



REGULAR BOARD OF EDUCATION MEETING

Monday, July 12, 2021 7:00 PM

Glastonbury Town Hall, Town Council Chambers

1. Call to Order
2. Pledge of Allegiance
3. Informal Session for Public Comment
4. Special Reports
5. Business Requiring Action
 - A. Staff Resignations (consent)
Nicole Buckley
 - B. Approval of Adult and Continuing Education Classes for Fall 2021
 - C. Acceptance of Naubuc School Second Floor Plan for First Reading
6. Reports and Discussion
 - A. Capitol Improvement Projects Update (CIP)
 - B. Technology Annual Review
 - C. LINKS Update
 - D. Glastonbury Education Foundation
7. Approval of Minutes
 - A. Meeting Minutes of June 28, 2021
8. Committee Reports
9. Chairman's Report
10. Superintendent's Report
 - A. Staff Appointments
 1. Darrick Bell-Glastonbury High School Psychologist
 - B. Self Insurance Reserve Update June 2021
 - C. Dates to Remember
11. Adjournment
 - A. Please note: It is possible that the Board of Education may go into Executive Session

**GLASTONBURY BOARD OF EDUCATION
EXECUTIVE SUMMARY REPORT FORM**

Title of Report: Proposed Adult and Continuing Education Classes – Fall 2021

Board Meeting Date: July 12, 2021

Action:

Report: X

Information:

Discussion:

Following the 2020-2021 year of curtailed activities, due to the coronavirus pandemic, we are excited to return to live classes and robust offerings. Happily, as some COVID19 restrictions have been reduced, both First Aid and Line Dance classes from the spring were rescheduled to in person classes this June and July. A successful bus trip to the Bronx Zoo was also held on June 26. We know our participants are eager to begin taking our popular day trips again this fall.

This fall, most of our Adult and Continuing Education Classes will be offered in person with some exceptions. Teachers who have successfully led classes from out of state will continue to do so via zoom. This flexibility allows us to offer more classes for our students by tapping resources from beyond our immediate community. In addition, some instructors prefer to continue to teach virtually for various reasons. When scheduling classes this fall, we asked teachers to indicate their preference for live or virtual. As you will see on the attached list, the majority are eager to be back in person however; the virtual option is still popular for some.

We are pleased to offer over 135 classes for the Fall 2021 program. Of these, over 60 are new classes, trips, or teachers. This impressive list of classes and experiences is sure to offer something for everyone.

We have continued to be as innovative as possible when scheduling. We reviewed previous class offerings and contacted teachers who have not been part of our program for a while. In addition, we actively seek teachers to lead popular topics and trending subjects to offer the most up-to-date sessions.

There are many exciting new classes coming! From delicious new gourmet baking and cooking classes to the return of the ever-popular Ukulele class, we are ready for the fall. The list of Creative Arts classes should be inspiring, and the Dance classes will definitely get you moving. You can challenge yourself by learning a new language or get advice on retirement plans. If you would like to learn how to massage a horse, we've got you covered. We hope there is something for everyone, and we look forward to seeing new students join our classes this fall.

As is always true, we are very appreciative for our knowledgeable, creative and flexible teachers. Our instructor are top notch and continue to provide highly engaging and meaningful opportunities for lifelong learning in our community.

The proposed class list is attached.

Submitted By: Nancy LaPerla

Reviewed By: Alan Bookman

GLASTONBURY ADULT & CONTINUING EDUCATION

PROPOSED CLASSES

Fall 2021

College Bound

SAT Practice Test
SAT Test Prep-Lentz & Lentz
SAT Test Prep-Princeton
SAT/ACT Secrets

Career, Computer & Business

Cloud Storage
Cover Letters That Shine`
Excel
Grant Writing in Uncertain Times
How to Avoid Being Scammed Online
Job Interviewing
Resume's For Today's Job Market*

Creative Arts

Art Splash* ~virtual
Art Around the World* ~virtual
Autumn Wreath*
Basic Drawing*
Beach Glass Jewelry*
Beading: Bracelet and Earrings*
Candle Making*
Colored Pencils and Painting Project*
Enjoy Colored Pencils
Holiday Centerpiece*
Home Sewing - Pillow Covers* ~virtual
Home Sewing - Window Treatments ~virtual
Home Sewing - Reupholster Dining Chairs*
Know Your Sewing Machine ~virtual
Sewing 101 - The Basics
Sewing 201 - Fleece Robe
The Latest Holiday Decorating Trends*
Watercolor Painting in Gardens (Outdoors!)*
Woodworking

Kids and Teens Corner

Art - Different Mediums ~virtual*
Bedroom Refresh - Growing Older Update*
Coding*
Family Sewing: P.J.'s ~virtual
Kids on Canvas* ~virtual
Kids' Sewing: Slumber party!*
Know Your Sewing Machine* ~virtual

Gourmet & Nutrition

A Party of Appetizers*
Baking with Barbara I*
Baking with Barbara II*
Eat Well, Feel Well & Lose Weight ~ with Cooking Demo*
How to Make Homemade Kombucha*
Let's Roll with Casseroles*
Maple Syrup Madness*
Pastry Cornucopia
Soups On!*
Try It, You'll Like It Vegan Cooking*
Two Paisans Bake Apple Pie
Two Paisans Cook Chicken Cutlets 3 Ways:
French, German and Italian*

Health - Exercise & Sports

*Barre**
Better Balance ~virtual*
Body Sculpting ~virtual
*Chair Yoga**
Core Strength ~virtual*
Front Nine Men's Golf (in person)
Golf Fore Women (in person)
Pilates*
Qigong* ~virtual
Yoga*

Health & Well Being

Child & Infant CPR for Families & Friends
CPR Recertification
First Aid & CPR
How to Eat To Relieve Pain and Inflammation

Home & Garden

*Home Décor Trends**
Plant Propagation*
Seed Saving
Turn an Inspiration Board into a Finished Room*
Replacement Windows

Language, Travel and Culture

American Sign Language, Beginning
German I, Beginning
German II, Beginning
German, Intermediate*
Italian, Beginning Conversational
Spanish, Beginning
Spanish, Beginning II
Spanish, Intermediate*
Travel and Culture of France
Travel and Culture of Italy
Travel and Culture of The Netherlands, Belgium
& Dutch Caribbean

Music & Dance

Acoustic Folk Rock for Guitar*
Ballroom Dance
Country Western Couples Dance*
Instant Guitar For Hopelessly Busy People
Instant Piano For Hopelessly Busy People
Latin Dance*
Line Dancing - Startin' From Scratch
Line Dancing - Movin' On
Ukulele for Beginners

Personal Enrichment

Astronomy - The Ever-Changing Sky*
Astronomy - Planetary Science*
Astronomy - Life Cycle of Stars*
Astronomy - Universe: The Grand Tour*
A Writing Life
Dog Massage
Equine Massage*
From Memory to Memoir: Writing Your Life Story
*Presidents' College, University of Hartford classes**
The First French Speaking Women of Letters (Series)*
Voiceovers - Now Is Your Time!
Women in Biblical Literature
World Religions

Real Estate

Be the Savvy Home Buyer
Get Ready, Get Set, Sell! Tips on Decluttering & Staging
Get Ready, Get Set, Sell! Tips on Repairing and Replacing
Real Estate Investment: Where Do I Start?
The Upside to Downsizing

Financial, Insurance & Legal

Able Accounts
ABC's of Govt. Benefits for Loved Ones with Special Needs
Empowering You Through Probate*
Estate Planning 101*
Fixed Income Investing
Insurance! Home, Auto, Life...Stop Worrying About It
Introduction to Trading Stock Options*
Life Insurance: Understand Your Options
You Really Need to Have an Estate Plan
What is a Trust? Do I Need One?
When the Paycheck Stops

Retirement Planning

Independent Living, Assisted Living, Nursing Facilities*
Medicare: The Good, The Bad and The Ugly
Plan Your Social Security with Confidence
Retirement Planning Today
Social Security Timing*
Tax Free in Retirement
The Truth About Medicaid Rules and Long Term Care

Day Trips

Hudson Yards, High Line, Chelsea Market, The Vessel NYC*
Lighthouse Cruise, Narragansett Bay, RI*
Metropolitan Opera - La Boheme, NYC
Statue of Liberty and Ellis Island
Turkey Train, Lake Winnepesaukee, NH
Van Gogh, The Immersive Exhibit, Boston, MA*
Newport Mansions at Christmas
*Additional trips, TBD

Note: There are over 135 classes and trips scheduled or in the process of being scheduled with over 60 new classes/trips. Some classes are pending, and others may be added or deleted. The categories may also be altered prior to publication.

*new class, new instructor or class not offered recently *Italics* denotes date selection/class/trip pending

Respectfully submitted,

Nancy La Perla

Glastonbury Public Schools

**Naubuc Elementary School
Second Floor Classroom Reorganization Study**

**84 Griswold Street
Glastonbury, CT 06033**

Draft Report: June 11, 2021

Final Report:

Prepared by:



architects | engineers | interior designers

Silver, Petrucelli & Associates, Inc.
3190 Whitney Avenue | Hamden CT 06518
One Post Hill Place | New London CT 06320

TABLE OF CONTENTS

	PAGE	
SECTION I	INTRODUCTION	1
SECTION II	EXISTING FACILITY ANALYSIS	
	Architecture and Interiors	2
	Hazardous Materials	5
	Mechanical	6
	Electrical	8
	Plumbing	13
	Fire Protection	16
SECTION III	PROPOSED REORGANIZATION PLAN	19
SECTION IV	COST ESTIMATE and SCHEDULE	20
SECTION V	APPENDIX – Existing Space Program	21

Section I – Introduction

Silver/Petrucci & Associates (SP+A) was retained by Glastonbury Public Schools to provide an architectural and engineering study for Naubuc Elementary School, evaluating the feasibility of renovating the building A, second floor open space plan into fully partitioned/separated classrooms, tutoring, and support spaces.

