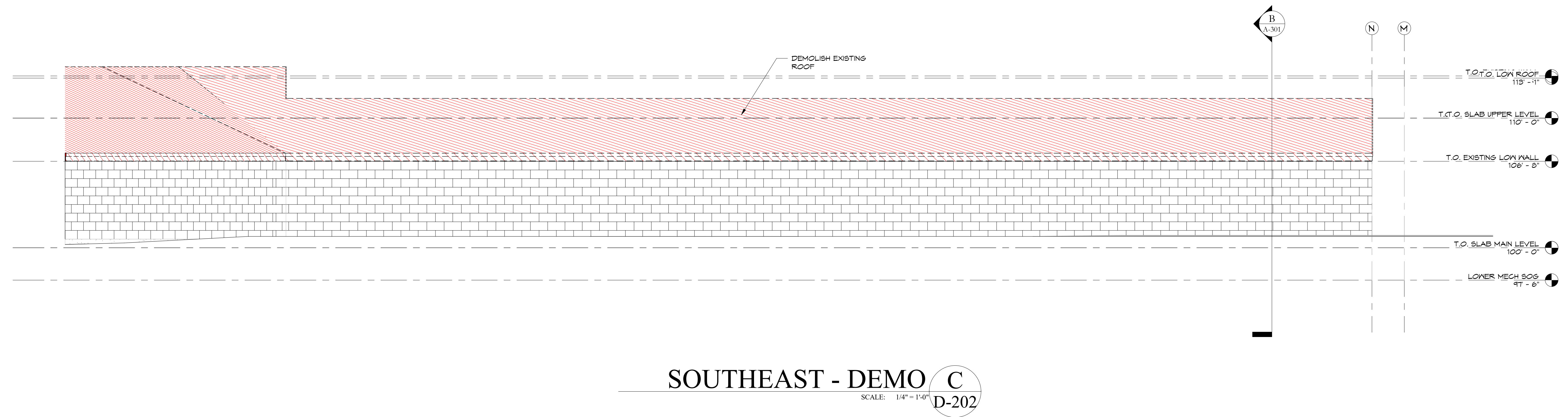
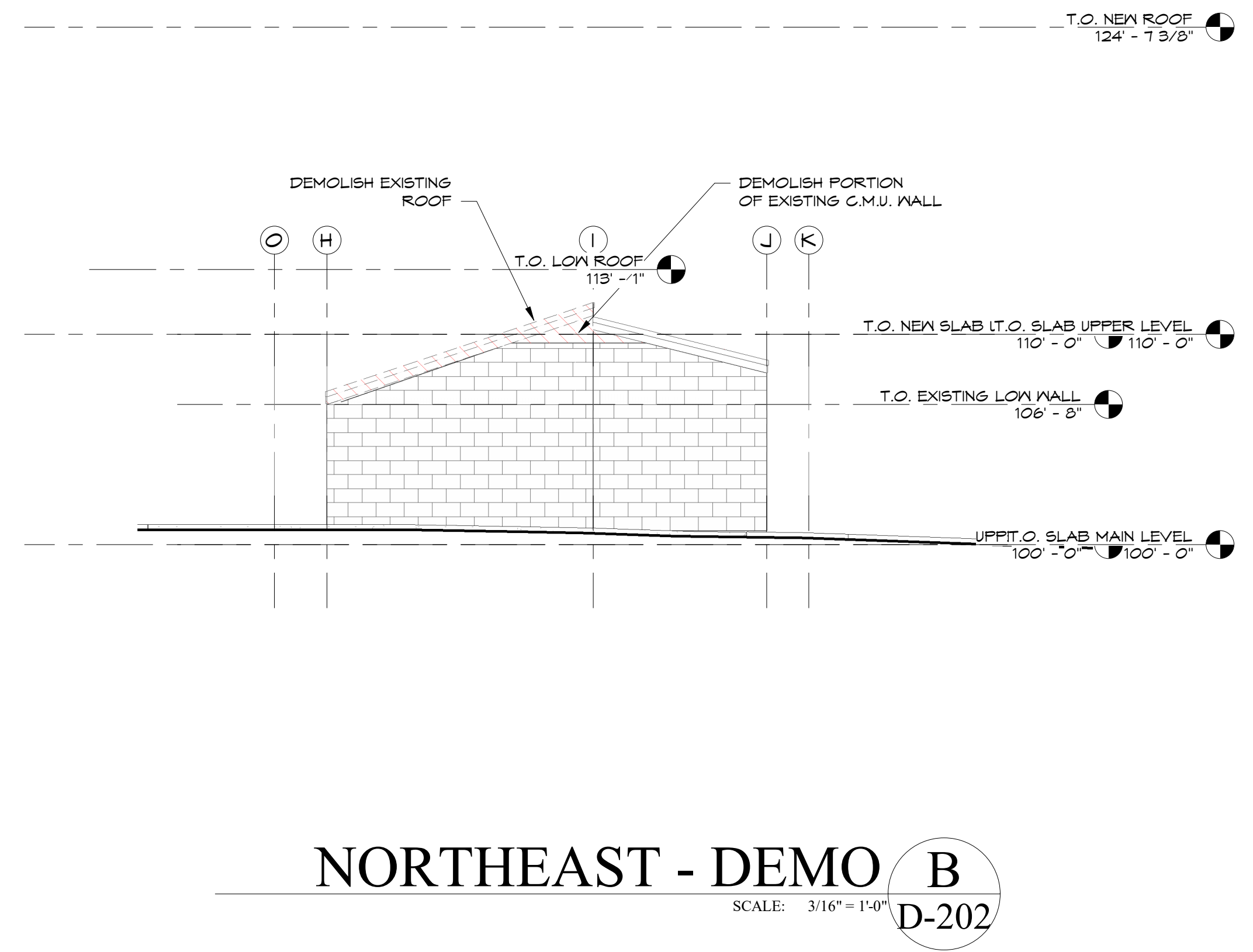
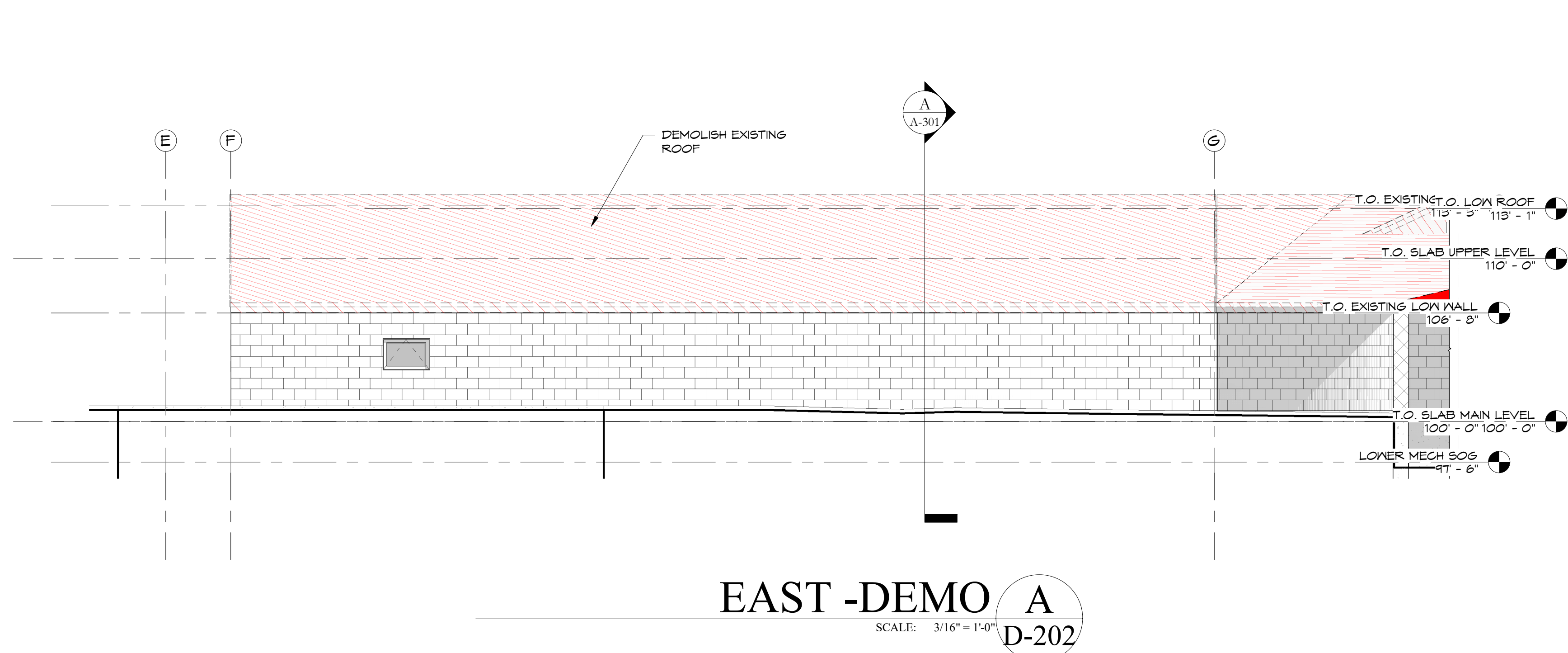
ISSUE RECORD:
2023/12/20 S.D. SET

