

District 23 Buildings & Sites Committee Meeting

Tuesday, October 4, 2022 8:00 AM

Grodsky Administration Building, 700 N Schoenbeck Rd, Prospect Heights, IL
60070

I. Call to Order

II. Discussion Items

II.A. Discussion of Summer 2022 Work

II.B. Technology Dept. Update -
Telecommunications Services & Website Development

II.C. MacArthur Middle School Door 7 & East
Corner - Moisture Mitigation Work

II.D. MacArthur & Prospect Heights Natural
Resource Commission Collaborative Seed Project

II.E. Discussion of Summer 2023 Capital
Projects and Preliminary Schedule

II.F. Eisenhower School - Projector Install and
Whiteboard Replacement

II.G. Outdoor Learning Space Update

II.H. Long Range Plan Discussion

II.I. Lost Time - Overtime Report

III. Old Business

IV. New Business

V. Adjournment



**Prospect Heights School District 23
Finance & Buildings and Sites Committees
Memorandum**

Date: September 30, 2022

Subject: Technology Department Updates

Prepared by: Amy McPartlin, Asst. Superintendent for Finance & Operations
Chris Alms, Director of Technology

Under the new Director of Technology, Mr. Chris Alms, the Tech Department has been reviewing both its existing and renewing contracts for services and looking to increase efficiencies where possible. In order to bring the Committees up to date, we wanted to provide an update on several services:

Granite Telecommunications, LLC

The existing 25 Plain Old Telephone Service (POTS) lines have been under contract with Granite Telecommunications, LLC. Knowing that these lines need to be switched to digital, the District engaged Granite to complete an assessment and identify the active lines. Through call tests, consultation with Granite, and audits of inbound and outbound call logs, we ascertained that only the five fax lines (which are currently analog) need to be ported over. Comcast has been on site to do a site survey, with the conversion work forthcoming. We do have an updated contract with Granite for the cost of the lines. With this contract and no longer needing to pay for the other 20 lines, we anticipate a cost savings of approximately \$9,000/year.

Sentinel Technologies, Inc.

All of our digital phones are currently under contract with Sentinel Technologies. Additions to staff and “office areas” have required a correlating increase in phones and phone licenses through Sentinel. The updated licensing structure included several features and pricing options, including a master license with full voicemail capabilities on all lines. By making this transition and signing to a seven-year contract, we are able to realize an annual savings of approximately \$2,000. The contract does include all required updates to software and licensing. We are currently awaiting the updated contract back from Sentinel to reflect seven full years and a prorated year to better align us to the fiscal-year calendar.

eSchoolView (LINQ)

With the upcoming renewal of our Website Development contract this June, Chris has been evaluating options with several (7) different developers, including our current partner, eSchoolView. The Tech Department, including the District Webmasters, have visited and evaluated several sample sites, taking into consideration the following: overall appearance of the website, enhanced mobile view, and smoother, more intuitive editing tools. There are incentives with our current vendor, including a waived website redesign cost, that may be

most advantageous for the District. Following further evaluation, Chris will bring forth a recommendation for Board action.

Zeller & Assoc., Gerry Zeller

For the past several years, the District has partnered with Gerry Zeller for E-Rate consulting and support. Gerry continues to be an invaluable asset when it comes to maximizing the E-Rate opportunities and returns for District 23. He also offers consulting on updates to E-Rate and additional grant opportunities offered by the State and Federal Government. Gerry's current contract, as included, will cover Funding Year 2023 (7/1/2023 – 6/30/2024). The current listening period for suggested new items to cover is open, and Gerry keeps us updated as to what this means for us and for what we can apply. We are grateful of the Board's ongoing support of the partnership.

Vian Construction

1041 Martha St. in Elk Grove Village, IL 60007

☎ (847)364-5369

☒ (630)327-6114

Marty@vianconstruction.net

INVOICE

INV1245

DATE

09/25/2022

BALANCE DUE

USD \$11,500.00

BILL TO

Mike Ziaja

Mike Ziaja

MacArthur Middle Schlool

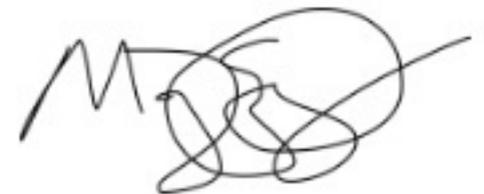
700 N. Schoenbeck Rd., Prospect Heights IL 60070

☒ (262)716-6144

Mziaja@d23.org

DESCRIPTION	RATE	QTY	AMOUNT
This price is for the installation of drainage along the building.	\$11,500.00	1	\$11,500.00
TOTAL			\$11,500.00
BALANCE DUE			USD \$11,500.00

Vian construction is not responsible for any landscaping, concrete & asphalt Restoration. If a price is needed More wanted from us I can give an estimate on any restoration that needs to be done when the work is finished



DATE SIGNED

09/26/2022

Vian Construction

1041 Martha St. in Elk Grove Village, IL 60007

☎ (847)364-5369

☎ (630)327-6114

Marty@vianconstruction.net

INVOICE

INV789

DATE

08/05/2022

BALANCE DUE

USD \$7,500.00

BILL TO

Mike Ziaja

School Distric 23

MacArthur middle school

700 N. Schoenbeck Rd, Prospect Heights, IL 60070

☎ (262)716-6144

mziaja@d23.org

DESCRIPTION	RATE	QTY	AMOUNT
Install drainage by outdoor learning pad.	\$7,500.00	1	\$7,500.00
TOTAL			\$7,500.00

BALANCE DUE

USD \$7,500.00

Vian is not responsible for any restoration . We will be happy to quote you once the work is done on any landscaping.