Naubuc Elementary School, a 2-story, 68,000 (+/-) gross square foot (gsf) structure, was originally constructed in 1941 with additions and renovations occurring on or around 1948, 1968, and 1995. The area designated for potential renovation, building A – second floor, was last fully renovated in 1995. Additional, miscellaneous maintenance and repairs to this 16,765 square foot space have continued over the last 25 years. Construction drawings of the 1995 renovations were available to the design team for review.



In addition to reviewing all available existing drawings, SP+A architects, engineers and interior designers conducted field visits to survey the existing renovation area, including documenting of all existing systems, building components, finishes and life safety/accessibility concerns. Most importantly, multiple meetings were held between SP+A and Glastonbury Public School staff, including Superintendent of Schools, Dr. Alan Bookman, Naubuc School Principal Dr. Michael Litke, and Director of Operations/Maintenance, Albert Costa.

Findings, analysis and recommendations resulting from these investigations and meetings are outlined in the following sections of this report.

Section II – Existing Facility Analysis and Recommendations

Architecture and Interiors

The 2nd floor open space floor plan currently defines eight 2nd and 3rd grade classrooms with a combination of portable partitions, partial-height fixed partitions, and FFE (furniture, fixtures and equipment) items. The existing flooring is relatively new, broadloom carpet in good condition. Exterior walls are clad in full-height FRP panels and ceilings are acoustical panels in a 2x4 suspended grid system. Doors are a mix of wood veneer and hollow metal painted finishes. There is minimal natural daylight in the space, provided by (28) in-niche windows and (1) central skylight. Existing bathrooms are in need of new finishes and fixtures. They currently contain mismatched tile floors / walls and stainless-steel wash fountains.



Existing FRP wall panels, casework, partial height walls, horizontal blinds, and acoustic ceiling grid and panels are recommended to be removed. Wall mounted equipment such as projections screens and white boards should be removed and returned to owner. Bordered carpet at the existing corridors will be removed and replaced with new flooring material.

New partitions will be full-height, high-abuse / high-impact resistant gypsum board over metal stud framing with 8'H protective outside corner guards. New gypsum board will be installed at exterior walls over existing framing, to replace the FRP that currently exists. Existing aluminum windows will remain, but new, additional windows with manual solar roller shades, will be installed at the perimeter to allow for more daylighting at all classrooms and support spaces. Each classroom will be fit out with new plastic-laminate cubbies (for 25 students) and base, upper, and full-height plastic-laminate cabinetry with a classroom sink in a solid surface counter. New whiteboards, tackboards, and interactive boards will be installed within each classroom. Existing carpet is relatively new, in good condition, and should be protected and preserved within the classroom boundaries, while new VCT (vinyl composition tile) should be provided at the corridor network. New suspended ceiling grid and 2 x 2 acoustical pads will be installed throughout the 2nd floor. Classroom doors will be wood veneer with narrow-lite vision panels.



Eureka Lab / Maker Space will be located beneath the skylight and will incorporate perimeter windows to create visibility into the classroom as well as daylight into the corridor. Storage and Green Room spaces will be directly accessible from this classroom. Sheet marmoleum flooring or carpet tile will be provided in these lab and support areas.



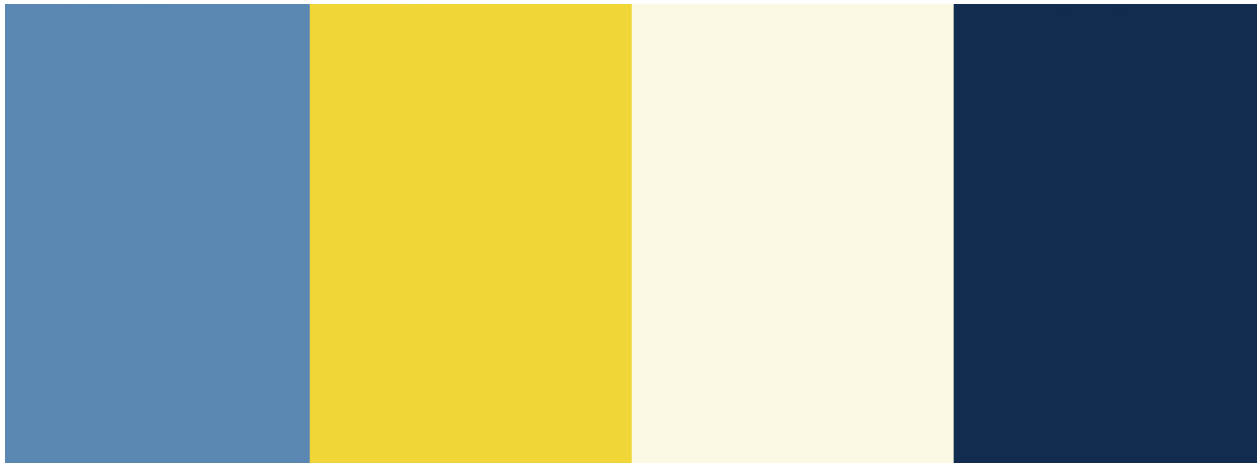
Renovated multi-user, student toilet rooms will receive all new finishes, including mosaic tile flooring, gypsum board walls with tile wainscot, solid plastic partitions, and new fixtures in existing locations.



New, single-user, staff toilet rooms will be located just outside the two areas of student toilet rooms and will have tile flooring and wainscot. Toilet room doors will be paint quality to match existing adjacent.



The overall color palette will incorporate the existing dark blue paint and wall base used throughout the school, while adding bright, neutral walls and pops of color suitable for classroom use.



Hazardous Materials

Asbestos-containing materials inspection and lead-based paint screenings were not conducted as part of this study, however, a conceptual cost estimate of \$2.50/sf for abatement was carried to account for removal of hazardous materials we might anticipate to find in a building of this vintage. Sampling and testing from a licensed environmental engineer is being conducted directly by the school district and will be required as part of any subsequent design or construction phase.

Mechanical

General

All new, mechanical systems will be designed in accordance with the State Building Code, which include the following: 2015 International Building Code, 2015 International Mechanical Code, 2015 International Plumbing and Fire Protection Code, IECC 2015. The systems will also be designed in accordance with the applicable provisions of the Connecticut Fire Safety Code and other applicable standards, ordinances and regulations.

This narrative is meant to assist in the development of a schematic estimate for the purchase and installation of the mechanical systems.

Existing Mechanical System:

The existing school facility is fully heated and air-conditioned by four, roof mounted Trane package rooftop units with DX cooling and hot water coils. Three of the units have a nominal cooling capacity of 60 Tons, and one has a nominal cooling capacity of 10 Tons. All of the RTU systems are currently functional, but are reaching the end of their useful life and should be replaced with higher efficient system that meet current code standards.

An existing Building Automation System (BMS) is provided for the HVAC equipment.

Mechanical System:

The mechanical systems are based on heating, ventilation and air conditioning for the building while meeting the objectives for energy efficiency. Heating design shall be 70 degrees and cooling design shall be 75 degrees. Relative humidity will be conditionally controlled in summer cooling mode, utilizing a high limit return. Dehumidification mode will be utilized to maintain conditions below the high limit. Indoor temperature and humidity will be in accordance with comfort criteria established in ASHRAE 55-2004.

Design Conditions

The HVAC systems will be designed to meet the following design criteria:

Basic Design Parameters:

Building Location: Glastonbury, CT

	<u>Summer</u>	<u>Winter</u>
Outdoor Design Conditions	88° F db / 67° F wb	7° F db
Indoor Design Conditions	75° F db	70-72° F db
Indoor Relative Humidity:	50% +/- 10%	30-45%RH

Materials and Methods

New work shall include the following basic materials and methods of construction:

- The existing main supply and return duct layouts serving the open classrooms spaces shall remain the same, but new branch systems will be provided for the new classrooms and smaller support spaces
- Extend and modify the HVAC distribution system as needed to accommodate these spaces occupancy changes.
- All new ductwork and accessories shall meet SMACNA standards.
- Seismic restraints shall be designed and installed as required per State of Connecticut Building Code and Fire Safety Code which requires the seal of a licensed professional engineer. Above mentioned professional engineer will be required to verify installation is correct and complete per seismic code. This includes piping, ductwork, and equipment.

RECOMMENDATION & IMPROVEMENTS FOR VENTILATION:

- It is recommended that all the rooftop units be replace with modern, energy -efficient equipment designed to provide heating, cooling and ventilation for the next 15-20 years.
- Use cold plasma generator technology mounted on the return side of the coils.
- Use highly efficient particle filtration (HEPA FILTERS) in the centralized HVAC systems to reduce airborne particles, as well as a filter with a MERV-13 or higher rating.
- Increase the ventilation rate for the restroom exhaust fans.
- Provide new vav boxes to control the airflow for each of the new renovated spaces

PHOTOGRAPH:



Electrical

The existing electrical distribution in the proposed second floor area is in fair to good condition, and there are two different vintage panels. The (2) recessed panels (P3 & P4) located in the center core areas are original building panels by Federal Pacific. These panels are in fair condition and are nearing their end of useful life. The other two computer panels (CP3 & CP4) along with the distribution panel (DP) are in good condition.

The existing Fire Alarm system (by Notifier) has been recently upgraded and the devices throughout the proposed renovated area appear to be in good condition and appear to be working properly. Additional devices will need to be added based on the new, full height walls shown in the proposed floor plan.

The existing lighting in the proposed renovated space is mostly made up of old recessed lensed 2x4 fluorescent fixtures with some surface mounted fluorescent “curved” valance fixtures around the sky light and a few recessed open down lights. The lights appear to be controlled by local “toggle” type wall switches with some ceiling mounted occupancy sensors. Also, there are occupancy sensor wall switches in the Toilet rooms and adjacent Janitor’s closet and Mechanical room. There are ceiling mounted exit signs throughout the floor that appear to provide proper coverage. Emergency lighting is made up of surface /ceiling mounted self-contained twin head fixtures and round & square “dead light” fixtures.

Existing power & data throughout the floor is made up from a mix of recessed & surface mounted receptacles along with power poles. There is a wall mounted network rack in the closet on the east side of the floor facing the north side classrooms.

There is an “area of refuge/rescue” two-way communications system located in both stairwells on the floor. The system appears to be in good working order.