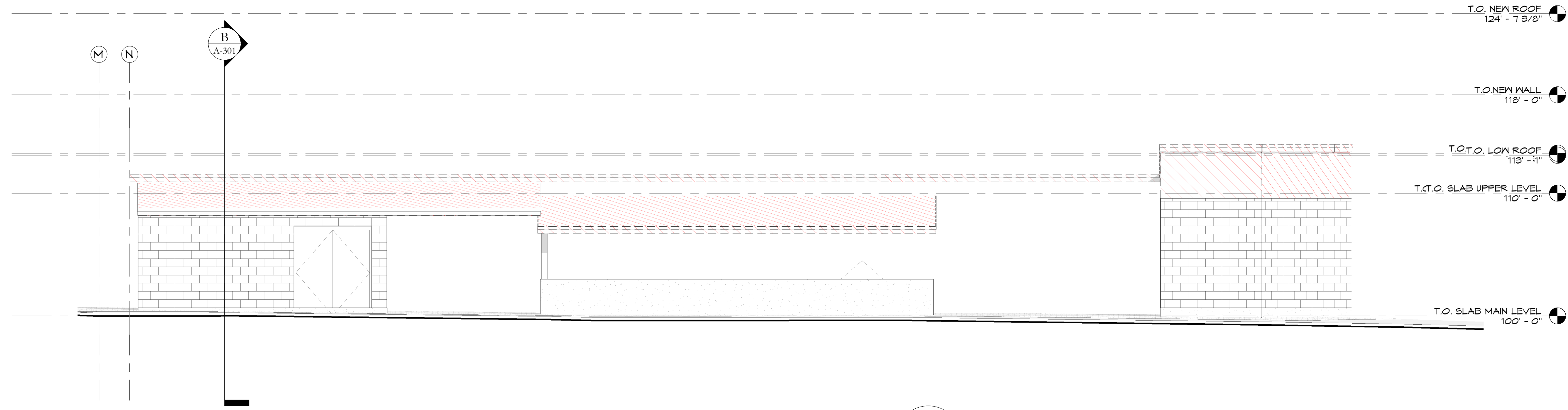
REVISIONS:

D-202

DEMOLITION ELEVATIONS

PRINT DATE: 1/4/2024 11:15:49 AM





NORTHWEST - DEMO A
 SCALE: 3/16" = 1'-0" D-203



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427**

JOB. NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

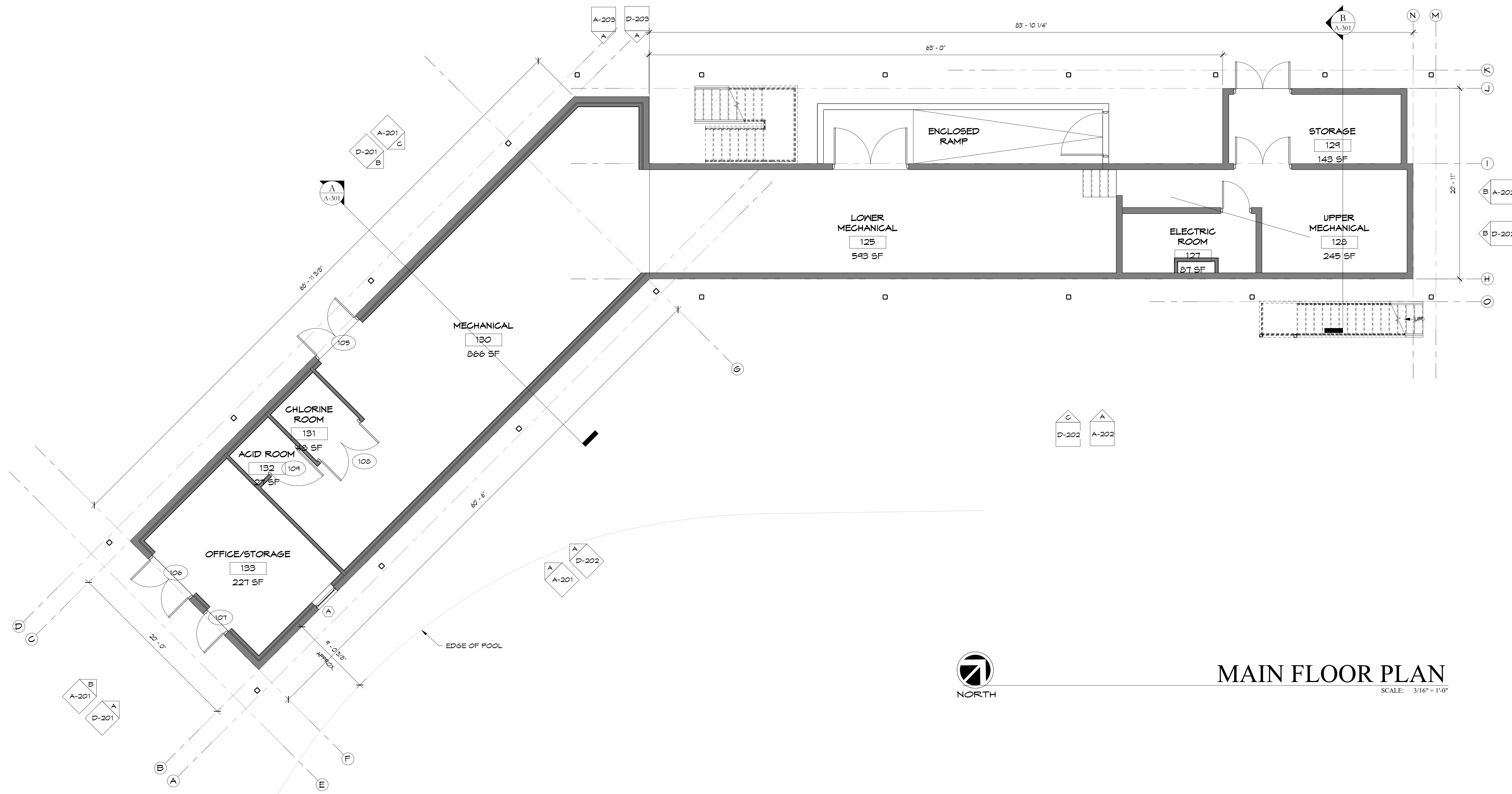
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

D-203

DEMOLITION ELEVATIONS

PRINT DATE: 1/4/2024 11:15:53 AM



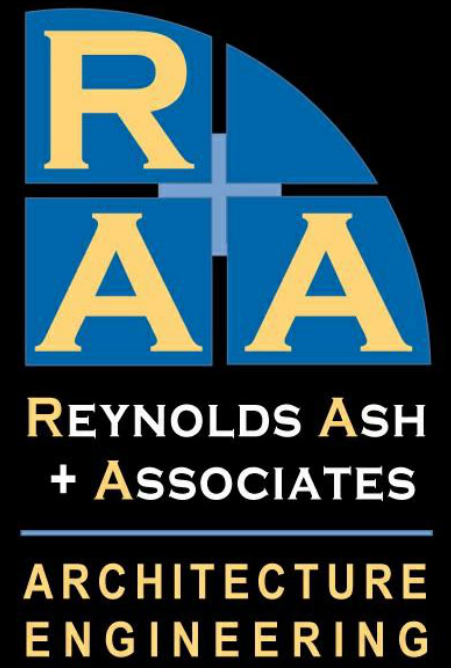
MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

- WALL TYPE LEGEND**
- EXISTING EXTERIOR WALL:
8X16X8 SPLIT FACED (ONE SIDE) CONCRETE BLOCK
FULLY GROUTED
 - EXISTING EXTERIOR WALL:
8X16X8 SPLIT FACED CONCRETE BLOCK
R7.5 / 1 1/2" CONTINUOUS RIGID INSULATION
R13 / 3 5/8" METAL STUDS AT 16" OC / 1/4" BATT
VAPOR BARRIER
5/8" GAB
 - INTERIOR WALL:
5/8" GAB
3 5/8" METAL STUDS AT 16" OC
5/8" GAB
 - CONC. WALL:
8" CAST IN PLACE CONCRETE WALL
 - NEW EXTERIOR WALL:
6" METAL STUD FRAMING
GLASS MAT SHEATHING
CONTINUOUS RIGID INSULATION
METAL PANELS OVER FURRING STRIPS
5/8" GYP BOARD INTERIOR

GROSS SQUARE FOOTAGE

MAIN LEVEL (EXIST.)	2818 SF
UPPER LEVEL MECH. (NEW)	1501 SF
PARTY DECK (NEW)	1418 SF



REYNOLDS ASH + ASSOCIATES
ARCHITECTURE
ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 251-7494
FAX: (970) 251-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE/COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427**