DATE SIGNED

08/05/2022

Vian Construction

1041 Martha St. in Elk Grove Village, IL 60007

☎ (847)364-5369

☎ (630)327-6114

Marty@vianconstruction.net

INVOICE

INV1249

DATE

09/25/2022

BALANCE DUE

USD \$17,000.00

BILL TO

Mike Ziaja

Mike Ziaja

MacArthur Middle Schlool

700 N. Schoenbeck Rd., Prospect Heights IL 60070

☎ (262)716-6144

Mziaja@d23.org

DESCRIPTION	RATE	QTY	AMOUNT
This price is for the installation of drainage along the building. Also the drainage work by the learning pad if done at the same time.	\$17,000.00	1	\$17,000.00

TOTAL \$17,000.00

BALANCE DUE **USD \$17,000.00**

Vian construction is not responsible for any landscaping, concrete & asphalt Restoration. If a price is needed More wanted from us I can give an estimate on any restoration that needs to be done when the work is finished



DATE SIGNED

09/26/2022

Timeline for Naturalizing Wet Field Areas/Vegetation

Area Near Sullivan playground:

Right now, the area is a mix of annual non-native weeds, some annual and perennial native sedges, rushes and forbs which are not extremely conservative but form a great matrix and starting point. Unfortunately, there are also some incredibly invasive nonnative perennial plants that have started to take over the area. If left alone for the next 2-5 years, there will only be invasive reed canary grass and invasive Canada thistle, forming a monoculture of plants that were introduced from Eurasia and sustain no wildlife or ecological value.

October, 2022

This fall, herbicide the invasive reed canary grass and invasive Canada thistle. Plant approximately 400 native species of wetland and prairie plants (donated by us) before October 15th. Water the planted plugs until frost. Winter of this year, sow approximately 3 lbs of native wet prairie/sedge meadow and mesic prairie seeds, mostly in the areas that were previously invasive reed canary grass. Avoid any grasses in the seed mix due to the invasive seed bank in the soil.

Students can definitely be involved in the planting of plants and the sowing of seed. They can also collect seed from nearby areas (such as our ComEd Prairie right next to the school) if so desired. May want to flag out the areas to be seeded in case it snows before sowing seed.

2023

- Spring - herbicide invasive reed canary grass and Canada thistle. Monitor for invasives. watch for seedlings.
- Summer - herbicide the invasives.
- Fall - enjoy, collect seeds of desired species if so desired.

2024

- Spring - burn the area (PHNRC). monitor for invasives and take care of immediately or before they go to seed. Seed the area with collected seed after the burn for really great soil-seed contact.
- Summer- enjoy
- Fall - monitor for invasives. Collect seed of desired species from the area or from other areas, especially grasses that were not introduced until invasive reed canary has been removed for good.

2025

Monitor for invasives, otherwise enjoy. Consider enlarging the area or planting new areas because it's so great. Can collect seed (but not necessary at this point because it is beautiful and self-sustaining).

2026

- Spring - burn the area (PHNRC) Monitor for invasives. Should be only one or two invasives at this point.

2027 - Enjoy. Always monitor for invasives.

2028 - Burn in the Spring

Following years are just watching out for invasives and burning every 1-3 years.

*Please note that maintenance has a reduced role as the prairie area evolves and matures.

Wetter Cattail Area:

This area is overtaken with non-native cattails. It also has a few sapling trees, including one larger silver maple that is wrapping roots around a storm drain.

October, 2022

This fall, conduct a prescribed burn of the cattail area. PHNRC will provide EPA permit, notifications, expertise and burn crew to safely conduct the burn. This will allow much of the accumulated thatch to burn off, exposing the bare earth in the spring to better see the cattails coming up and anything else that may be making an appearance.

2023

- Spring - herbicide invasive cattails with Aquaneat, safe for aquatic use. If desired, plant plugs may be introduced in the areas not taken over by cattails at this point.
- Summer - continue to herbicide the invasive cattails and any other invasive plants (PHNRC).
- Fall - plant plugs of native plant if desired (not in cattail area), collect seeds of desired species, watch for cattail reemergence and hand wick if necessary (if other desired plants are found among the cattails). Sow seeds in area not taken over by cattails.