There is a photovoltaic system installed with panels located on the roof of our building in addition to panels located on other buildings of school. The panels run back to inverters mounted on the exterior corner (south-west) of the Gymnasium building before connecting into the building’s main electrical distribution, located in a room on the exterior (south side) of the connecting building between our building and the Gymnasium.



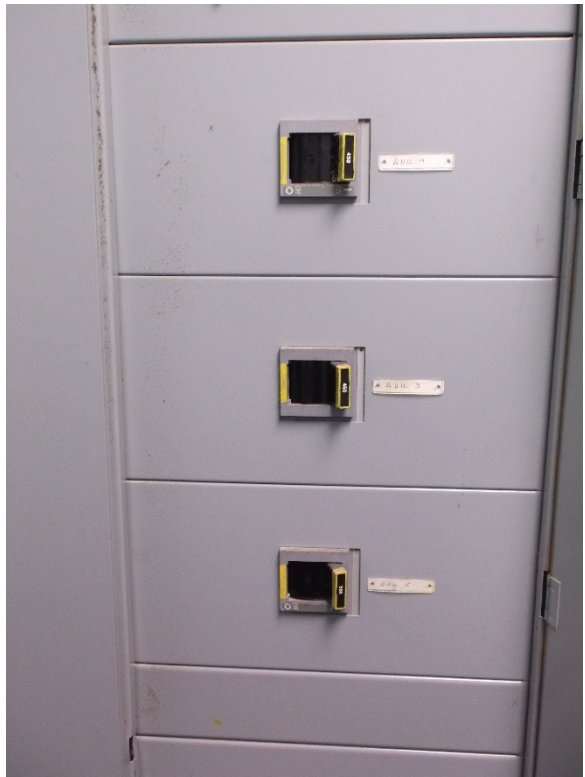
Old 'Federal Pacific' Panel



New 'G.E.' panel



New 'Siemens' Distribution panel (DP)





New 'Notifier' Fire alarm Control Panel in Main Office



Existing 2x4 light fixtures



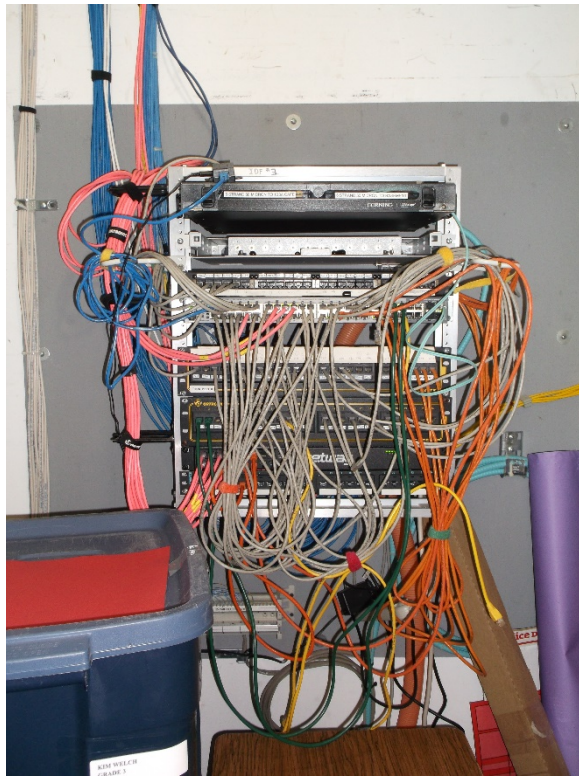
Existing "Curved" Valance light fixtures



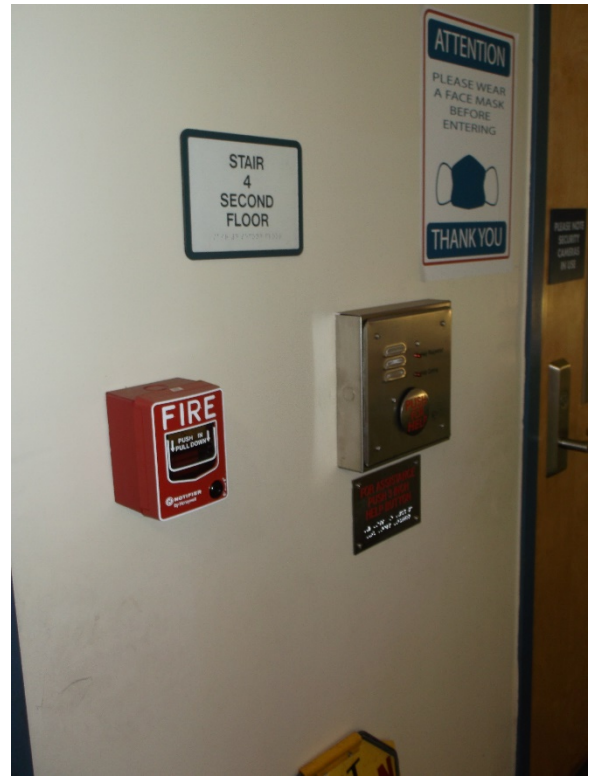
Recessed mounted receptacle



Surface mounted receptacle



Second Floor Network Rack



“Area of Refuge/Rescue” in Stair

Proposed Electrical Modifications

All existing light fixtures and associated controls (switches & sensors) will be removed throughout this space and be replaced with new recessed mounted LED fixtures, occupancy sensors and multi-level control light switches. Emergency lighting will be furnished by either integral fixture mounted battery units in some fixtures or self-contained emergency twin-head lighting units. New LED exit signs with emergency batteries will be installed throughout the floor.

The (2) existing, old recessed mounted electrical panels (P3 & P4) will be replaced with new panels of the same ampacity and breaker compliment to serve existing to remain and new loads.

The (2) existing newer electrical panels (CP3 & CP4) along with the existing distribution panel (DP) shall remain to serve existing and new loads.

All existing surface & recessed mounted electrical & data devices on existing exterior walls are to remain. All existing recessed electrical data devices on interior walls to remain that are not affected by new classroom walls are to remain. All other existing electrical & data devices shall be removed completely. New recessed mounted devices will be installed throughout in the new classroom walls.

New mechanical equipment required will be wired to either the existing distribution panel (DP) or the main switch board (208 volt).

The existing fire alarm devices will remain where not affected by the new classroom walls. New audio/visual devices will be in every classroom along with addition devices in the new corridors and support spaces as required. Additional smoke detectors will be added as needed for either new/revised mechanical units or from new space requirements.

Plumbing – Existing Conditions

The 2nd floor has two sets of gang toilet rooms, one accessible boys and one regular girls and one accessible girls and one regular boys. There are also accessible and regular classroom sinks.

The plumbing fixtures appear to be in fair condition and are roughly 26 years old. Some plumbing fixtures were upgraded to be handicap accessible.



No drainage piping issues were observed during the visit. If there is anecdotal evidence of drainage issues in the area, it is recommended that the buried pipes get scoped with a camera to determine the cause(s).

Plumbing – New Work

The existing plumbing fixtures on the second floor renovated area will be removed and replaced in similar locations. Fixtures will connect to existing piping. The classroom sinks will be removed and replaced in new locations. Every classroom will have an accessible countertop sink with new water and waste piping fed from the floor below. New vent piping will be run up to the second floor ceiling and connect to the existing vent through the roof.

Domestic Water Distribution

Domestic water piping shall be connected to the existing mains in the adjacent areas to where the new work shall be.

All domestic water piping shall be a copper distribution system with insulation. Use of non-metallic piping/tubing can be considered if the anticipated construction cost savings warrant further consideration, as can the use of copper press-type fittings and valves. Alternates are subject to owner approval prior to substitution. All piping and appurtenances shall be manufactured and installed in accordance with lead free standards

Service valves shall be provided as required by the International Plumbing Code and shall be supplemented to isolate major building areas.

Domestic water isolation/shut off valves for 2" and smaller shall be threaded, 2-piece, full port, 400psi ball valves. Domestic water isolation/shut off valves for 2-1/2" and larger shall be flanged valves. All valves 2" and smaller shall be threaded fittings with unions for replacement and maintenance.

Building Sanitary Drainage

The condition of underslab building sanitary piping mains will need to be evaluated. It is likely that original mains are viable and can be retained, but if there are any issues discovered upon inspection, the underslab piping shall require replacement. All sanitary waste and vent piping above slab, with the possible exception of selected piping in undisturbed walls, is expected to be replaced in coordination with new work.

All above ground sanitary drainage shall be cast iron service weight no-hub pipe and fittings. Piping 4" and smaller shall be 4-band super duty clamps similar to "Husky SD4000". Piping 6" and larger shall be 6-band super duty clamps similar to "Husky SD4000". All piping in plenum installations shall be UL listed for this application.

Building Natural Gas

Gas will be extended from the existing location to serve new rooftop gas-fired equipment. Pressure regulators shall be provided as required to meet pressure requirements of any equipment and/or distribution areas, and only in the model(s) indicated by the manufacturers written installation manuals.

All gas piping shall be schedule 40 black steel piping. Piping 2" and smaller shall be class 150 threaded fittings. Piping 2-1/2" and larger shall be schedule 40 welded fittings.

All gas valves 2" and smaller shall be threaded plug valves with unions on both sides of the valve for repair and maintenance. All gas valves 2-1/2" and larger shall be flanged plug valves.

Plumbing Fixtures

Water closets, urinals and lavatories will be fabricated of vitreous china. Water closets will be wall mounted and will utilize hard-wired electronic flush valves. Lavatories will also be wall-hung with floor-mounted carriers and will utilize hard-wired electronic faucets.

Water coolers with bottle fillers will be provided in accordance with ADA requirements.

Plumbing fixtures are to be ADA compliant and installed as such as required. All heights and mounting distances shall be coordinated with architect.

Pipe Insulation

Hot and cold domestic water, hot water recirculation, interior roof drainage piping and cooling condensate shall be insulated per code. Interior, above ground piping insulation shall be pre-formed mineral fiber with an all service jacket and self-sealing lap. Interior, above ground pipe fitting insulation shall be molded, pre-formed mineral fiber with a PVC jacket.