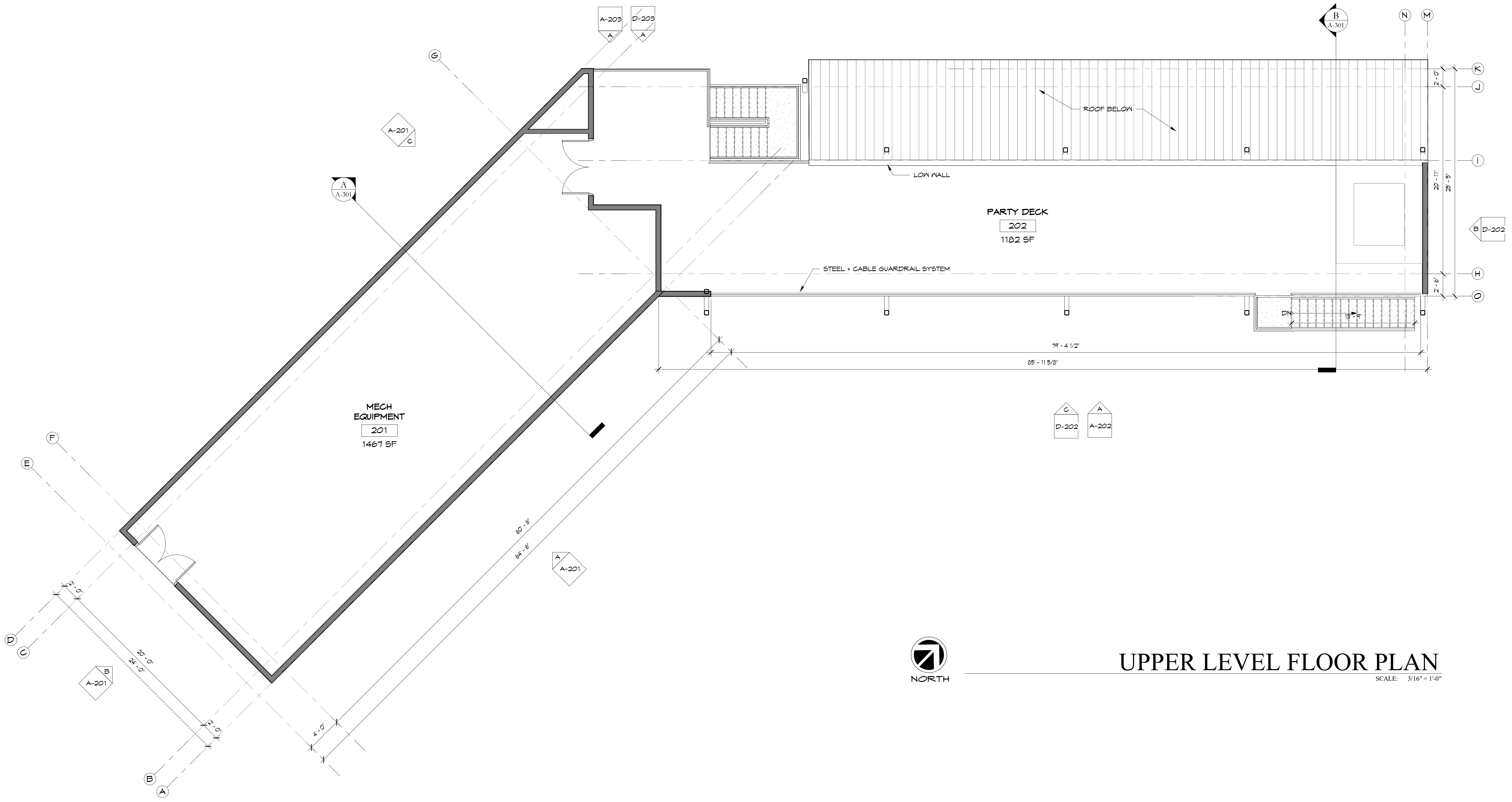
JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-101
MAIN LEVEL FLOOR PLAN

PRINT DATE: 1/4/2024 11:14:48 AM



UPPER LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

WALL TYPE LEGEND

- EXISTING EXTERIOR WALL:
8X16X8 SPLIT FACED (ONE SIDE) CONCRETE BLOCK
FULLY GROUTED
- EXISTING EXTERIOR WALL:
8X16X8 SPLIT FACED CONCRETE BLOCK
R1.5 / 1 1/2" CONTINUOUS RIGID INSULATION
R13 / 3 5/8" METAL STUDS AT 16" OC / M BATT
VAPOR BARRIER
5/8" GMB
- INTERIOR WALL:
5/8" GMB
3 5/8" METAL STUDS AT 16" OC
5/8" GMB
- CONC. WALL:
8" CAST IN PLACE CONCRETE WALL
- NEW EXTERIOR WALL:
6" METAL STUD FRAMING
GLASS MAT SHEATHING
CONTINUOUS RIGID INSULATION
METAL PANELS OVER FURRING STRIPS
5/8" GYP BOARD INTERIOR

GROSS SQUARE FOOTAGE

MAIN LEVEL (EXIST.)	2818 SF
UPPER LEVEL MECH. (NEW)	1501 SF
PARTY DECK (NEW)	1418 SF



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE/COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427**

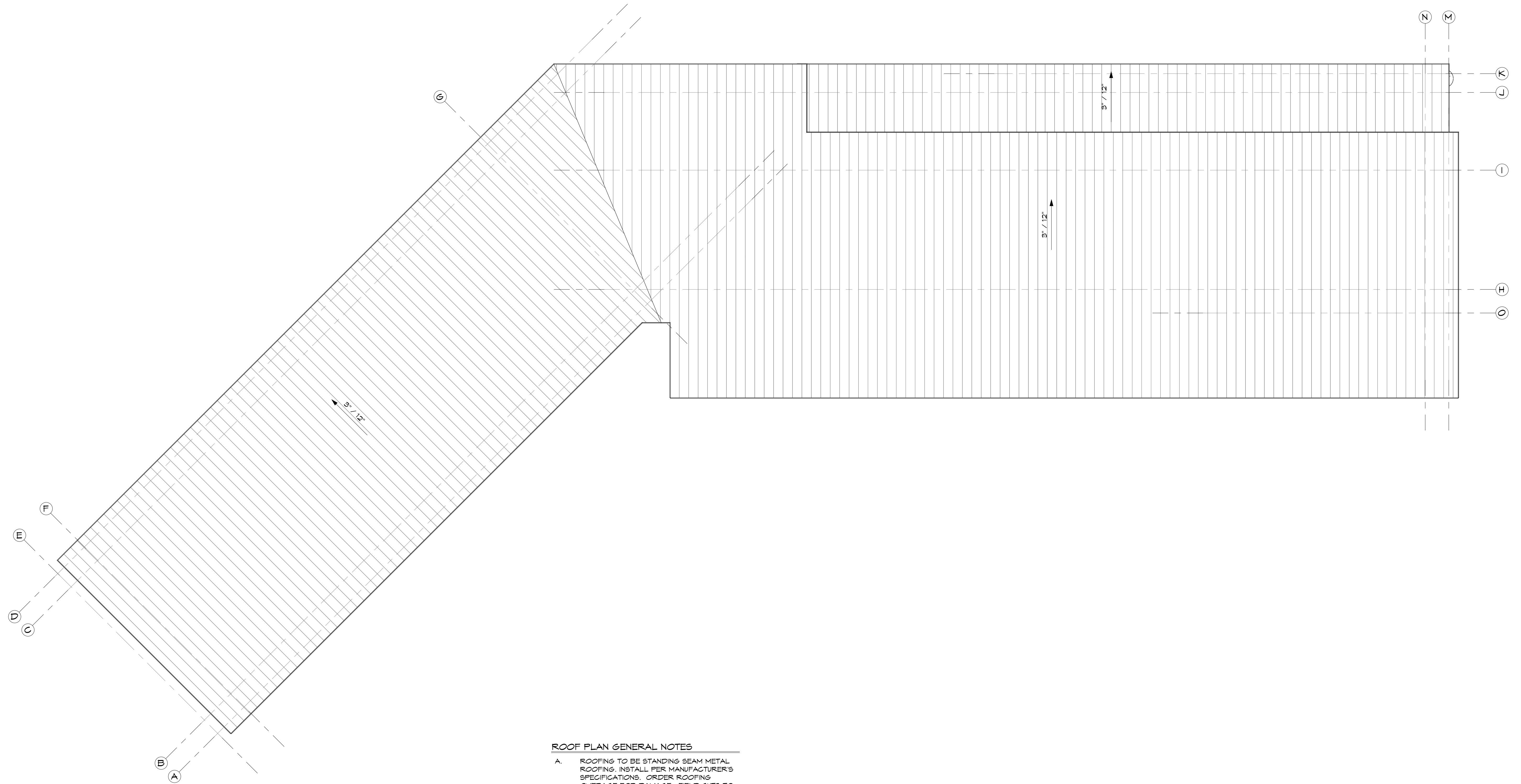
JOB. NO.: **22130**
ISSUE DATE: **2023-12-20**
DRAWN BY: **RA+A**

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-102
UPPER LEVEL FLOOR PLAN

PRINT DATE: 1/4/2024 11:15:39 AM



ROOF PLAN GENERAL NOTES

- A. ROOFING TO BE STANDING SEAM METAL ROOFING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERLAP FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8". INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
- B. PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.
- C. ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIPPLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
- D. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
- E. CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL, COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.
- F. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKTIPE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.



PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOOSA STREET, STE. 200
P.O. BOX 56
PAGOOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427**

JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-103
PROPOSED ROOF PLAN

PRINT DATE: 1/4/2024 11:14:52 AM

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427**

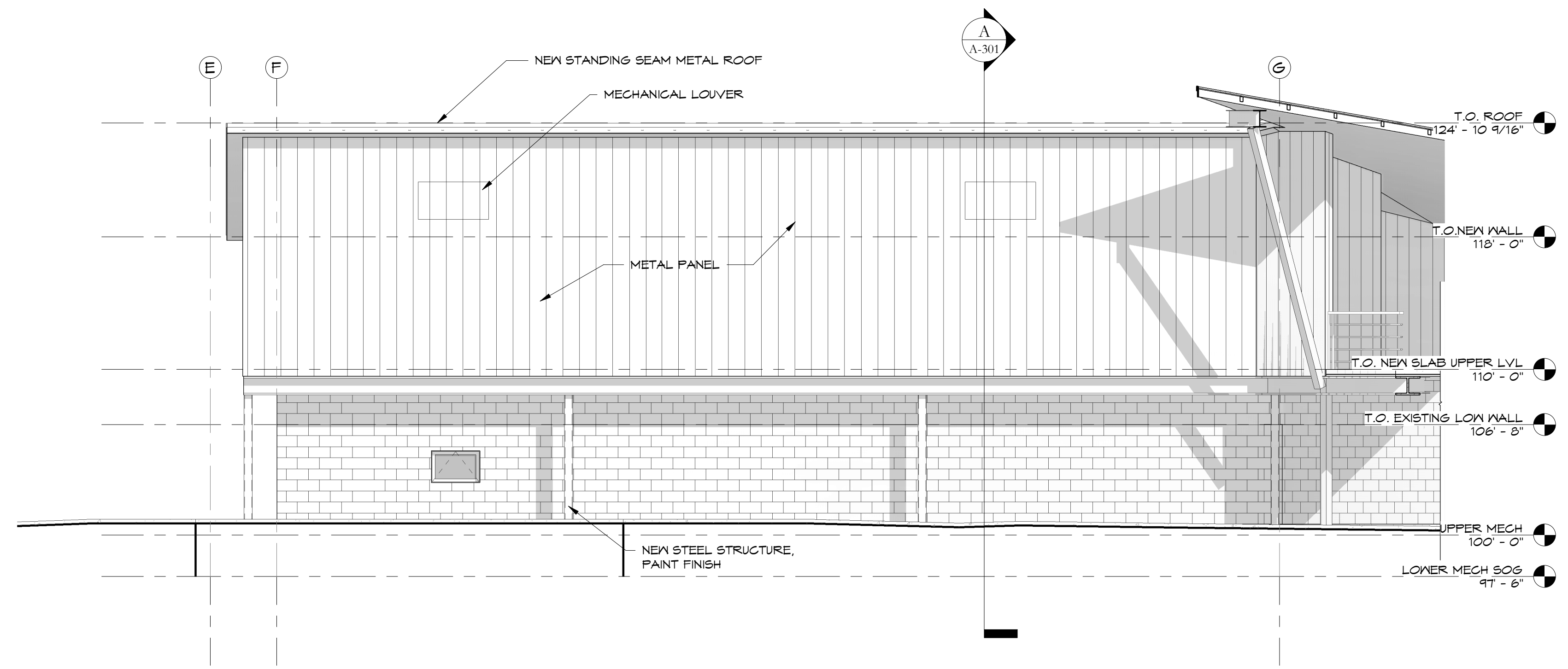
JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

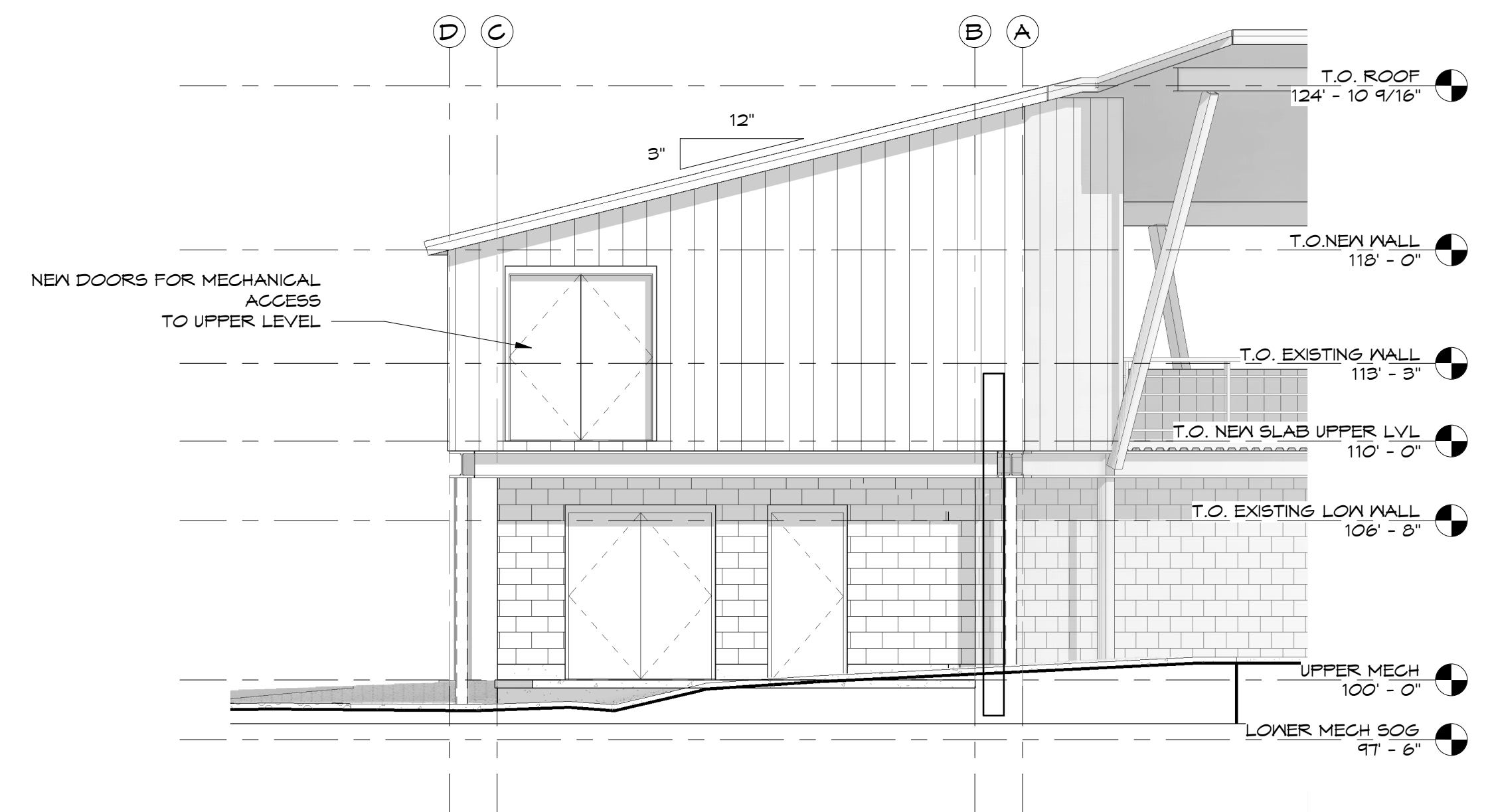
REVISIONS:

A-201
EXTERIOR ELEVATIONS

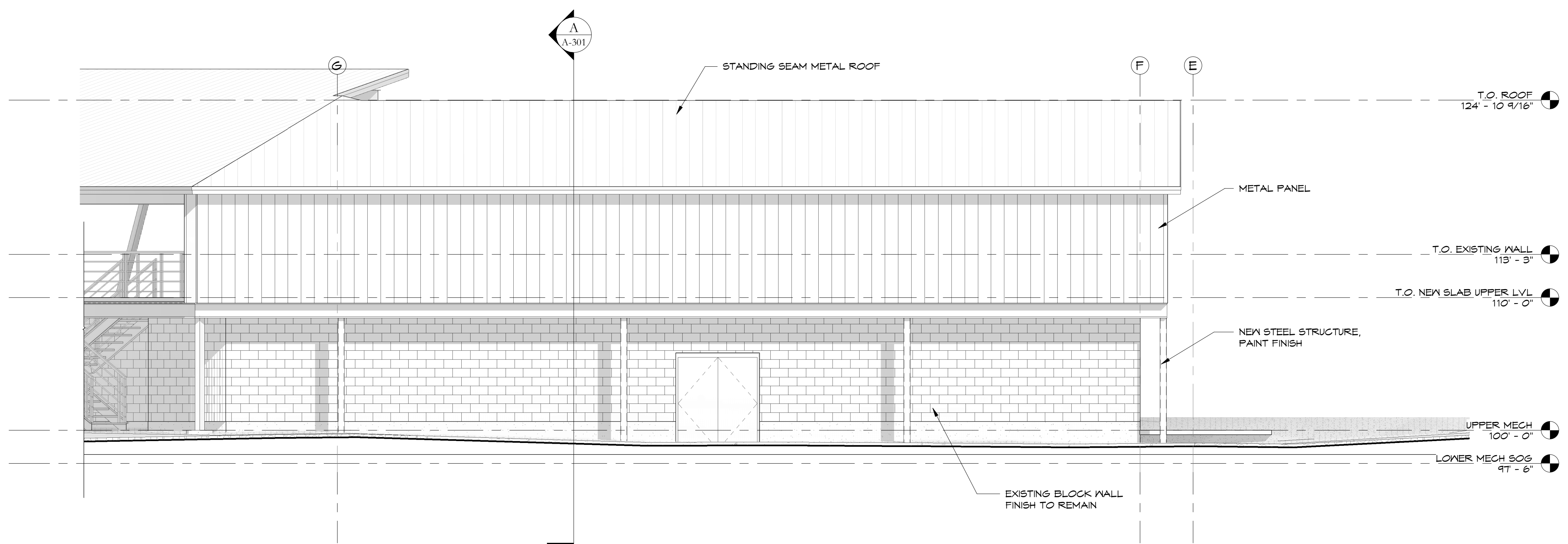
PRINT DATE: 1/4/2024 11:15:01 AM



EAST A
SCALE: 3/16" = 1'-0"
A-201



SOUTH B
SCALE: 3/16" = 1'-0"
A-201



WEST C
SCALE: 3/16" = 1'-0"
A-201



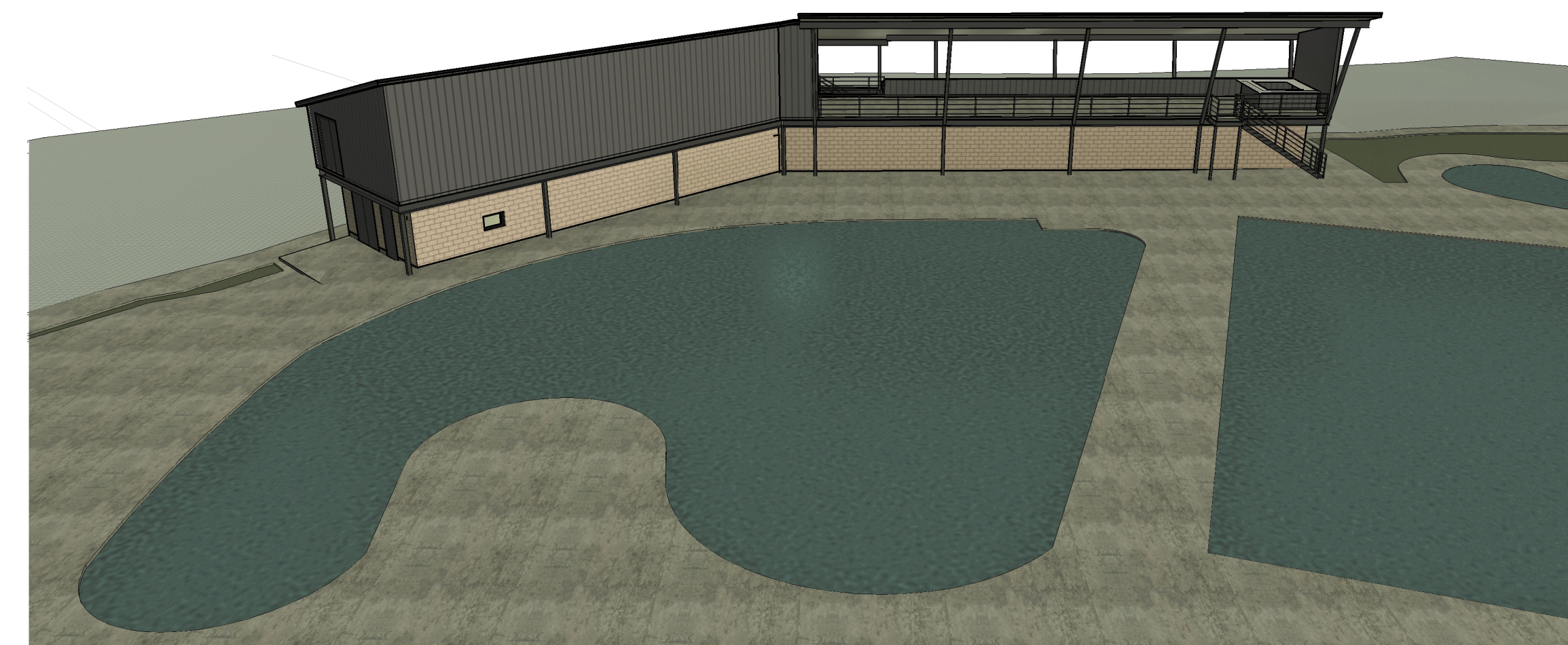
3-D VIEW **A**
SCALE: A-204



3-D VIEW **B**
SCALE: A-204



3-D VIEW **C**
SCALE: A-204



3-D VIEW **D**
SCALE: A-204



**REYNOLDS ASH
+ ASSOCIATES**

**ARCHITECTURE
ENGINEERING**

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427**

JOB. NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

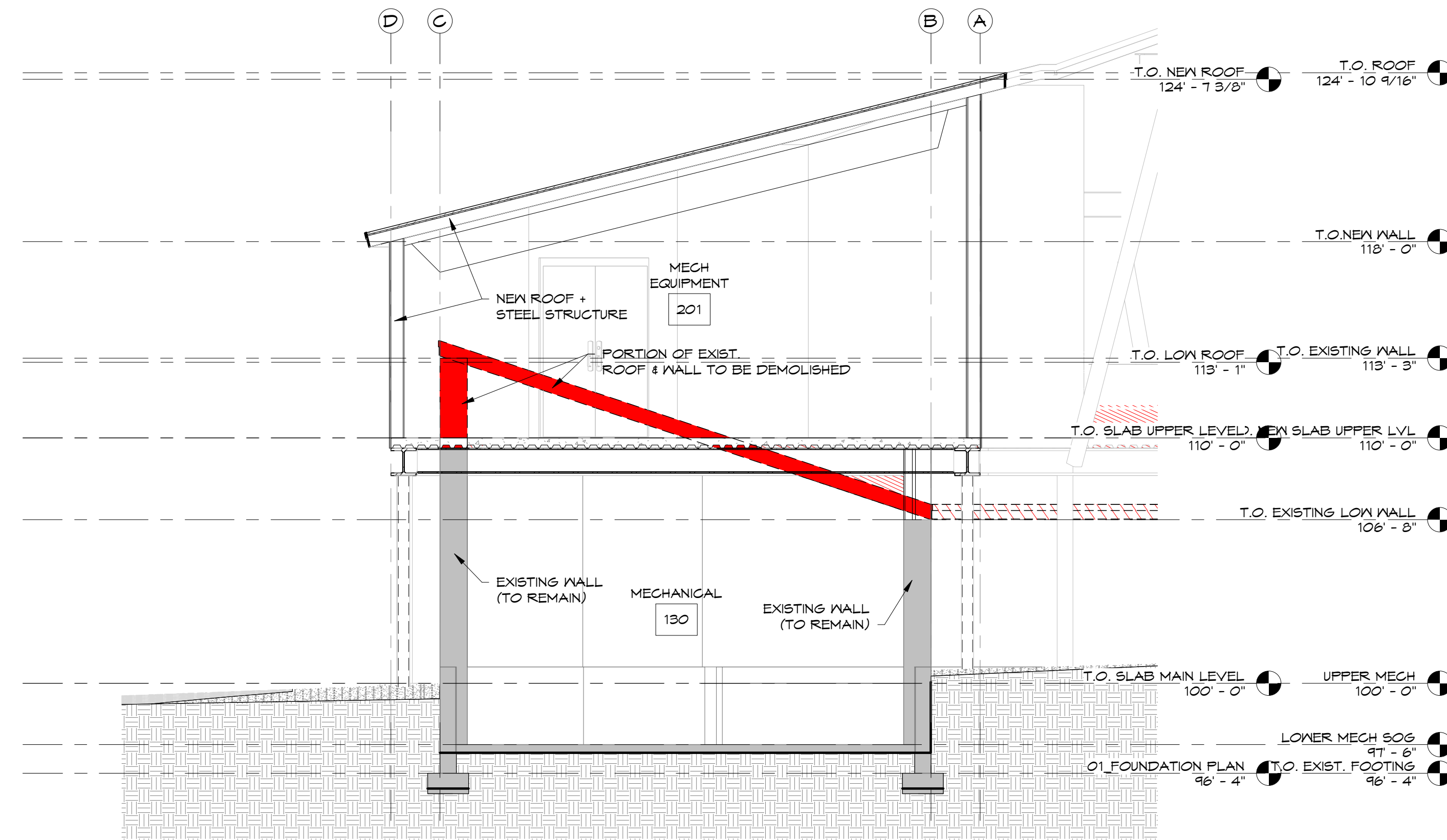
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

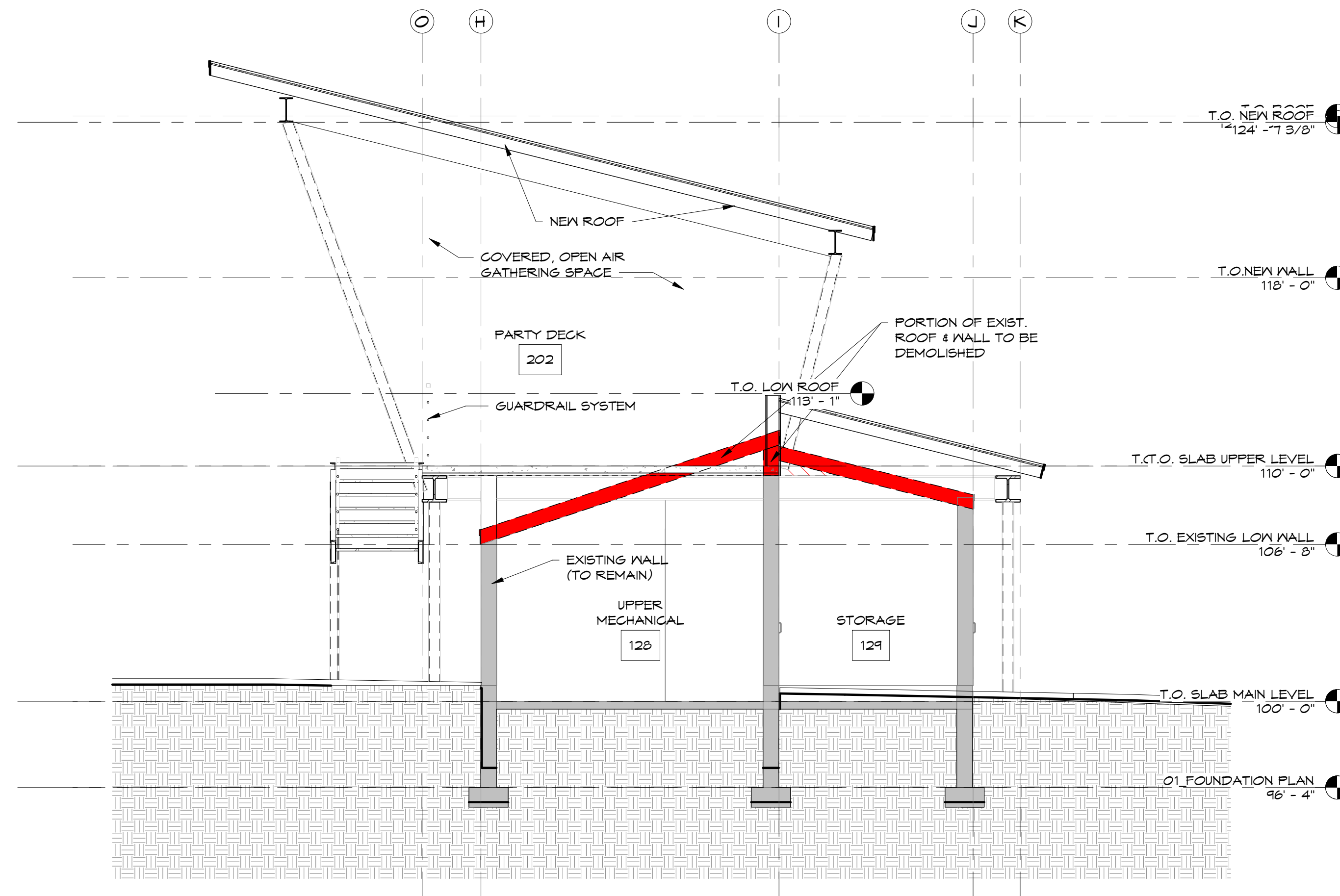
A-204

3-D VIEWS

PRINT DATE: 1/4/2024 11:15:15 AM



BUILDING SECTION A
SCALE: 1/4" = 1'-0"
A-301



BUILDING SECTION B
SCALE: 1/4" = 1'-0"
A-301



REYNOLDS ASH + ASSOCIATES
ARCHITECTURE
ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