2024

- Spring - monitor for invasives and take care of immediately or before they go to seed. Plant plugs in cattail area if desired if cattails are no longer visible or sparse. Otherwise, continue to herbicide cattails.
- Summer - enjoy. No need to water because of soil moisture unless drought.
- Fall - monitor for invasives. Collect seed of desired species. Conduct a prescribed burn. Sow seed after the burn. May sow seed in the cattail area at this point.

2025

Monitor for invasives, otherwise enjoy. Consider enlarging the area or planting new areas because it's so great. Can collect seed (but not necessary at this point because it is beautiful and self-sustaining).

2026 - Spring - burn the area (PHNRC) Monitor for invasives. Should be only one or two invasives at this point.

2027 - Enjoy. Always monitor for invasives.

2028 - Burn in the Spring

Responsibilities:

PHNRC will provide guidance, help, seeds, seedlings, and do prescribed burns, participate in educational activities as invited and time allows. MacArthur students can help plant seedlings, water seedlings, and teachers at all surrounding D23 schools can use the area to study a wide variety of science topics.

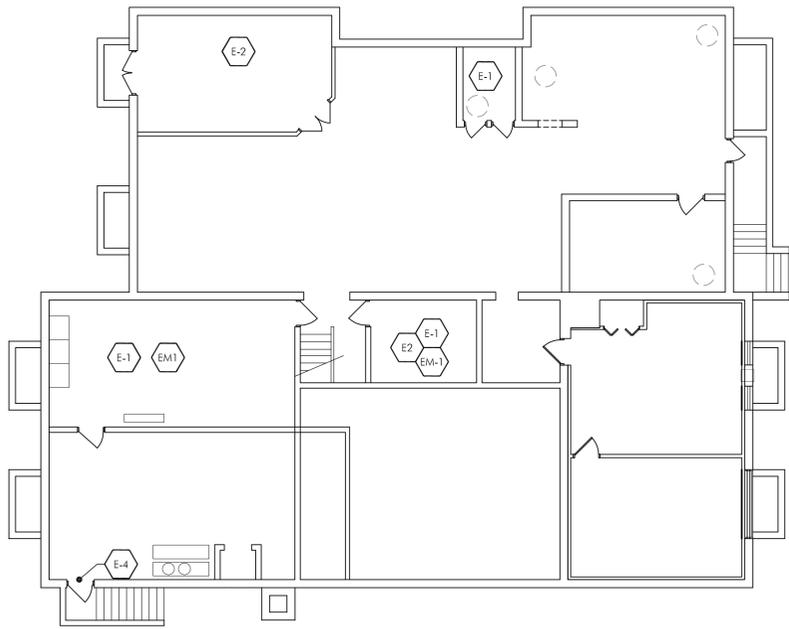
Prospect Heights Natural Resource Commissioners:

Agnes Wojnarski

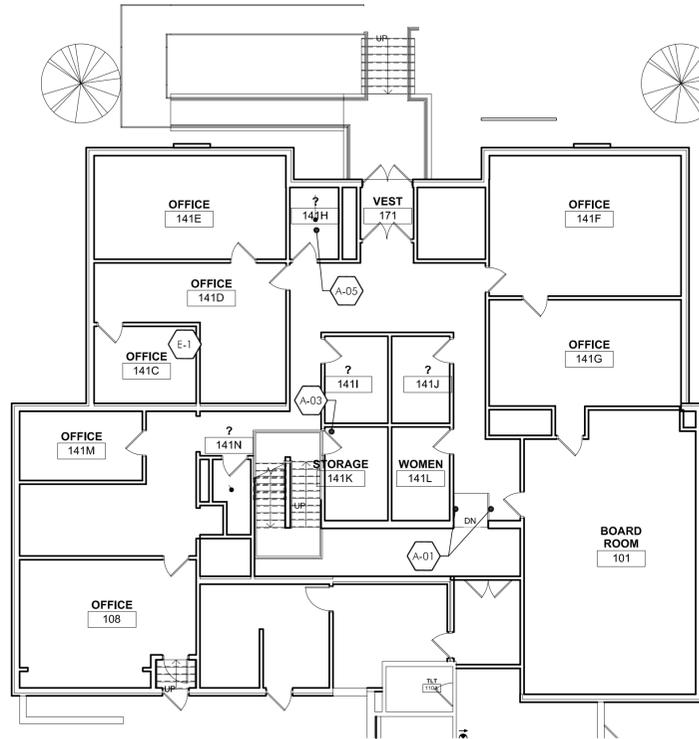
Dana Sievertson

Long Range Facility Plan Updates

GRODSKY ADMINISTRATION BUILDING



1 BASEMENT FLOOR PLAN
NOT TO SCALE

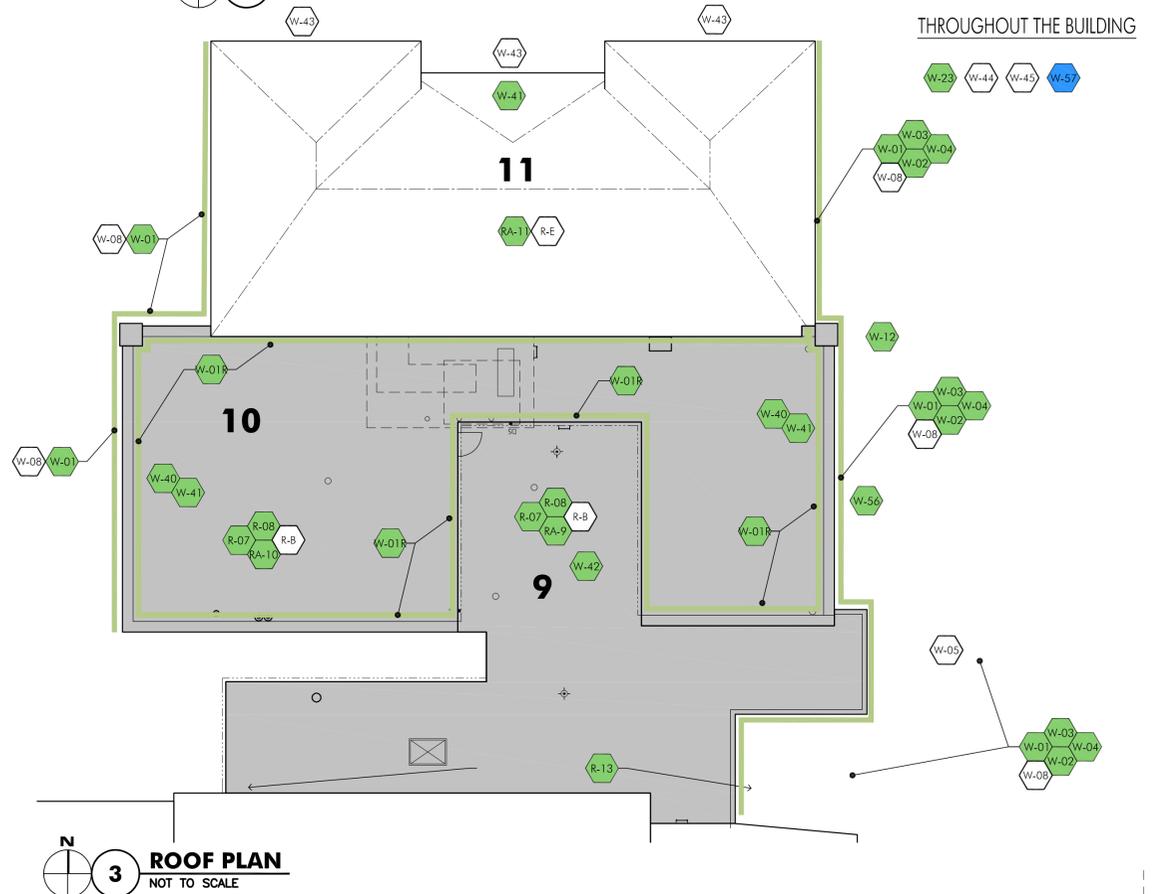


2 FIRST FLOOR PLAN
NOT TO SCALE

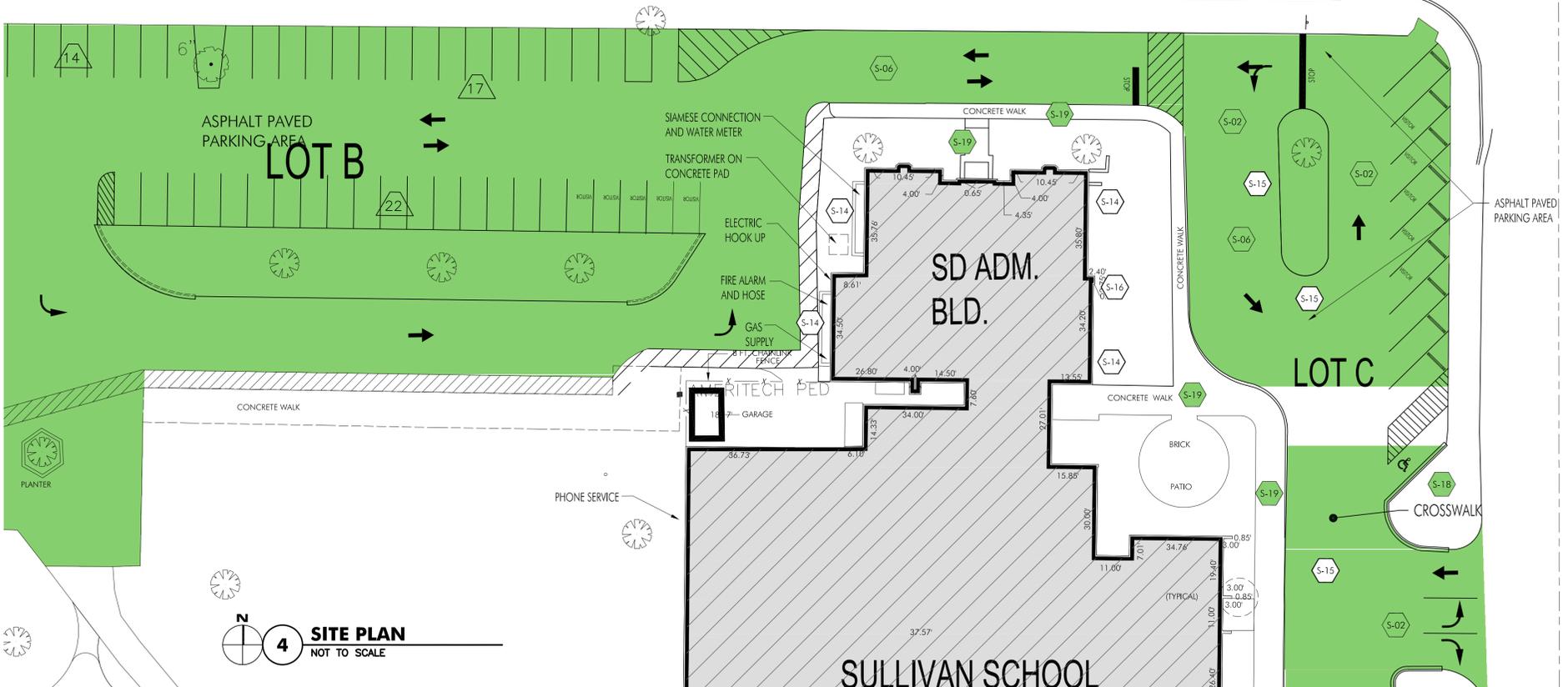
- DISTRICT WIDE**
A-08 EM-4 EM-5 EM-6 EM-8 MM-3
- BASEMENT ONLY (LOWER LEVEL)**
A-10 EM-2 MM-1
- THROUGHOUT THE BUILDING**
EM-2 EM-3 EM-9 EM-10

Work Completed to Date

- Facility Plan Item Identification Tag**
- S-#** Site Item
 - W-#** Building Envelope (Walls / Masonry)
 - R-#** Building Envelope (Roofing)
 - A-#** Architectural
 - EM-#** Electrical
 - MM-#** Mechanical
 - PM-#** Plumbing
 - FPM-#** Fire Protection
- Building Footprint
 - Completed Items
 - Remaining Items
 - New Items
 - Roof Replacement Complete