Hangers and Supports

All pipe hangers and supports shall be hot dipped galvanized. Threaded rod (min 3/8" diameter) and hardware shall be stainless steel. All fasteners into concrete shall be mechanical wedge type anchors; the use of powder actuated, or gas fastening is not allowed. All hangers and supports shall be capable of screw adjustment after piping is erected. Hangers in contact with copper or brass shall be dielectric, compatible with copper and brass alloy or provided with felt sleeve.

Contractor is responsible to provide additional structural supports for piping and equipment when the deck itself is not capable of such support.

Fire Protection – Existing Conditions

The existing building is fully sprinklered with pendent type exposed sprinklers and concealed sprinkler piping above the hung ceiling. Sprinkler piping and components appear to be in good condition.



The main sprinkler service enters in the lower level and is provided with a double check valve assembly to protect against cross contamination as required when the fire department pressurizes the system.



Fire Protection – New Work

For the renovation of the 2nd floor space with new walls and layouts, the existing sprinkler systems will mostly likely need to be removed and replaced to avoid conflict with new ceiling mounted equipment, ductwork, lighting, etc. New sprinkler system distribution piping and sprinklers will be provided for complete coverage per NFPA 13, coordinated with the work of all other trades.

It would be desirable to replace the existing exposed pendent sprinklers with flush mounted concealed sprinklers which would curtail people hanging things from them or accidentally hit which could cause discharge. It also would be more aesthetically pleasing as it is today's standards.

Design Criteria

Compliance with State and Local Codes, Owner's insurance carrier, and NFPA Standards will be required. Systems to be hydraulically calculated based upon the following information as required by NFPA 13.

- General Areas: Wet Pipe, Light Hazard

Density - 0.10 GPM/SF over the most remote 1,500 SF area with 100 GPM added for hose streams. Sprinkler heads rated at 165° spaced at 225 SF per head (maximum with smooth ceiling) with protection of all combustible concealed spaces.

Piping Materials

Interior Piping

Wet Pipe System

Schedule 40 black steel pipe and threaded fittings. For use with 2" and smaller.

Schedule 10 black steel pipe and roll-grooved fittings. For use with pipe 2-1/2" and larger.

Equipment

Sprinkler Heads

UL listed and/or FM approved automatic type, of proper temperature range, with installation meeting the conditions of listing and approval. Deflectors shall be marked to indicate proper installation position.

Upright and sidewall sprinkler heads in service areas, and areas not exposed to public view shall be bronze with glass bulb.

Upright and sidewall sprinkler heads in areas exposed to public view shall be bright chrome plated bronze with glass bulb.

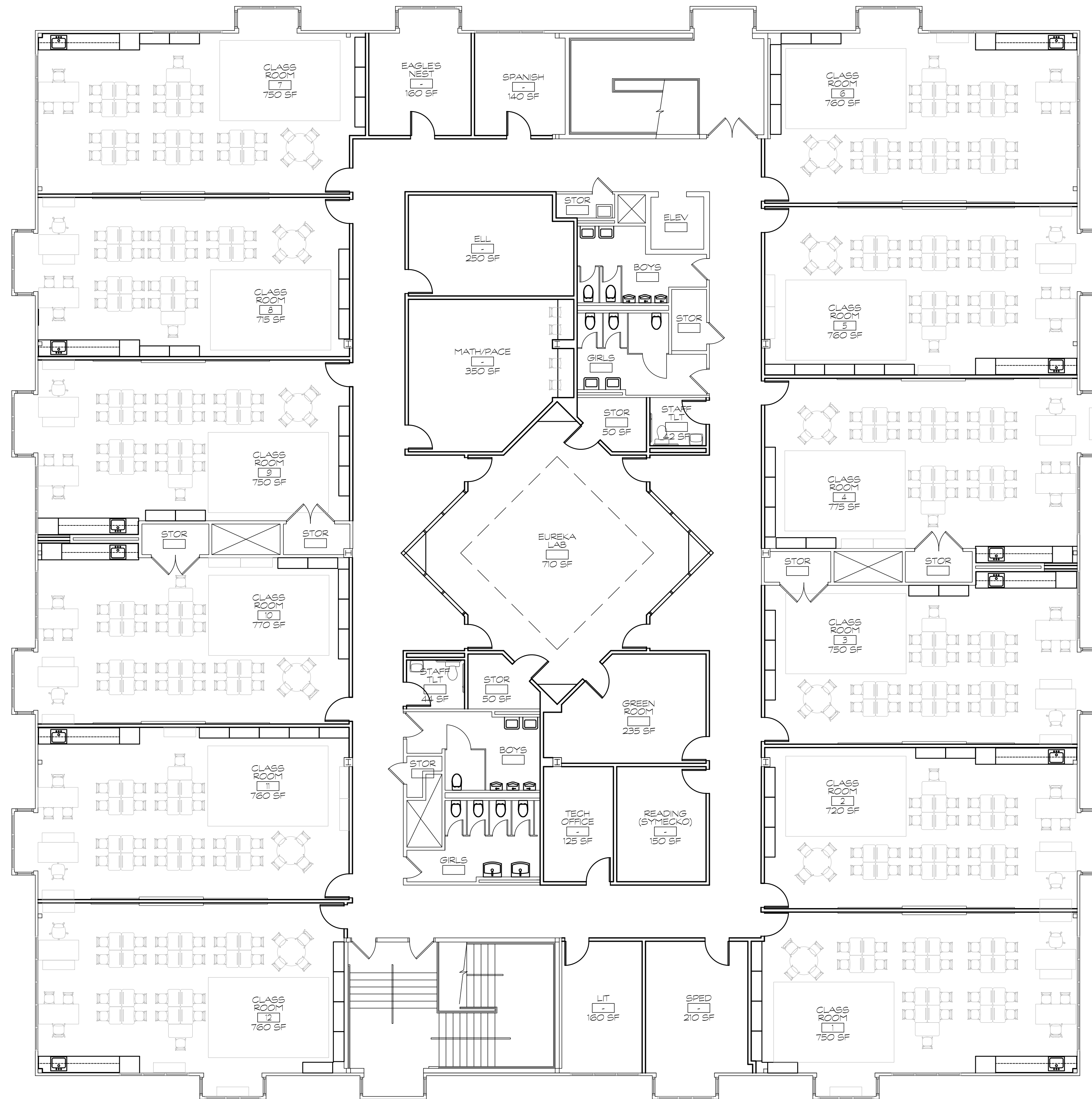
Concealed sprinkler heads will be bronze with a frangible glass bulb and the ceiling plate will match the ceiling color.

Head guards are required for heads in areas subject to mechanical damage, such as mechanical rooms, gymnasiums, etc.

Spare sprinkler heads will be provided for each type/rating and at least one sprinkler head wrench with suitable openings will be provided. A minimum of (1) sprinkler head for every 100 of each type will be provided and will be stored in a baked enameled steel cabinet with adequate size to contain spare heads and wrenches. The cabinet will be located in the Water Service Room.

Section III – Proposed Plan

The following proposed floor plan (SD-3) is the culmination of multiple programming and design review meetings held between Silver/Petrucelli and Associates, Inc. and Glastonbury Public Schools. All narratives, estimates and schedules within this report reflect the changes proposed in the attached plan.



Project Title:
Naubuc School Space Study

84 Griswold Street
Glastonbury, CT 06033



SILVER / PETRUCCELLI + ASSOCIATES

Architects / Engineers / Interior Designers
3190 Whitney Avenue, Hamden, CT 06519-2340
One Post Hill Place, New London, CT 06320
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucci.com

Revision	Description	Date	Revised By

Drawing Title:
Schematic Design
Option 3

Date:
June 11, 2021
Scale:
1/8" = 1'-0"
Drawn By:
JAL
Project Number:
21.053

Drawing Number:

SD-3

Section IV – Cost Estimate

COST ESTIMATE SUMMARY

The following is a summary of overall, anticipated project costs, based off of the previous systems narratives and SD-3 floor plan. The cost estimate includes all anticipated and applicable soft costs as well as contingencies typically included in a conceptual design cost estimate.

Naubuc Elementary School

2nd Floor Classroom Reorganization Study

6/11/2021

16,765 SF



Concept Design - Opinion of Probable Construction Cost

Task	Unit	takeoff Quantity	Total Cost / Unit	Total Project Development Cost
Division 1 - General Requirements				
01 00.00 General Conditions	Project	1	12.00%	\$252,000.00
01 41 26.50 Permits	Project	town permit waived	.26/1000	\$650.00
01 74 13.20 Final Cleaning	Job	1	0.30%	\$6,300.00
01 76 13.20 Temporary Protection	SF	16,765	\$1.50	\$25,147.50
Subtotal				\$284,098

Division 2 - Existing Conditions				
02 41 16.13 Building Demolition (remove doors)	EA	1	\$50.00	\$50
02 41 16.13 Building Demolition (remove HM frames)	EA	1	\$150.00	\$150
02 41 16.13 Building Demolition (remove gyp/stud walls)	SF	510	\$4.00	\$2,040
02 41 16.13 Building Demolition (remove ACT ceilings)	SF	16,765	\$1.25	\$20,956
02 41 16.13 Building Demolition (remove carpet)	SF	3,425	\$1.50	\$5,138
02 41 16.13 Building Demolition (remove FRP/gypsum wall coverings)	SF	5,200	\$2.00	\$10,400
02 41 16.13 Building Demolition (remove casework and shelving)	LF	95	\$25.00	\$2,375
02 41 16.13 Building Demolition (exterior wall openings)	SF	1,500	\$12.50	\$18,750
02 41 19.19 Dumpster 40 yard	EA	8	\$850.00	\$6,800
02 82 13.43 Bulk Asbestos removal (allowance)	LS	16,765	\$2.50	\$41,913
Subtotal				\$108,571

Division 3 - Concrete				
Subtotal				\$0

Division 4 - Masonry				
Subtotal				\$0

Division 5 - Metals				
05 42 13.30 Framed Headers (New Windows)	LF	275	\$25.00	\$6,875
05 42 13 Misc. Framing	LS	1	\$7,500.00	\$7,500
Subtotal				\$14,375