**PROGRESS SET
NOT FOR CONSTRUCTION**

**OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3**
OURAY, COLORADO 81427

JOB NO.: 22130
ISSUE DATE: 2023-12-20
DRAWN BY: RA+A

ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

A-301
BUILDING SECTIONS



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE
ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200
P.O. BOX 36
PAGOSA SPRINGS, CO 81447

RA-ALCOM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RAVA ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427

JOB NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

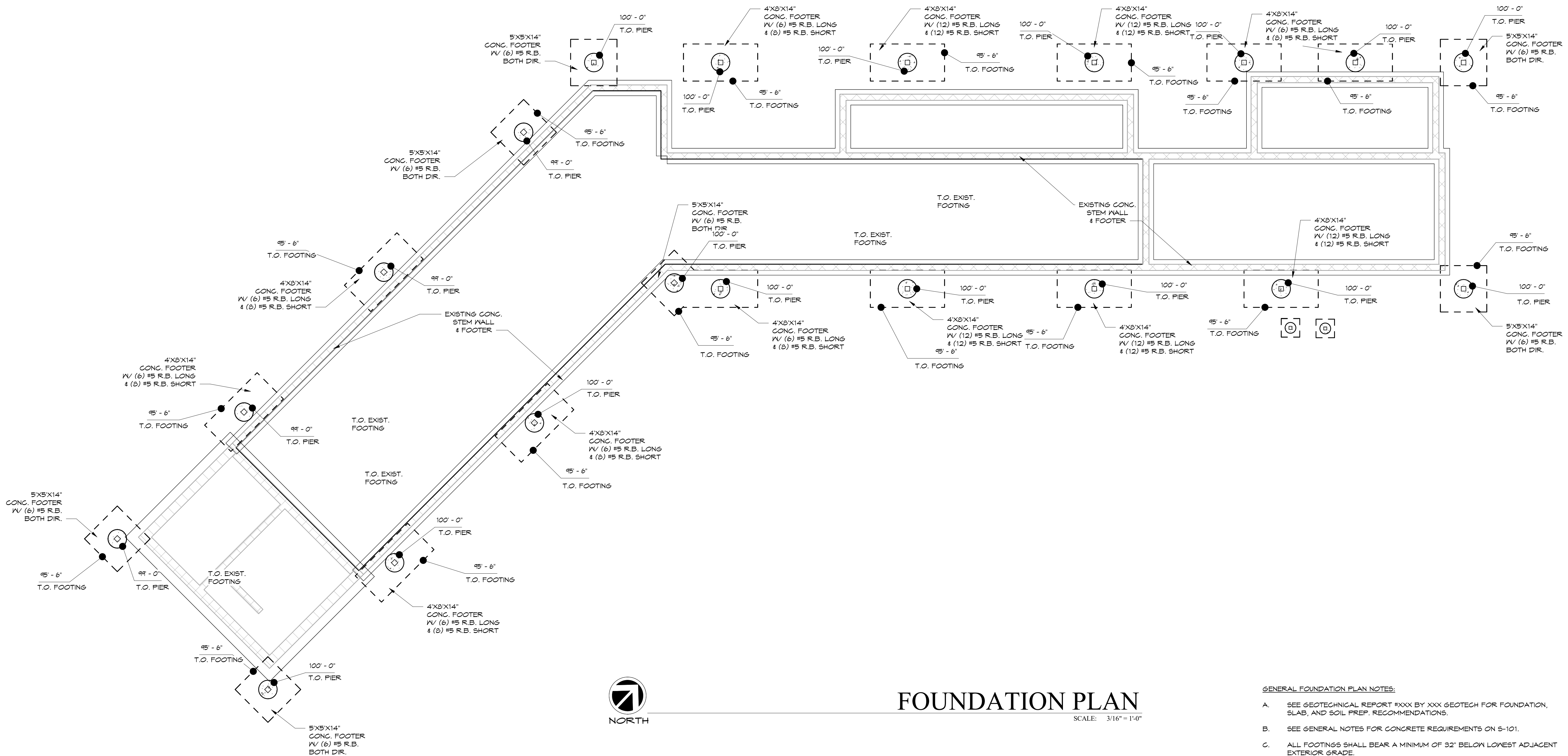
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-201

FOUNDATION PLAN

PRINT DATE: 1/4/2024 11:19:52 AM



FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

GENERAL FOUNDATION PLAN NOTES:

- A. SEE GEOTECHNICAL REPORT #XXX BY XXX GEOTECH FOR FOUNDATION, SLAB, AND SOIL PREP. RECOMMENDATIONS.
- B. SEE GENERAL NOTES FOR CONCRETE REQUIREMENTS ON S-101.
- C. ALL FOOTINGS SHALL BEAR A MINIMUM OF 32" BELOW LOWEST ADJACENT EXTERIOR GRADE.
- D. ALL FOOTINGS SHALL HAVE 12" OF EMBEDMENT TO LOWEST ADJACENT GRADE.
- E. DESIGN IS GENERALLY BASED ON BEARING CAPACITY OF XXX PSF PER XXX GEOTECH REPORT NO. XXX. NOTIFY ARCHITECT/ENGINEER IF COMPETENT SOIL IS NOT ENCOUNTERED.
- F. WE RECOMMEND THAT THE GEOTECHNICAL ENGINEER OR A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER OBSERVE THE FOUNDATION EXCAVATIONS PRIOR TO PLACEMENT OF THE FOUNDATION REINFORCEMENT AND CONCRETE. THIS OBSERVATION IS TO ASSESS WHETHER THE EXPOSED BEARING STRATUM IS SIMILAR TO THAT ANTICIPATED FOR FOUNDATION SUPPORT. ANY LOOSE, SOFT, OR DISTURBED MATERIAL SHOULD BE UNDERCUT TO A SUITABLE BEARING SUBGRADE.
- G. CONTRACTOR TO VERIFY THAT SUBGRADE IS EXCAVATED TO NATIVE MATERIAL AND NO EXPANSIVE OR LOW STRENGTH SOILS ARE ENCOUNTERED.
- H. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS AND FOUNDATION ELEVATIONS PRIOR TO START OF WORK AND SHALL NOTIFY A/E OF ANY DISCREPANCIES.
- I. IF REQUIRED, CONTRACTOR TO INSTALL PASSIVE RADON SYSTEM IN CRAWL SPACES, PROVIDE 3 MIL. PLASTIC OVER UNDISTURBED SOIL AND GLUE TO STEM WALLS. PROVIDE 8" OF 4" PERFORATED PIPE BELOW PLASTIC WITH 4" SOLID PIPE VENTED TO ROOF (SEE S-101).
- J. ALL FOOTINGS SHALL BE OVER-EXCAVATED BY XX". SCARIFY & RECOMPACT NATIVE SOIL AT BOTTOM OF EXCAVATION BEFORE PLACING XX" OF COMPACTED STRUCTURAL FILL.



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81447

RA-ALCOM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RAVA ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427

JOB NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

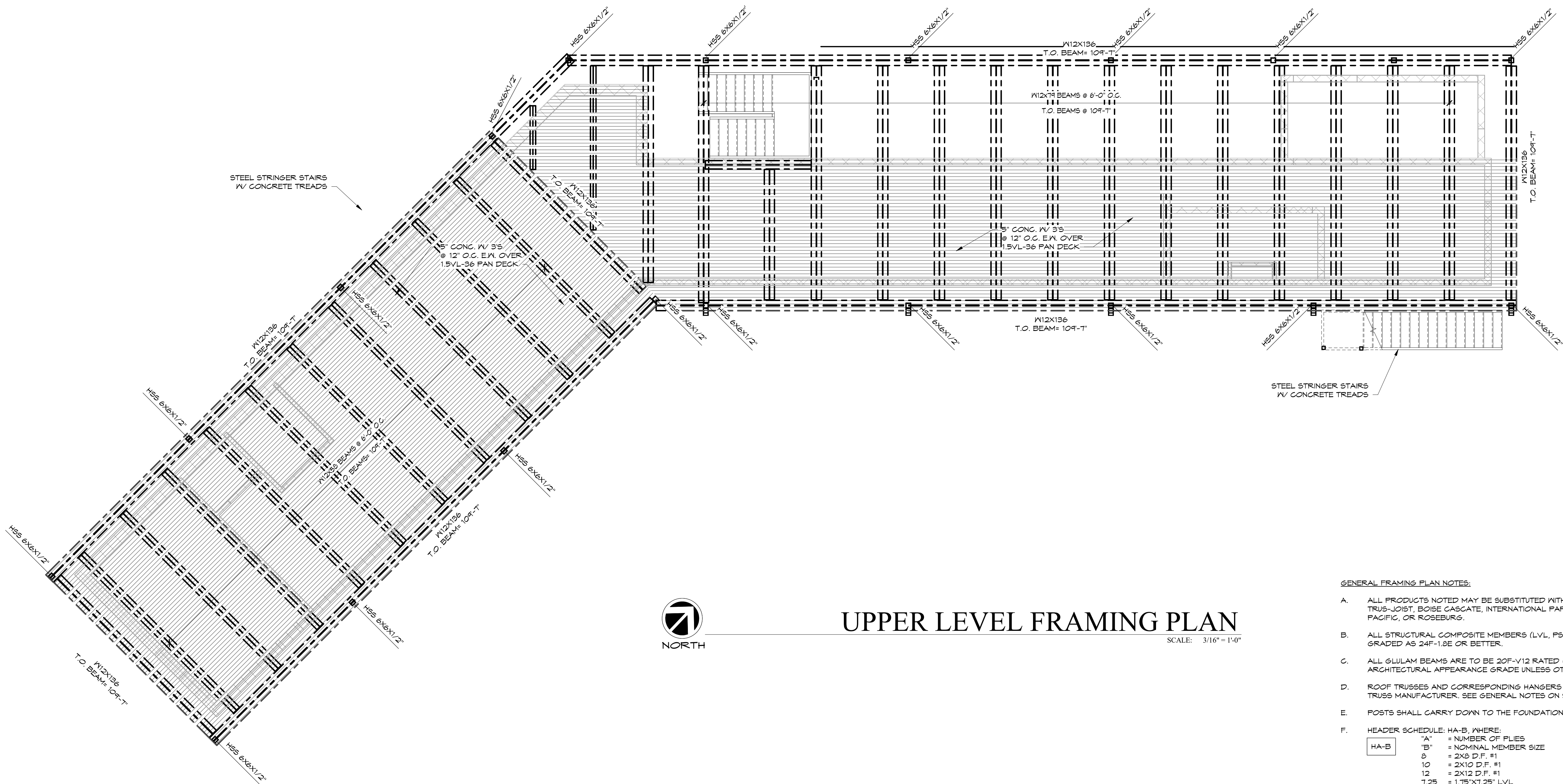
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-301