3 ROOF PLAN
NOT TO SCALE



4 SITE PLAN
NOT TO SCALE



Long Range Facility Plan Updates

ANNE SULLIVAN ELEMENTARY SCHOOL

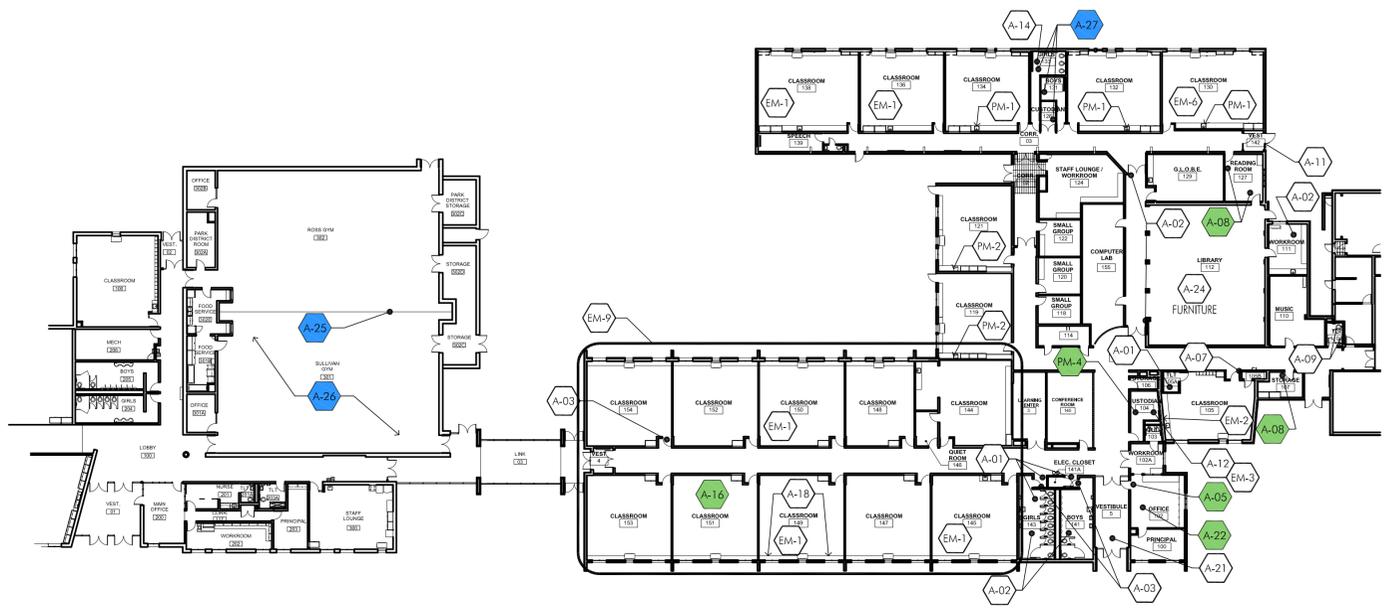
THROUGHOUT THE BUILDING



BUILDING WIDE



INTERACTIVE WHITE BOARDS



1 FIRST FLOOR PLAN
NOT TO SCALE

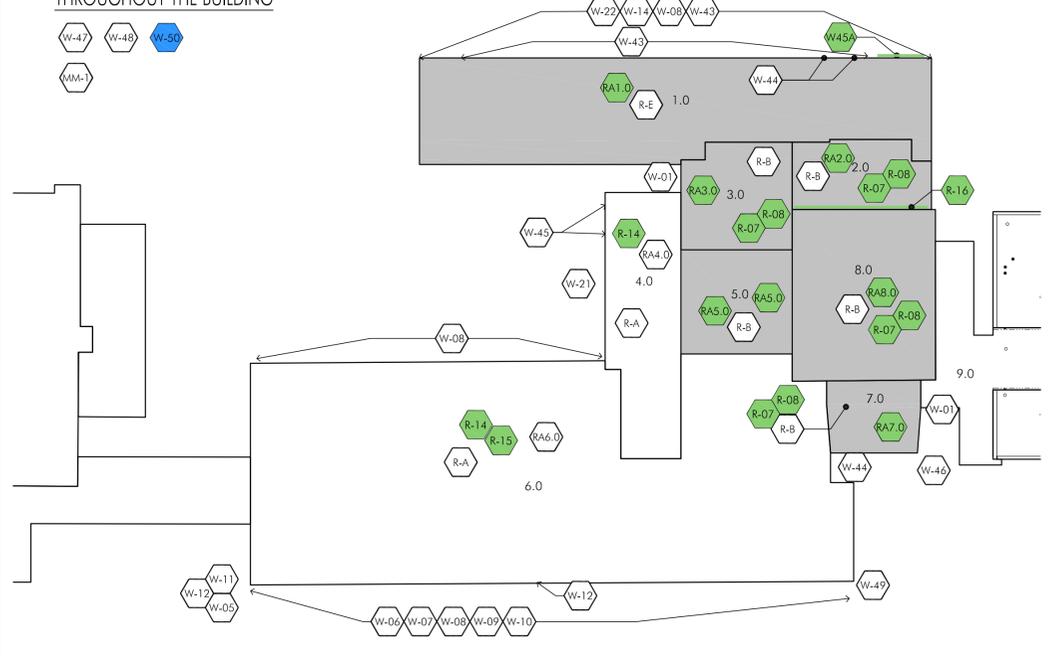
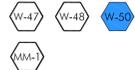
Work Completed to Date

Facility Plan Item Identification Tag

- S-#** Site Item
- W-#** Building Envelope (Walls / Masonry)
- R-#** Building Envelope (Roofing)
- A-#** Architectural
- EM-#** Electrical
- MM-#** Mechanical
- PM-#** Plumbing
- FPM-#** Fire Protection

- Building Footprint
- Completed Items
- Remaining Items
- New Items
- Roof Replacement Complete