Naubuc Elementary School - Creating Classrooms from 2nd Floor Open Space Plan
Conceptual Cost Estimate

Division 6 - Woods, Plastics & Composites				
06 20 23 Interior Finish Carpentry (Base Cabinetry)	LF	120	\$450.00	\$54,000
06 20 23 Interior Finish Carpentry (Upper Cabinetry)	LF	120	\$400.00	\$48,000
06 20 23 Interior Finish Carpentry (Full Height Cabinetry)	LF	30	\$850.00	\$25,500
06 20 23 Interior Finish Carpentry (Cubbies)	LF	225	\$550.00	\$123,750
06 20 23 Interior Finish Carpentry (P-Lam Shelves on Standards)	LF	30	\$250.00	\$7,500
06 61 16 Solid Surface Fabrications (Window Sill)	EA	92	\$75.00	\$6,900
Subtotal				\$265,650

Division 7 - Thermal & Moisture Protection				
Roof Modifications (New RTU and Exhaust)	LS	1	\$2,500.00	\$2,500
07 65 10.10 Sheet Metal Flashing	SF	800	\$8.50	\$6,800
07 91 23.10 Backer Rods	LF	1,250	\$1.30	\$1,625
07 92 13.20 Caulking & Sealants	LF	2,500	\$2.75	\$6,875
Subtotal				\$17,800

Division 8 - Openings				
08 12 13.13 Standard Hollow Metal Door Frames (single)	EA	30	\$500.00	\$15,000
08 13 13.13 Standard Hollow Metal Doors (single)	EA	2	\$850.00	\$1,700
08 14 16.09 Smooth Wood Doors (single door)	EA	28	\$650.00	\$18,200
08 41 26.10 Window Walls Aluminum	SF	1,800	\$100.00	\$180,000
08 71.20.15 Door Hardware	EA	30	\$1,200.00	\$36,000
Subtotal				\$250,900

Division 9 - Finishes				
09 21 16.33 Partition walls (ext. walls clad w/gyp bd.)	SF	5,400	\$3.00	\$16,200
09 21 16.33 Partition walls (int. 6" walls w/gyp. bd.)	SF	15,700	\$8.00	\$125,600
09 30 13.10 Ceramic Tiling (toilet room floors)	SF	610	\$10.00	\$6,100
09 30 13.10 Ceramic Tiling (toilet room wall tile base)	SF	265	\$9.00	\$2,385
09 30 13.10 Ceramic Tiling (toilet room full height wall tile)	SF	2,385	\$9.00	\$21,465
09 51 23 Suspended Ceiling	SF	16,765	\$6.00	\$100,590
09 65 13 Resilient Base and Accessories (Wall Base)	LF	2,750	\$4.00	\$11,000
09 65 16 Resilient Tile Flooring (VCT - Corridor)	SF	2,030	\$5.00	\$10,150
09 84 13 Sound Absorbing Wall Units	SF	125	\$28.00	\$3,500
09 91 23.39 Interior Painting (Doors/Frames)	EA	30	\$250.00	\$7,500
09 91 23.74 Interior Painting (Painted Walls)	SF	24,750	\$2.00	\$49,500
Subtotal				\$353,990

Division 10 - Specialties				
10 11 16.13 Fixed Markerboards (White Board)	EA	30	\$1,125.00	\$33,750
10 11 23.10 Fixed Tackboards	EA	30	\$432.00	\$12,960

Naubuc Elementary School - Creating Classrooms from 2nd Floor Open Space Plan
Conceptual Cost Estimate

10 14 00 Signage (Allowance)	LS	1	\$5,000.00	\$5,000
10 21 13.19 Plastic Toilet Compartments (HC)	EA	2	\$1,800.00	\$3,600
10 21 13.19 Plastic Toilet Compartments (standard)	EA	8	\$1,500.00	\$12,000
10 21 13.19 Plastic Toilet Compartments (urinal screen)	EA	4	\$950.00	\$3,800
10 28 13.13 Grab Bar Sets	EA	4	\$750.00	\$3,000
10 28 13.13 Toilet Accessories Set (PT/Mirror/Waste/TP/etc)	EA	6	\$1,500.00	\$9,000
Subtotal				\$71,110

Division 11 - Equipment

11 53 19 Laboratory Sterilizers (UV Goggle Cabinet)	EA	0	\$0.00	\$0
Subtotal				\$0

Division 12 - Furnishings

12 24 13.10 Roller Window Shades, Manual	EA	32	\$500.00	\$16,000
12 36 61.16 Solid Surface Countertops	SF	325	\$125.00	\$40,625
Subtotal				\$56,625

Division 21 - Fire Suppression

21 13 13 Demolition of existing sprinkler systems	LS	1	\$2,000.00	\$2,000
21 13 13 Wet-Pipe Sprinkler system (Revise, Incl Demo)	ea	117	\$225.00	\$26,325
21 01 00 FP as-builts, shop drawings,	LS	1	\$500.00	\$500
Subtotal				\$28,825

Division 22 - Plumbing

22 05 05.10 Plumbing Demo (not incl. lift & other special systems)	LS	1	\$2,500.00	\$2,500
22 05 23.20 General Duty Valves, Lead-Free DZR Bronze	ea	3	\$250.00	\$750
22 05 53.10 Plumbing Identification	LS	1	\$150.00	\$150
22 05 76.20 Cleanouts/ tees	ea	3	\$530.00	\$1,590
22 07 19.10 Pipe Insulation (dom. wtr only)	LS	1	\$1,200.00	\$1,200
22 11 13.23 Pipe/Tube, Copper Type L (dom. wtr)	LS (incl fittings/hangers)	1	\$2,500.00	\$2,500
22 11 13.74 Pipe, PEX tube (primer feeds)	LS	1	\$50.00	\$50
22 11 19.18 Mixing Valves	ea	12	\$200.00	\$2,400
22 11 19.34 Sleeves and Escutcheons	LS	1	\$250.00	\$250
22 13 16.20 Pipe, PVC (SAN/V)	LS (incl fittings/hangers)	1	\$5,000.00	\$5,000
22 13 16.60 Traps/Trap Primers	ea	1	\$1,000.00	\$1,000
22 13 16.80 VTR - location adjust. to suit new HVAC - Allowance	LS	1	\$1,500.00	\$1,500
22 13 19 Condensate Drain PVC-40, 1/2" wall FG w/ASJ	LF	100	\$24.00	\$2,400
22 41 16.13 Lavatory (wall-mount)	ea (incl rough-in)	10	\$1,500.00	\$15,000
22 42 39.10 (Comm) Faucets/Fittings-Lav Faucet	ea (sensor)	10	\$600.00	\$6,000
22 42 13.13 Water Closets - Wall-Mount)	ea(incl rough-in, carrier)	12	\$3,100.00	\$37,200
22 42 13.16 Urinals - Wall-Mount	ea(incl rough-in, hanger)	3	\$2,000.00	\$6,000

Naubuc Elementary School - Creating Classrooms from 2nd Floor Open Space Plan
Conceptual Cost Estimate

22 42 16. 30 Classroom/Etc. SS Counter Sink, faucet/strainer	ea (incl rough-in)	12	\$2,700.00	\$32,400
22 42 16.40 Service Sinks	ea (incl rough-in)	1	\$2,700.00	\$2,700
22 42 39.10 (Comm) Faucets/Fitts-Flush Va WC	ea (sensor)	12	\$800.00	\$9,600
22.42 39.10 (Comm.) Faucets/Fitts- Flush Va-UR	ea (sensor)	3	\$500.00	\$1,500
22 42 39.10 (Comm) Faucets/Fitts-serv sink faucet	ea	1	\$175.00	\$175
22.47 16.10 Bilevel Water Cooler with Bottle Filler	ea (incl. rough-in, support)	2	\$3,000.00	\$6,000
23 11 23 Gas Piping (ASTM A53, Type E or S, Grade B)	LS	1	\$12,000.00	\$12,000
Subtotal				\$149,865

Division 23 - Heating, Ventilating & AC

Mobilization	LS	1	\$20,000.00	\$20,000
23 05 00 HVAC Demolition	LS	4	\$7,500.00	\$30,000
23 74 14 RTU	EA	4	\$100,000.00	\$400,000
23 05 48 Vibration and Seismic Controls (RTU)	LS	4	\$1,500.00	\$6,000
23 05 93 Testing and Balancing	LS	1	\$5,000.00	\$5,000
23 07 13 Duct Insulation	LS	1	\$25,000.00	\$25,000
23 07 19 HVAC Piping Insulation	LS	1	\$5,000.00	\$5,000
23 09 23 DDC System (includes mech contractor's markup)	LS	1	\$30,000.00	\$30,000
23 21 13 Hydronic Piping	LS	1	\$10,000.00	\$10,000
23 31 13 Metal Ducts	LS	1	\$75,000.00	\$75,000
23 33 00 Air Duct Accessories	LS	1	\$400.00	\$400
Subtotal				\$606,400

Division 26 - Electrical

26 05 09 - Electrical Demolition	LS	1	\$16,000.00	\$16,000
26 05 19 - Low Voltage Power Conductors	LS	1	\$20,000.00	\$20,000
26 05 33 - Raceway & Boxes	LS	1	\$15,000.00	\$15,000
26 09 23 - Lighting Control Devices	LS	1	\$10,000.00	\$10,000
26 24 16 - Panelboards (Replace 2-Existing)	LS	1	\$10,000.00	\$10,000
26 27 26 - Wiring Devices	LS	1	\$7,500.00	\$7,500
26 28 16 - Enclosed Switches & Circuit Breakers (HVAC conn.)	LS	1	\$16,000.00	\$16,000
26 51 19 - LED Interior Lighting	LS	1	\$65,000.00	\$65,000
26 52 19 - Emergency & Exit Lighting	LS	1	\$5,000.00	\$5,000
26 28 16.1 - Enclosed Sw. & C.B.'s (Owner's Equipment)	LS	1	\$5,000.00	\$5,000
26 27 19 - Multi-Outlet Assembly	LS	1	\$7,500.00	\$7,500
Subtotal				\$177,000