UPPER LEVEL FRAMING PLAN

PRINT DATE: 1/4/2024 11:19:55 AM



UPPER LEVEL FRAMING PLAN

SCALE: 3/16" = 1'-0"



NORTH

LEDGER SCHEDULE	
No.	DESCRIPTION

GENERAL FRAMING PLAN NOTES:

- A. ALL PRODUCTS NOTED MAY BE SUBSTITUTED WITH EQUAL PRODUCTS BY TRUS-JOIST, BOISE CASCATE, INTERNATIONAL PAPER, OR LOUISIANA PAFIFIC, OR ROSEBURG.
- B. ALL STRUCTURAL COMPOSITE MEMBERS (LVL, PSL, ETC...) SHALL BE GRADED AS 24F-1.8E OR BETTER.
- C. ALL GLULAM BEAMS ARE TO BE 20F-V12 RATED (ALASKAN YELLOW) AND ARCHITECTURAL APPEARANCE GRADE UNLESS OTHERWISE NOTED.
- D. ROOF TRUSSES AND CORRESPONDING HANGERS SHALL BE SIZED BY TRUSS MANUFACTURER. SEE GENERAL NOTES ON S-101.
- E. POSTS SHALL CARRY DOWN TO THE FOUNDATION.
- F. HEADER SCHEDULE: HA-B, WHERE:

HA-B	"A" = NUMBER OF PLYS
	"B" = NOMINAL MEMBER SIZE
8	= 2X8 D.F. #1
10	= 2X10 D.F. #1
12	= 2X12 D.F. #1
1.25	= 1.75"X1.25" LVL
1.5	= 1.75"X1.5" LVL
1.75	= 1.75"X1.75" LVL
1.875	= 1.75"X1.875" LVL
1.4	= 1.75"X1.4" LVL
- G. POST SCHEDULE: PAB, WHERE:

PAB	"A" = NUMBER OF JACK OR CRIPPLE STUDS
	"B" = NOMINAL KING STUDS
	ALL POSTS NOT OTHERWISE NOTED ARE P21
P44	= 4X4 TIMBER
P66	= 6X6 TIMBER
P88	= 8X8 TIMBER
P1010	= 10X10 TIMBER
5.25X5.25	= 5.25"X5.25" 1.8E PSL COLUMN
5.25X7.00	= 5.25"X7.00" 1.8E PSL COLUMN
- H. ALL HEADERS IN BEARING AND EXTERIOR WALLS NOT OTHERWISE NOTED SHALL BE (2) 2X8'S.
- I. WHERE BEAMS/HEADERS ARE NOTED AS "FLUSH", PLACE TOP OF BEAM FLUSH WITH TOP OF JOISTS, AND HANG JOISTS FROM BEAM WHERE APPLICABLE.
- J. FRAMING PLAN ELEVATIONS ARE TO TOP OF BEAM UNLESS OTHERWISE NOTED.
- K. SEE GENERAL NOTES ON S-101 FOR SHEATHING CONNECTION REQUIREMENTS.
- L. STUDS THAT EXCEED 13' HEIGHT SHALL BE STRUCTURAL COMPOSITE STUDS.



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONST.

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427

JOB NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

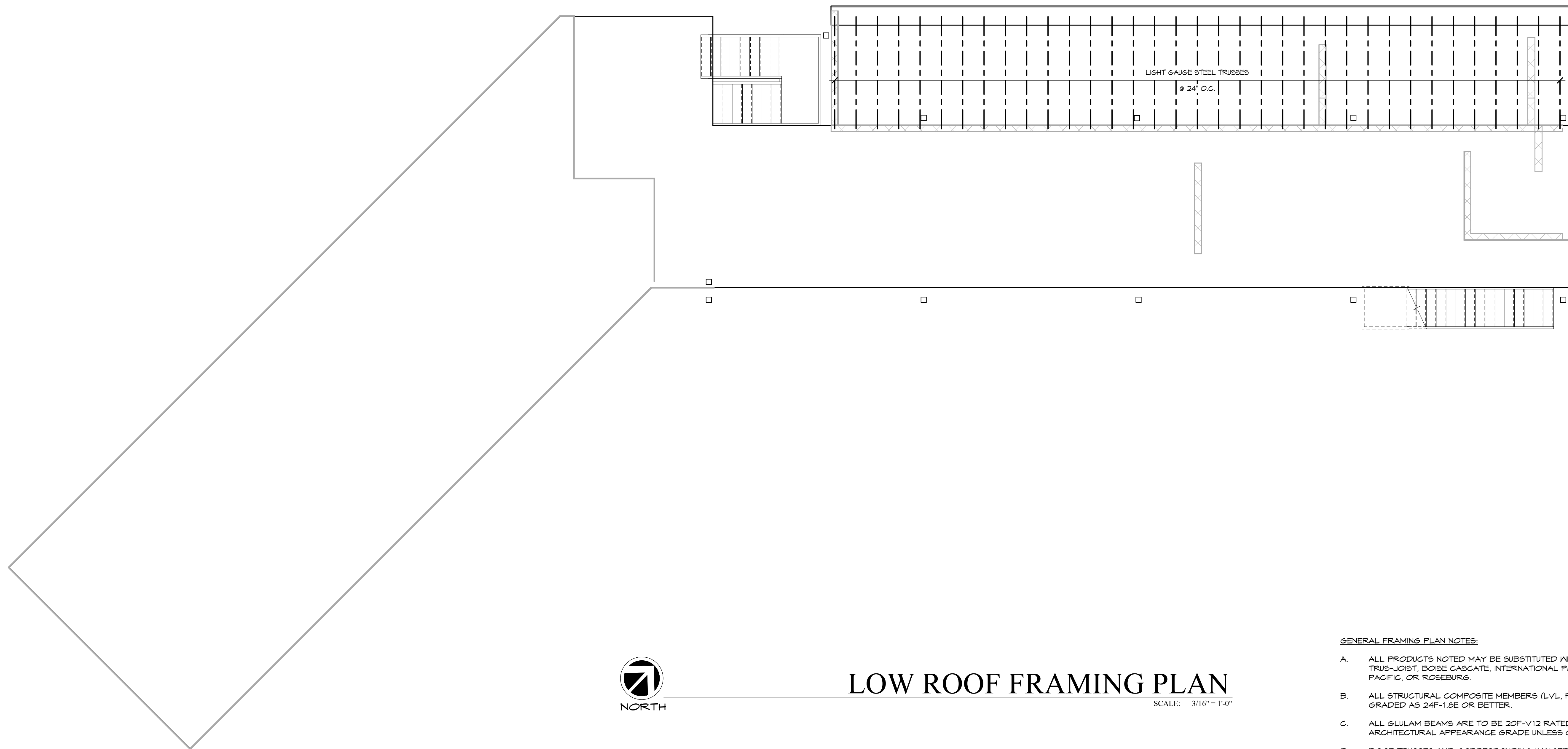
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-302

LOW ROOF FRAMING PLAN

PRINT DATE: 1/4/2024 11:19:57 AM



NORTH

LOW ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"

GENERAL FRAMING PLAN NOTES:

- A. ALL PRODUCTS NOTED MAY BE SUBSTITUTED WITH EQUAL PRODUCTS BY TRUS-JOIST, BOISE CASCADE, INTERNATIONAL PAPER, OR LOUISIANA PACIFIC, OR ROSEBURG.
- B. ALL STRUCTURAL COMPOSITE MEMBERS (LVL, PSL, ETC...) SHALL BE GRADED AS 24F-1.8E OR BETTER.
- C. ALL GLULAM BEAMS ARE TO BE 20F-V12 RATED (ALASKAN YELLOW) AND ARCHITECTURAL APPEARANCE GRADE UNLESS OTHERWISE NOTED.
- D. ROOF TRUSSES AND CORRESPONDING HANGERS SHALL BE SIZED BY TRUSS MANUFACTURER. SEE GENERAL NOTES ON S-101.
- E. POSTS SHALL CARRY DOWN TO THE FOUNDATION.
- F. HEADER SCHEDULE: HA-B, WHERE:

HA-B	"A" = NUMBER OF PLIES
	"B" = NOMINAL MEMBER SIZE
	8 = 2X8 D.F. #1
	10 = 2X10 D.F. #1
	12 = 2X12 D.F. #1
	1.25 = 1.75"X1.25" LVL
	1.5 = 1.75"X1.5" LVL
	11.875 = 1.75"X11.875" LVL
	14 = 1.75"X14" LVL
- G. POST SCHEDULE: PAB, WHERE:

⊗ PAB	"A" = NUMBER OF JACK OR CRIPPLE STUDS
	"B" = NOMINAL KING STUDS
	ALL POSTS NOT OTHERWISE NOTED ARE P21
	P44 = 4X4 TIMBER
	P66 = 6X6 TIMBER
	P88 = 8X8 TIMBER
	P1010 = 10X10 TIMBER
	5.25X5.25 = 5.25"X5.25" 1.8E PSL COLUMN
	5.25X7.00 = 5.25"X7.00" 1.8E PSL COLUMN
- H. ALL HEADERS IN BEARING AND EXTERIOR WALLS NOT OTHERWISE NOTED SHALL BE (2) 2X8'S.
- I. WHERE BEAMS/HEADERS ARE NOTED AS "FLUSH", PLACE TOP OF BEAM FLUSH WITH TOP OF JOISTS, AND HANG JOISTS FROM BEAM WHERE APPLICABLE.
- J. FRAMING PLAN ELEVATIONS ARE TO TOP OF BEAM UNLESS OTHERWISE NOTED.
- K. SEE GENERAL NOTES ON S-101 FOR SHEATHING CONNECTION REQUIREMENTS.
- L. STUDS THAT EXCEED 13' HEIGHT SHALL BE STRUCTURAL COMPOSITE STUDS.

⊗ LEDGER SCHEDULE	
No.	DESCRIPTION



REYNOLDS ASH + ASSOCIATES

ARCHITECTURE ENGINEERING

1140 MAIN AVE, STE. B
DURANGO, CO 81301
(970) 259-7494
FAX (970) 259-7492

202 PAGOSA STREET, STE. 200
P.O. BOX 56
PAGOSA SPRINGS, CO 81147

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT
AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE
PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY
FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE
ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING WRITTEN PERMISSION AND CONSENT OF THE
ARCHITECT OF RECORD.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL
BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY
WERE PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW
PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR
OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE
EXPRESS WRITTEN CONSENT OF
RA+A ARCHITECTS, P.C.

PROGRESS SET
NOT FOR CONSTRUCTION

OURAY HOT SPRINGS POOL
MECHANICAL BUILDING
OPTION 3
OURAY, COLORADO 81427

JOB. NO.: 23130
ISSUE DATE: 2023-12-20
DRAWN BY: RAA

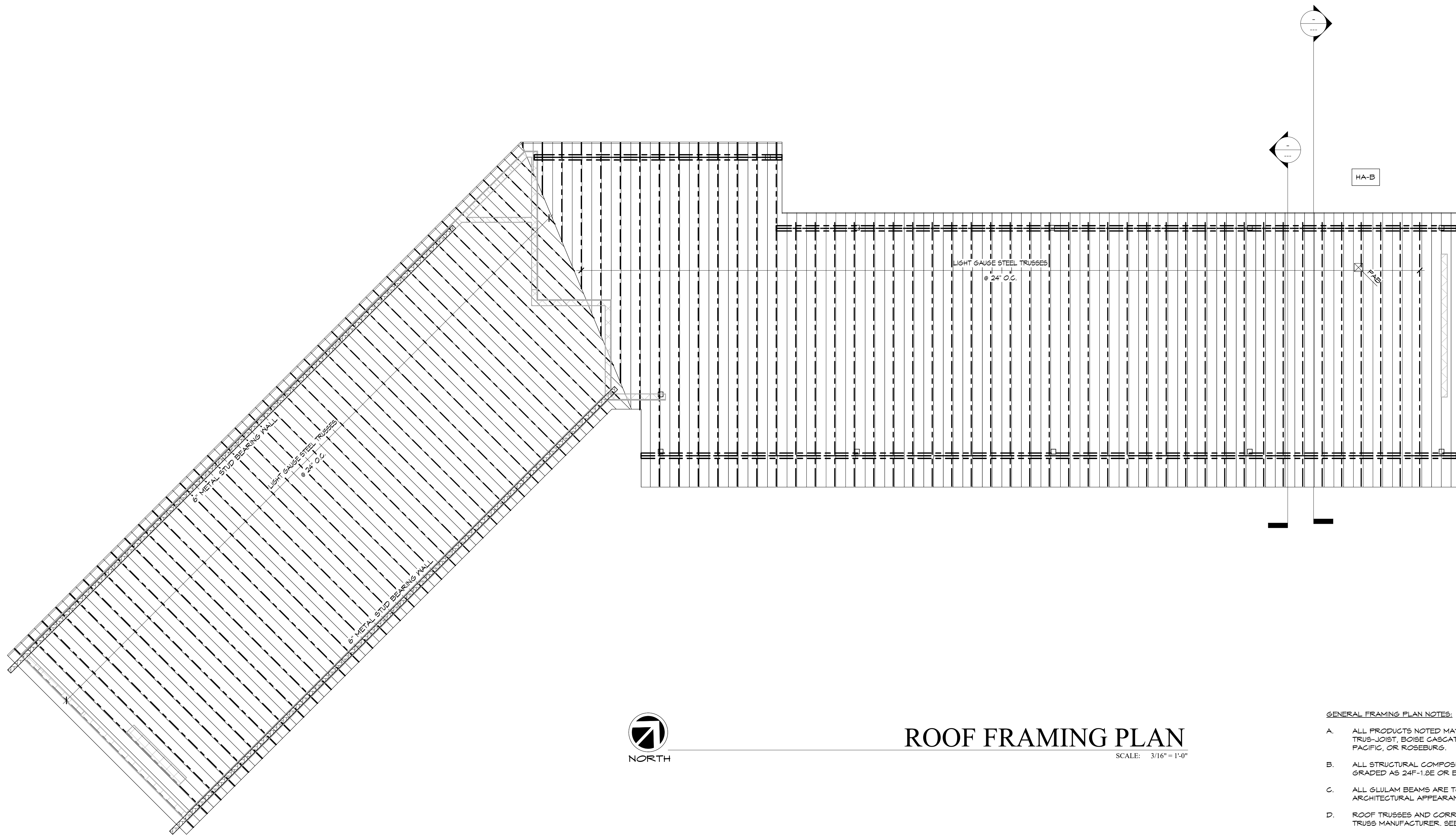
ISSUE RECORD:
2023/12/20 S.D. SET

REVISIONS:

S-303

ROOF LEVEL FRAMING PLAN

PRINT DATE: 1/4/2024 11:19:58 AM



NORTH

ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"

GENERAL FRAMING PLAN NOTES:

- A. ALL PRODUCTS NOTED MAY BE SUBSTITUTED WITH EQUAL PRODUCTS BY TRUS-JOIST, BOISE CASCATE, INTERNATIONAL PAPER, OR LOUISIANA PACIFIC, OR ROSEBURG.
- B. ALL STRUCTURAL COMPOSITE MEMBERS (LVL, PSL, ETC...) SHALL BE GRADED AS 24F-1.8E OR BETTER.
- C. ALL GLULAM BEAMS ARE TO BE 20F-V12 RATED (ALASKAN YELLOW) AND ARCHITECTURAL APPEARANCE GRADE UNLESS OTHERWISE NOTED.
- D. ROOF TRUSSES AND CORRESPONDING HANGERS SHALL BE SIZED BY TRUSS MANUFACTURER. SEE GENERAL NOTES ON S-101.
- E. POSTS SHALL CARRY DOWN TO THE FOUNDATION.
- F. HEADER SCHEDULE: HA-B, WHERE:
 "A" = NUMBER OF PLYS
 "B" = NOMINAL MEMBER SIZE
 8 = 2X8 D.F. #1
 10 = 2X10 D.F. #1
 12 = 2X12 D.F. #1
 1.25 = 1.75"X1.25" LVL
 9.5 = 1.75"X9.5" LVL
 11.875 = 1.75"X11.875" LVL
 14 = 1.75"X14" LVL
- G. POST SCHEDULE: PAB, WHERE:
 "A" = NUMBER OF JACK OR CRIPPLE STUDS
 "B" = NOMINAL KING STUDS
 ALL POSTS NOT OTHERWISE NOTED ARE P21
 P44 = 4X4 TIMBER
 P66 = 6X6 TIMBER
 P88 = 8X8 TIMBER
 P1010 = 10X10 TIMBER
 5.25X5.25 = 5.25"X5.25" 1.8E PSL COLUMN
 5.25X1.00 = 5.25"X1.00" 1.8E PSL COLUMN
- H. ALL HEADERS IN BEARING AND EXTERIOR WALLS NOT OTHERWISE NOTED SHALL BE (2) 2X8'S.
- I. WHERE BEAMS/HEADERS ARE NOTED AS "FLUSH", PLACE TOP OF BEAM FLUSH WITH TOP OF JOISTS, AND HANG JOISTS FROM BEAM WHERE APPLICABLE.
- J. FRAMING PLAN ELEVATIONS ARE TO TOP OF BEAM UNLESS OTHERWISE NOTED.
- K. SEE GENERAL NOTES ON S-101 FOR SHEATHING CONNECTION REQUIREMENTS.
- L. STUDS THAT EXCEED 13' HEIGHT SHALL BE STRUCTURAL COMPOSITE STUDS.

LEDGER SCHEDULE

No.	DESCRIPTION