THROUGHOUT THE BUILDING



2 ROOF PLAN
NOT TO SCALE

THROUGHOUT THE SITE



3 SITE PLAN
NOT TO SCALE



Long Range Facility Plan Updates

BETSY ROSS ELEMENTARY SCHOOL

THROUGHOUT THE BUILDING

A-29 A-30 A-36 EM-7 EM-9 EM-10 PM-6 PM-7

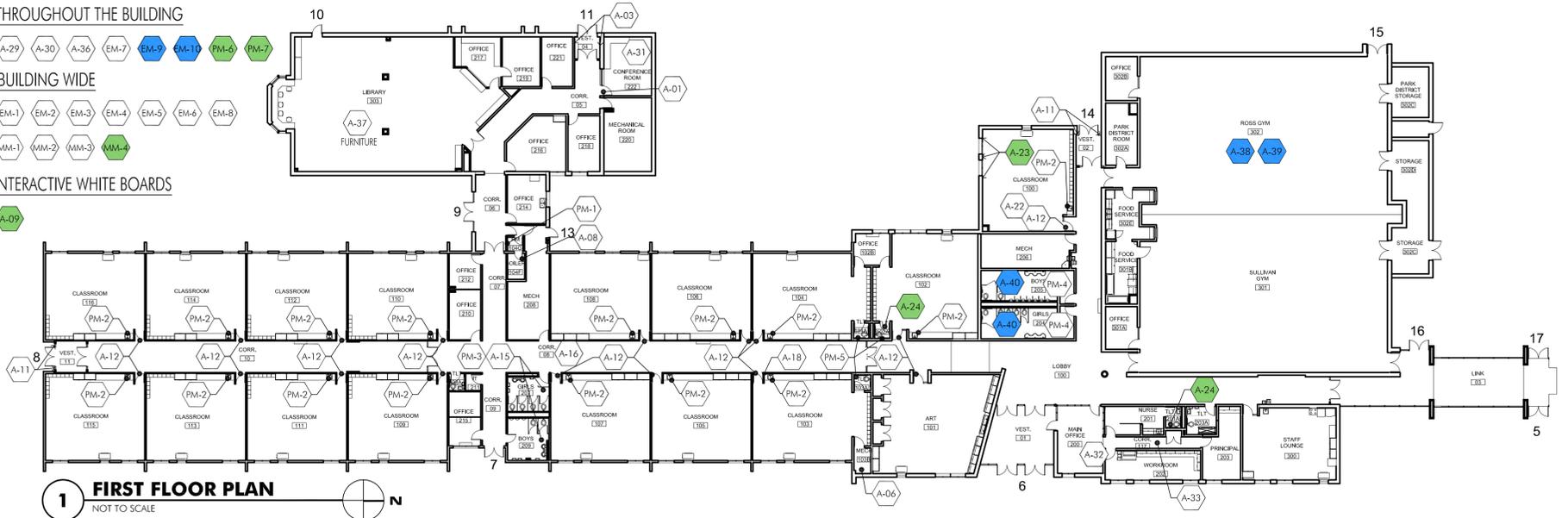
BUILDING WIDE

EM-1 EM-2 EM-3 EM-4 EM-5 EM-6 EM-8

MM-1 MM-2 MM-3 MM-4

INTERACTIVE WHITE BOARDS

A-09

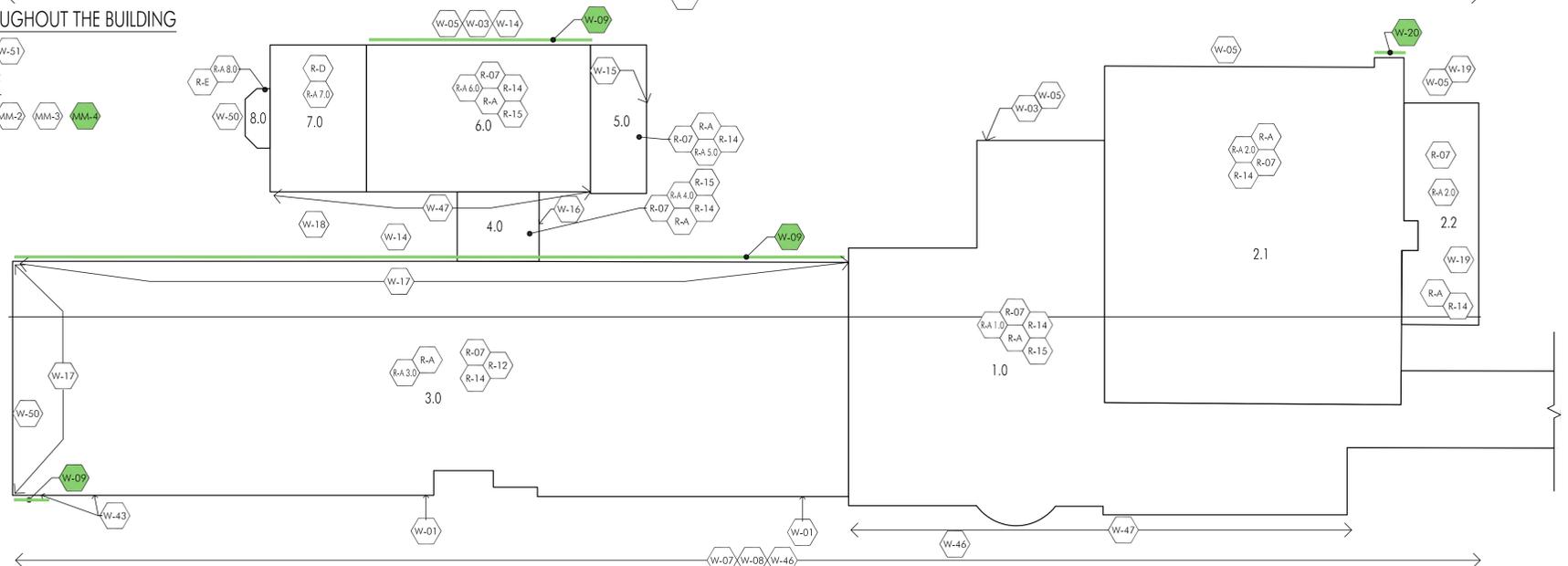


THROUGHOUT THE BUILDING

W-49 W-51

MM-1 MM-2 MM-3 MM-4

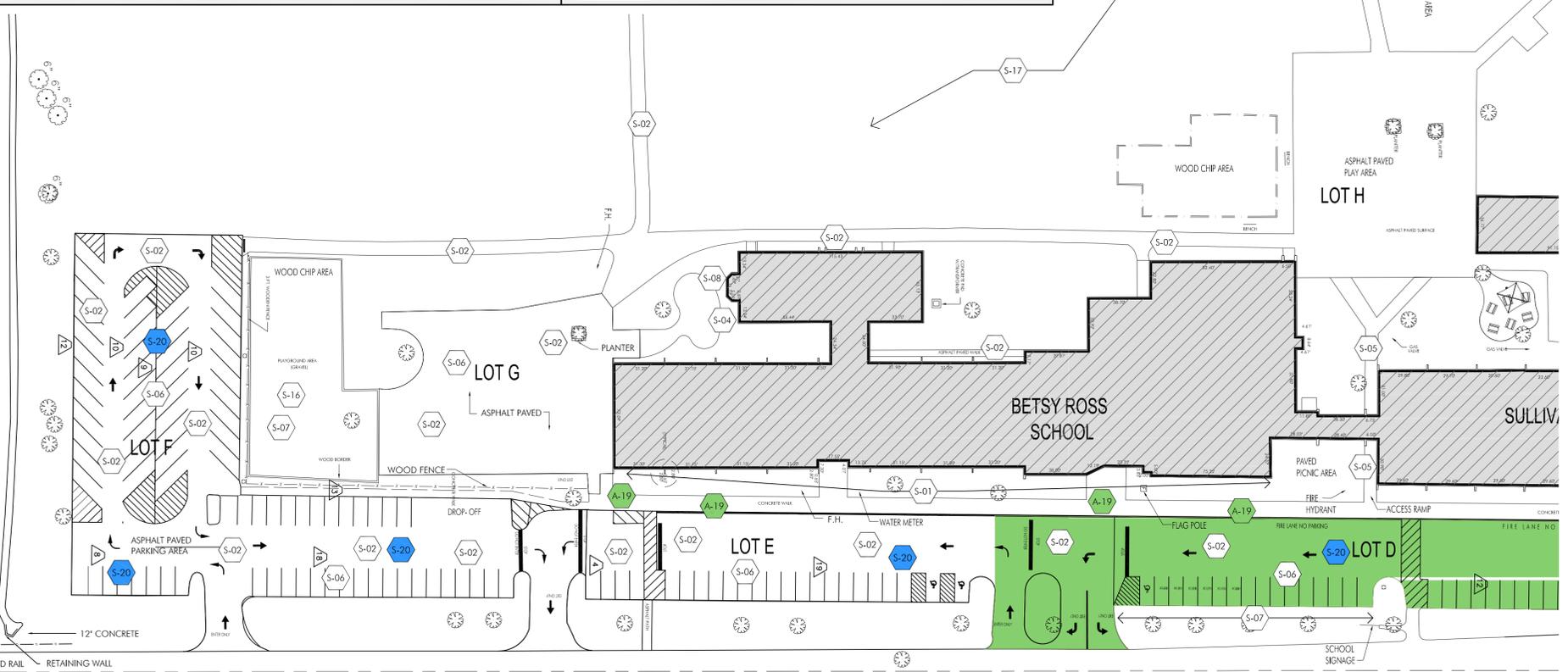
ROOF



Work Completed to Date

- Facility Plan Item Identification Tag
- S-#** Site Item
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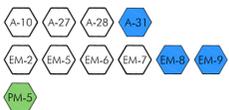