Division 27 - Communications

27 15 00 - Comm Horizontal Cabling & Drops	LS	1	\$22,500.00	\$22,500
27 51 16 - Phone & Public Address System	LS	1	\$2,500.00	\$2,500
27 51 23 - Educational Intercommunications System	LS	1	\$25,000.00	\$25,000

Naubuc Elementary School - Creating Classrooms from 2nd Floor Open Space Plan
Conceptual Cost Estimate

27 53 13 - Wireless Clock System	LS	1	\$1,000.00	\$1,000
Subtotal				\$51,000

Division 28 - Electronic Safety & Security

28 31 11 - Fire Alarm System (Relocate Existing)	LS	1	\$7,500.00	\$7,500
28 05 00 - Security Conductor Cables	LS	1	\$2,000.00	\$2,000
28 13 00 - Access Control System	LS	1	\$1,000.00	\$1,000
28 16 00 - Intrusion Detection System	LS	1	\$1,000.00	\$1,000
28 23 00 - Video Surveillance System	LS	1	\$1,000.00	\$1,000
Subtotal				\$12,500

Naubuc Elementary School - Creating Classrooms from 2nd Floor Open Space Plan
Conceptual Cost Estimate

Construction Total	\$2,448,709
Contingency @ 15%	\$367,306
Total Construction Cost	\$2,816,015

Cost Per S.F.(16,765 s.f.)	\$167.97
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SOFT COSTS

A/E Design Fees	7%	\$197,121
Printing Allowance		\$1,000
Special Inspections		\$2,500
Temporary Moving/Storage Costs		\$10,000
Escalation (2022 Bid)	5%	\$140,801

TOTAL PROJECT COST	\$3,167,437
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- EXCLUSIONS**
- Environmental Design/CA/Monitoring Fees
 - FF&E (not specified above)
 - Financing Costs
 - CM/Program Manager/Clerk of Work Fees

Section V – Appendix (Existing Space Program)

TOWN OF GLASTONBURY - NAUBUC ELEMENTARY SCHOOL - 2nd FLOOR REORGANIZATION STUDY

84 Griswold Street

EXISTING SPACE PROGRAM

April 22, 2021

SPACE COMPONENT	EXISTING SQUARE FOOTAGE			Comments
	No.	Area NSF	Total NSF	
GENERAL CLASSROOMS				
2nd GRADE (Roberson)	1	1002	1,002	
2nd GRADE (Perrault/Zuba?)	1	1202	1,202	
2nd GRADE (Gannon)	1	880	880	
2nd GRADE (Nash)	1	1026	1,026	
3rd GRADE (Hassett)	1	996	996	
3rd GRADE (Welch)	1	1056	1,056	
3rd GRADE (McWilliams)	1	1140	1,140	
3rd GRADE (Bellerose)	1	980	980	
TOTAL CLASSROOM SF (2nd and 3rd GRADE)			8,282	
AVERAGE CLASSROOM SF			1,035	
SPECIALTY CLASSROOMS, OFFICES & TUTORING				
Eureka Lab				
General Lab	1	615	615	
Green Screen	1	188	188	
Total Eureka Lab			803	
PACE	1	132	132	
Tech Classroom / Office	1	284	284	
SPED Office	1	126	126	
SPED Office	2	90	180	
Spanish	1	335	335	
Reading (Symecko)	1	180	180	
TUTORING				
SPED (Sullivan)	1	150	150	
Lit (Besthoff)	1	220	220	
ELL (Howard)	1	256	256	
Math	1	385	385	
Total Tutoring	1	1011	1,011	
Eagle's Nest	1	276	276	
TOTAL SPECIALTY, OFFICES & TUTORING			3,327	

SPACE COMPONENT	EXISTING SQUARE FOOTAGE			Comments
	No.	Area NSF	Total NSF	
SUPPORT SPACES				
Storage				
Classroom Storage	4	32	128	
General Storage	1	33	33	
Custodial Storage (Roof Access)	1	22	22	
Custodial Storage	1	15	15	
Total Storage			198	
Toilet Rooms				
Boy's Room 1	1	143	143	
Boy's Room 2	1	157	157	
Girl's Room 1	1	162	162	
Girl's Room 2	1	157	157	
Staff	1	38	38	
Total Toilet Rooms			657	
TOTAL SUPPORT			855	
TOTAL BUILDING NET SQUARE FOOTAGE			12,464	
Circulation & Structure (28%)			4,830	
TOTAL BUILDING GROSS SQUARE FOOTAGE			17,294	

**GLASTONBURY BOARD OF EDUCATION
EXECUTIVE SUMMARY REPORT FORM**

Title of Report: Update of CIP and Special Projects - 2021

Board Meeting Date: July 12, 2021

Action:

Report: X

Information:

Discussion:

The following is a brief update on Capital Projects and Other Projects underway this summer.

1. High School Field House Construction

This capital project began in the spring and is approximately 50% completed. Delays have mostly been due to the discovery of unsuitable soil conditions under the existing building area of the old structure. Town crews and the General contractor hired by the Town have worked together to keep the project moving. Town Public Works crews have done outstanding work with site condition to help keep the project moving forward.

2. Smith School Gymnasium Floor Replacement

The Town secured bids for this Capital project in May and the contractor mobilized to begin work after the last day of school. As of this writing the existing floor in both gyms have been removed and the concrete slab was sanded down smooth of any residual materials. The slab condition has confirmed the previous moisture conditions were above the slab and not from the subsurface soil. As an extra precaution, dehumidification units were put in place to reduce RH as much as possible. The new floor system will be installed over the next 4 weeks and the goal is to complete the project by early august.

3. Gideon Welles Classroom Renovations.

The project was initiated in order to repurpose certain classrooms (formally storage or offices) for incoming students this fall. Renovations included restoration and upgrades to provide the necessary systems and common materials needed for classroom use. Additionally, the rooms are being outfitted with new heating and cooling units similar to equipment installed a year ago by Town contractors. Once completed by early August, these spaces will provide a functional, safe ergonomic space for incoming students and instructors. The project has been a combination of work by hired contractors and our Maintenance staff. Work has been coordinated and managed by our Supervisor of Maintenance. My inspection of the work has again confirmed the abilities of our in-house staff and the great work they are capable of performing.

4. STEAM Lab Construction Phase

Construction drawings and specifications are nearly complete and we are scheduled to let bids out for construction on or about August 16th with the goal to recommend an award of a general contractor by early September. We have completed the required pre-construction inspections and sampling of building materials to determine the extent of abatement needed prior to construction. As a result, in the next couple of weeks, we will be performing some environmental abatement activity within areas of the existing lab which must be done in order to not delay the demolition phase once the general contractor is retained. The construction phase is estimated to last about 12 months. Construction management oversight will be performed by me and our Supervisor of Maintenance. The project is estimated to be completed by August 2022.

5. Naubuc School- 2nd Floor Classroom Reorganization Study

The architectural and engineering study for Naubuc School was completed mid-June. This was to evaluate the feasibility of renovating the second floor from the current open plan space into fully partitioned classrooms. The second floor currently houses (8) large size classrooms (average 1,035 sf) plus tutoring and support spaces. This section of the building was built in 1968 with a total gross floor space is 17, 294 square feet. If we proceeded with this work and designed the new partitioned space, we are able to have a total of (12) classrooms plus the other support spaces (attached plan). The work would include all new interiors and code compliance (MEP, fire, sprinklers, bathrooms, sinks/cabinetry in all classrooms). While the price tag is estimated at \$3.1M it is something we may want to consider when you factor in the cost of a new school addition (excluding land costs) to be in the range of \$9M.

6. School Locker Replacements

This project, regrettably has slipped in our timeline to complete the work by summer of 2021. This primarily is due to the availability of locker materials that we intended to match to the existing style and sizes. The original locker styles were somewhat unique and no longer made therefore additional research was required to come up with options that would suit the needs of the schools. Locker replacements can be something I believe can be installed after school hours during the school year. Once we complete the plans of the units, I will ask the Town to put bids out so we can complete this project.

7. List of Operations & Maintenance underway or completed.

a) Fire & Life Safety Inspections, Testing and Repairs - Districtwide

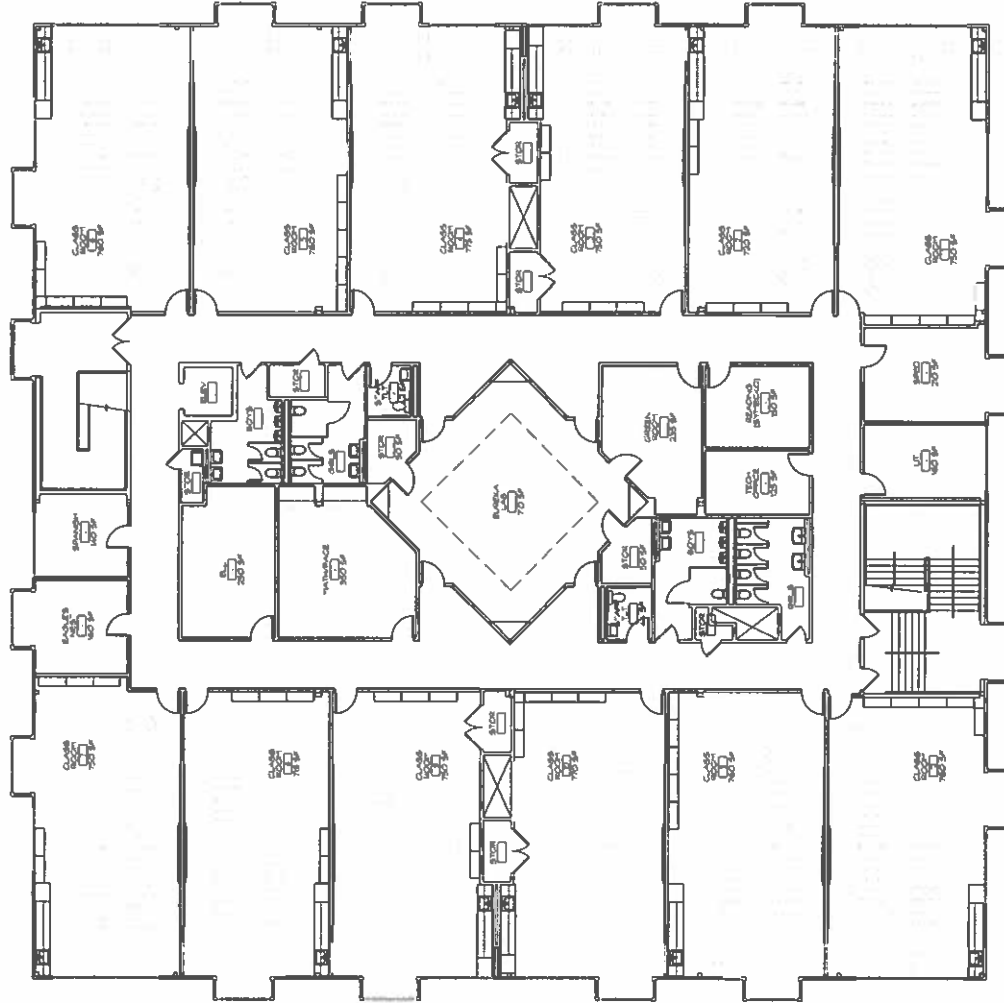
All our school buildings will be serviced this summer and meet the highest level of safety with respect to fire and life safety codes. Per fire codes, all building life safe safety systems and devices must be inspected, tested and returned to normal operations during the summer school shutdown. This includes fire alarms, smoke detection, fire extinguishers, emergency lighting, exit lighting, fire sprinklers, egress doors, science fume hoods, kitchen hood inspections and cleaning, smoke hatches as well as fire hydrants and fire tanks. Our inspection and testing contractors along with our in-house staff perform these tasks throughout all schools in coordination with the Town Fire Marshal's Office.

b) Routine Maintenance

- Custodial – deep cleaning of buildings including carpet shampoo/extraction and floor finishes
- Districtwide Roof Maintenance/Repairs
- HVAC Filter/Belts replacement
- HVAC Cleaning, Servicing and Repairs
- Carpet Replacement
- Bathroom Partitions Replaced
- Lighting Upgrades (LED-Light Emitting Diodes)
- Concrete Sidewalk Repairs

Submitted By: Al Costa

Reviewed By: Alan Bookman



Project Name
Naubuc School Space Study

84 Graywold Street
 Glastonbury, CT 06033



SILVER / PETRUCELLI ASSOCIATES
 Architects / Engineers / Interior Designers
 3100 Whalley Avenue, Hamden, CT 06519-2540
 One Post Hill Place, New London, CT 06320
 Tel: 203 239 9607 Fax: 203 239 8247
 silspet@msn.com

Revision	Description	Date	Drawn By

**Schematic Design
 Option 3**

Project Number
SD-3
 Date: 11/11/03
 Drawn By: JLL
 Checked By: JLL
 Project Name: 11-031

2021 Annual Technology Report

Glastonbury Public Schools
Technology & Information Services Department
July 12, 2021



We need technology in every classroom and in every student and teacher's hand, because it is the pen and paper of our time, and it is the lens through which we experience much of our world.

—David Warlick

Chris Macca, Chief Technology Officer



2020-21 Accomplishments

Supporting both in-Person and eLearning Students

The TIS Department's greatest challenge and biggest success this year was the support of the district's eLearning initiatives despite regular changes in school operations. As we all quickly learned, flexibility, adaptability and creative problem solving were required. The TIS Department responded to new health and safety expectations by adapting our typical methods of support and by keeping student, faculty, and staff safety at the forefront.

We invented new ways of supporting the end users without actually being physically next to them. It can be challenging to troubleshoot a technical issue when you cannot watch over somebody's shoulder while they demonstrate and explain an issue. With each passing day, our staff members learned new ways to support the eLearners. Again, understanding the issue that a student is describing is the critical first step. Only then can we begin to explore solutions for these remote learners. The Technology Specialists' dedication and determination to solve technical problems shined through every time they were called on for help.

New Software and Subscriptions

Several applications were introduced at the start of the school year and they required setup, configuration and rollout. A few examples are SeeSaw, GoFormative, Zoom, and Lexia. Each of these came with individual needs, installation protocols, and associated training. Five in one year is a lot, but there was no saying no this past school year!

PowerSchool and Student Data

Building Technology Specialists were not the only technology staff performing above and beyond to ensure smooth school operations. The data team put in very long days to ensure our data systems were up to date and configured properly to support in-building and eLearning instruction. Transforming the high school schedule from an 8 period day to a block schedule was an intensive undertaking. Typically, this would call for about a year of planning ahead. It was planned and implemented in just a few weeks. Meanwhile, other members of the data team were busy helping coordinate constant changes in busing routes.

We did have our hiccups along the way, but the data team was able to straighten them out very quickly with very little impact to the opening of school. In addition to remodeling schedules and bus routes, the data team supported student access to the usual applications such as Destiny (library), Google, and RazKids, plus the many new applications this year. The modern demands for data importing, exporting, sharing and syncing just keep growing every year.



Graduation

Graduation was again a bit different this year. Our multimedia services employees worked closely with the Glastonbury High School administrators to record the graduation ceremony without the use of the equipment from Cox Communications. A video is being created with various camera angles and it will soon be posted online for the Class of 2021 and their families to view.

The specialists were very creative this year as they were asked by different schools and departments to develop new methods for recording the speeches and ceremonies for those unable to attend in person. They worked tirelessly to produce professional quality videos, at no extra cost to the district.

Five-Year Technology Replacement Plan

2021-22	2022-23	2023-24	2024-25	2025-26
Elementary Schools	Glastonbury High School	Glastonbury High School	Smith Middle School/Gideon Welles	Smith Middle School/Gideon Welles

The TIS Department implements a 5-year replacement plan for school technology equipment. This includes staff, student, and office equipment as well as infrastructure, planetarium equipment, etc.

Elementary school equipment is replaced in a single year. Equipment replacement at Glastonbury High School is spread over two years. Equipment at Smith Middle School and Gideon Welles School are also replaced (both schools simultaneously) over two years. The plan helps us ensure equity for teachers and students across all grade levels. It also helps us keep replacement costs somewhat steady through the years. However, the cost of laptops and desktops has increased of late, which is reflected in our estimates for future years.



Technology Replacement Plans (Hardware)

2021-2022 (This Year) Elementary Schools, iPad Leases, and Infrastructure

In accordance with our 5-year replacement plan, the technology in our elementary schools is updated in a single year. During the 2021-2022 school year, we plan to replace the following:

- **Elementary Faculty and Staff laptops**—Teachers had the option of requesting an Apple MacBook or a Windows laptop. Approximately 75% of the teachers chose to switch to a MacBook for 2021-2022. Professional development is being offered during the summer to assist these teachers in making the switch in operating system.
- **Desktop Computers**—Desktop computers located in a few locations at each school—school offices, libraries, etc.—will be replaced.
- **iPad Cases, Keyboards and Headsets**—Cases are purchased with each new iPad lease. During 2021-22 school year, we will replace iPads for students in grades 4, 7 & 10. In addition, each year we replace broken and worn keyboards and headsets across all grades.
- **Apple TVs, Switches, and Power Injectors**—These items support wireless instruction and the network backbone.

2022-2023 (Next Year) 1st year of GHS, iPad Leases, and Infrastructure

In accordance with our 5-year replacement plan, the technology in Glastonbury High School is updated over two years. During the 2022-2023 school year, we plan to replace the following:

- **Faculty and Staff laptops**— GHS Teachers will have the option of requesting an Apple MacBook or a Windows laptop.
- **iPad Cases, Keyboards and Headsets**—Cases are purchased with each new iPad lease. During 2022-23 school year, we will replace iPads for students in grades K-4, 7 & 10. The current leases in grades K-4 will need to be returned during the summer of 2023 and we will need to enter into new leases for iPads with more storage space to ensure the iPads will last 4 years. In addition, each year we replace broken and worn keyboards and headsets across all grades.
- **Infrastructure - Virtual Servers and Storage**—These items are critical to the smooth, reliable and secure operations of our school system. Similar to other computing equipment, they need to be periodically replaced. The virtual servers include security servers that support user logins, secure storage of files and databases, and software that we use in several specialty labs such as World Languages, computer aided design (CAD), and video editing.



Technology Replacement Costs (Hardware)

2022-2023 Projected Replacement items:

iPad Leases Grades K-12 students and staff	\$875,000
GHS School Laptops Certified Staff	\$350,000
Infrastructure Virtual Servers and Storage	\$100,000
iPad Related New iPad cases grade K-4, 7 & 10, replacement keyboards, headsets	\$200,000
Total:	\$1,525,000

2023-2024 Projected Replacement items:

iPad Leases Grades K-12 students and staff	\$875,000
GHS Specialty Labs and Desktop Computers World Language Lab, CAD, Art Lab, Graphics, etc.	\$350,000
Infrastructure Switches, Projectors and Apple TVs	\$100,000
iPad Related New iPad cases grade K, 7 & 10 replacement keyboards, headsets	\$100,000
Total:	\$1,425,000

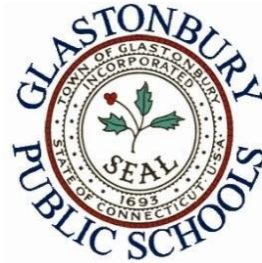


Technology Software and Subscriptions

As referenced in the accomplishments section, the district has introduced several new software programs and online subscriptions during the past school year to help support remote learning. These include, for example, SeeSaw, Zoom, and Formative. We were able to absorb the costs of some of these into our 2020-2021 school budget due to past multiyear purchases, negotiations with vendors for little or no yearly increases, and the elimination of software or subscriptions that were not being used to the fullest.

During school year 2022-23, we anticipate the need to increase the software line item within the TIS budget to cover the renewal expense of some other software programs, including those on a multiyear agreements and those renewals which were delayed. Two examples are Sophos Intercept X, our malware/ransomware desktop software, and Apple Volume Purchasing, our purchasing program for new iPad Apps.

The current (2021-2022) software budget is \$560,000 and we expect to need to increase it in 22-23 by a minimum of \$60,000 for a total expense of \$620,000.



GLASTONBURY BOARD OF EDUCATION

Douglas C. Foyle, Ph.D, Chair
Julie Thompson, Vice Chair
Rosemary Coggeshall, Secretary
Alison Couture
Ray McFall
David Peniston, Jr.
Matthew Saunig
Evan Seretan

CENTRAL OFFICE ADMINISTRATION

Alan B. Bookman, Ph.D., Superintendent
Cheri Burke, Assistant Superintendent
Matthew H. Dunbar, Assistant Superintendent

LINKS DATA – June 15, 2021

LINKS Students

	# Glastonbury Students	# Tuition Students from other Towns
Grades K-2	7	3
Grades 3-5	8	1
Grades 6-8	11	4
Grades 9-12	25	6
Post Grad	14	2
Total	65	16

Annual Tuition Charged for each Out-of-Town Student – base tuition (related services billed per IEP hours)

Tuition	2021-2022
	\$55,000

Total Tuition Received 2020-2021 - \$1,187,137

Estimated Annual Out-of-District Costs for Glastonbury Students without LINKS

Grade Level	Annual Costs
Elementary	\$1,050,000
Secondary	\$2,520,000
Post Grad	\$1,100,000
Total Estimated Gross Costs	\$4,670,000

Estimated Savings for GPS from LINKS

Estimated Gross Costs without LINKS	Estimated LINKS Costs	Net Savings
\$4,670,000	\$1,989,000	2,681,000

Future Eastbury Maintenance Fund

Fiscal Year	2018-2019 contributed	2019-2020 Contributed	Projected 2020-2021 Contribution	Projected Total
Eastbury Maintenance Reserve	\$150,000	\$300,000	\$300,000	\$750,000

BOARD OF EDUCATION REGULAR MEETING

June 28, 2021 7:00 PM
Board of Education Meeting
Glastonbury Town Hall
Town Council Chambers
2155 Main Street
Glastonbury, CT 06033

Attendance Taken at 7:00 PM:

Present Board Members:

Mrs. Rosemary Coggeshall
Mrs. Alison Couture
Dr. Douglas Foyle
Mr. Ray McFall
Mr. David Peniston, Jr.
Mr. Matthew Saunig
Mrs. Julie Thompson
Mr. Evan Seretan

Also Present: Alan B. Bookman, Superintendent
Matthew Dunbar, Assistant Superintendent
Cheri Burke, Assistant Superintendent
Citizens and Staff Members, representatives of the press

1. Call to Order

Dr. Foyle called the meeting to order at 7:00 pm, followed by the Pledge of Allegiance.

2. Pledge of Allegiance

3. Informal Session for Public Comment

Henry von Wodtke, 1931 Main Street, addressed the Board regarding EEO/CRT.

Jane Benson, 489 Chestnut Hill Road, addressed the Board regarding CRT.

Julia Benson, 489 Chestnut Hill Road, addressed the Board regarding the mask policy in schools.

Nick Korn, 73 Shagbark Road, addressed the Board regarding CRT and the equity and social justice initiative in GPS.

Jacqueline Weiss, 25 Lazy Valley Road, addressed the Board regarding mask policy in the schools.

Emily Daigle, 71 Sherwood Drive, addressed the Board regarding the equity and social justice initiative in GPS.

Chris Haaf, 34 Strickland Street, addressed the Board regarding CRT.

Vivian Lovelace, addressed the Board regarding mask policies in the schools.

Stephen Michaels, 225 Grandview Drive, addressed the Board regarding technology programs used in the schools.

Miles Ingram, 61 Boulder Circle, addressed the Board regarding CRT.

Igor Fuksman, 134 Highwood Drive, addressed the Board regarding CRT.

Mary Damato, 232 Dayton Road, addressed the Board regarding the mask policies in schools for the upcoming school year.

4. Special Reports

5. Business Requiring Action

5.a. Approval of Glastonbury-East Hartford Elementary School Budget for 2021-2022 School Year

The GEHMS budget was accepted for first reading at the 6/14/2021 meeting.

Motion Passed: Board approves the Glastonbury-East Hartford Elementary School Budget for 2021-2022 School Year passed with a motion by Mrs. Julie Thompson and a second by Mrs. Rosemary Coggeshall.

Mrs. Rosemary Coggeshall	Yes
Mrs. Alison Couture	Yes
Dr. Douglas Foyle	Yes
Mr. Ray McFall	Yes
Mr. David Peniston, Jr.	Yes
Mr. Matthew Saunig	Yes
Mrs. Julie Thompson	Yes
Mr. Evan Seretan	Yes

5.b. Approval of Superintendent's Contract 2021-2024

Dr. Foyle provided an overview of changes to the Superintendent's contract for the Board.

Motion Passed: Board approves the 2021-2024 Superintendent's contract. In addition the Board agrees to pay the Superintendent for ten (10) unused vacation days during the 2020-2021 school year passed with a motion by Mrs. Julie Thompson and a second by Mrs. Rosemary Coggeshall.

Mrs. Rosemary Coggeshall	Yes
Mrs. Alison Couture	Yes
Dr. Douglas Foyle	Yes
Mr. Ray McFall	Yes
Mr. David Peniston, Jr.	Yes
Mr. Matthew Saunig	Yes
Mrs. Julie Thompson	Yes
Mr. Evan Seretan	Yes

6. Reports and Discussion

6.a. Student Summer Programs

Cheri Burke, Assistant Superintendent provided an overview of the Student Summer Programs for the Board.

6.b. Early Learning Center (ELC) Update

Matt Dunbar provided an update on the Early Learning Center enrollment and operations for the Board.

6.c. Glastonbury Education Foundation

7. Approval of Minutes

7.a. Meeting Minutes of June 14, 2021

Motion Passed: Motion to approve the minutes of the June 14, 2021 meeting passed with a motion by Mrs. Julie Thompson and a second by Mrs. Rosemary Coggeshall.

Mrs. Rosemary Coggeshall	Yes
Mrs. Alison Couture	Abstain
Dr. Douglas Foyle	Yes
Mr. Ray McFall	Abstain
Mr. David Peniston, Jr.	Yes
Mr. Matthew Saunig	Yes
Mrs. Julie Thompson	Yes
Mr. Evan Seretan	Yes

8. Committee Reports

9. Chairman's Report

Dr. Foyle provided his Chairman's report for the Board.

10. Superintendent's Report

10.a. School Suspension Report, June 2021

10.b. Dates to Remember

Dr. Bookman provided an overview of his superintendent's report for the Board. He shared information on the new program used for board meetings named Boardbook, beginning with the July 12, 2021 meeting.

11. Adjournment

The meeting adjourned at 8:40 pm.

Motion Passed: Motion to adjourn the meeting passed with a motion by Mrs. Julie Thompson and a second by Mrs. Rosemary Coggeshall.

Mrs. Rosemary Coggeshall	Yes
Mrs. Alison Couture	Yes
Dr. Douglas Foyle	Yes
Mr. Ray McFall	Yes
Mr. David Peniston, Jr.	Yes
Mr. Matthew Saunig	Yes
Mrs. Julie Thompson	Yes
Mr. Evan Seretan	Yes

11.a. Please note: It is possible that the Board of Education may go into Executive Session

Respectfully Submitted,

Rosemary Coggeshall, Secretary

Approved:

TOWN OF GLASTONBURY**MEMORANDUM****DEPARTMENT OF ADMINISTRATIVE SERVICES****FINANCIAL ADMINISTRATION**

TO: Board of Finance
Richard J. Johnson, Town Manager

FROM: *JBT* Julie Twilley, Director of Finance & Administrative Services

DATE: July 6, 2021

SUBJECT: Self Insurance Reserve Update June 2021

The attached report summarizes the Self Insurance Reserve fund through June 30, 2021. The total reserve is \$14,478,755 allocated \$2,362,857 and \$12,115,899 between Town and Board of Education, respectively. As of June the fund is experiencing a \$4,737,306 gain for the fiscal year.

There are 23 large loss claims which are defined as any claims that exceed \$50,000. BOE has 15 while the Town has 8 large loss claims. There are 4, 2 for BOE and 2 for the Town that have exceeded the individual Stop Loss limit. The Individual Stop Loss limit is \$200,000 for BOE and \$150,000 for the Town.

As of June 30, we are expecting to receive reimbursement of \$152,432 from CT Prime for FY2021 large loss claims (\$88,334 for BOE and \$64,098 for the Town). This balance due is not reflected in the financial summary.

Enc.

cc: Dr. Alan Bookman, Superintendent
Karen Bonfiglio, Business Manager

SELF INSURANCE RESERVE FUND

YTD Balances As of: June 30, 2021

	Town	Education	Total
Contributions			
Employer	4,641,488	\$15,399,321	\$20,040,809
Employee	1,309,958	2,921,750	4,231,708
Stop Loss Reimbursement	31,657	33,689	65,346
Total Revenues	\$5,983,103	\$18,354,760	\$24,337,864
Expenditures			
Anthem			
ASO Fees	\$111,199	\$327,275	\$438,473
Claims	3,142,521	9,929,873	13,072,394
	\$3,253,720	\$10,257,147	\$13,510,868
CTCare			
ASO Fees	\$3,582	\$45,894	\$49,476
Claims	580,904	3,395,619	3,976,522
	\$584,486	\$3,441,513	\$4,025,998
Delta Dental			
ASO Fees	\$17,325	-	\$17,325
Claims	189,149	-	189,149
	\$206,474	-	\$206,474
Bank Fees/PCORI Fee	\$1,098	\$3,753	\$4,851
CT Prime	468,687	1,293,679	\$1,762,366
OneDigital Consultant Fees	18,000	72,000	90,000
	\$487,785	\$1,369,432	\$1,857,217
Total Expenditures	\$4,532,465	\$15,068,092	\$19,600,557
Current Year Revenues Less Expenses	\$1,450,639	\$3,286,668	\$4,737,306
Reserve July 1, 2020	\$912,218	\$8,829,231	\$9,741,449
Reserve at end of month	\$2,362,857	\$12,115,899	\$14,478,755

Note: The Reserve formula will be updated at the end of each quarter. The next update will be provided in August 2021.