- Building Footprint
- Completed Items
- Remaining Items
- New Items
- Roof Replacement Complete



Long Range Facility Plan Updates

EISENHOWER ELEMENTARY SCHOOL

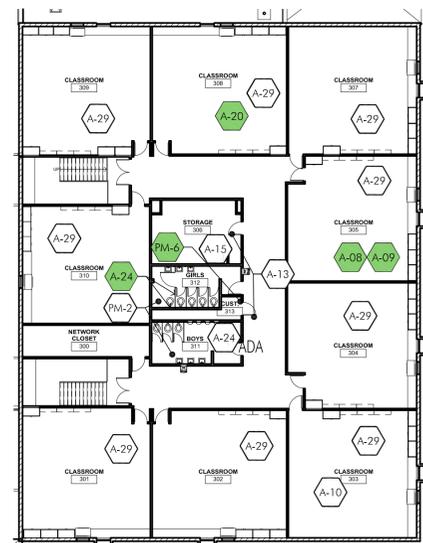
THROUGHOUT THE BUILDING



INTERACTIVE WHITE BOARDS



1 FIRST FLOOR PLAN
NOT TO SCALE



2 SECOND FLOOR PLAN
NOT TO SCALE

THROUGHOUT THE BUILDING



3 ROOF PLAN
NOT TO SCALE

Work Completed to Date

Facility Plan Item Identification Tag

- S-#** Site Item
- W-#** Building Envelope (Walls / Masonry)
- R-#** Building Envelope (Roofing)
- A-#** Architectural
- EM-#** Electrical
- MM-#** Mechanical
- PM-#** Plumbing
- FPM-#** Fire Protection

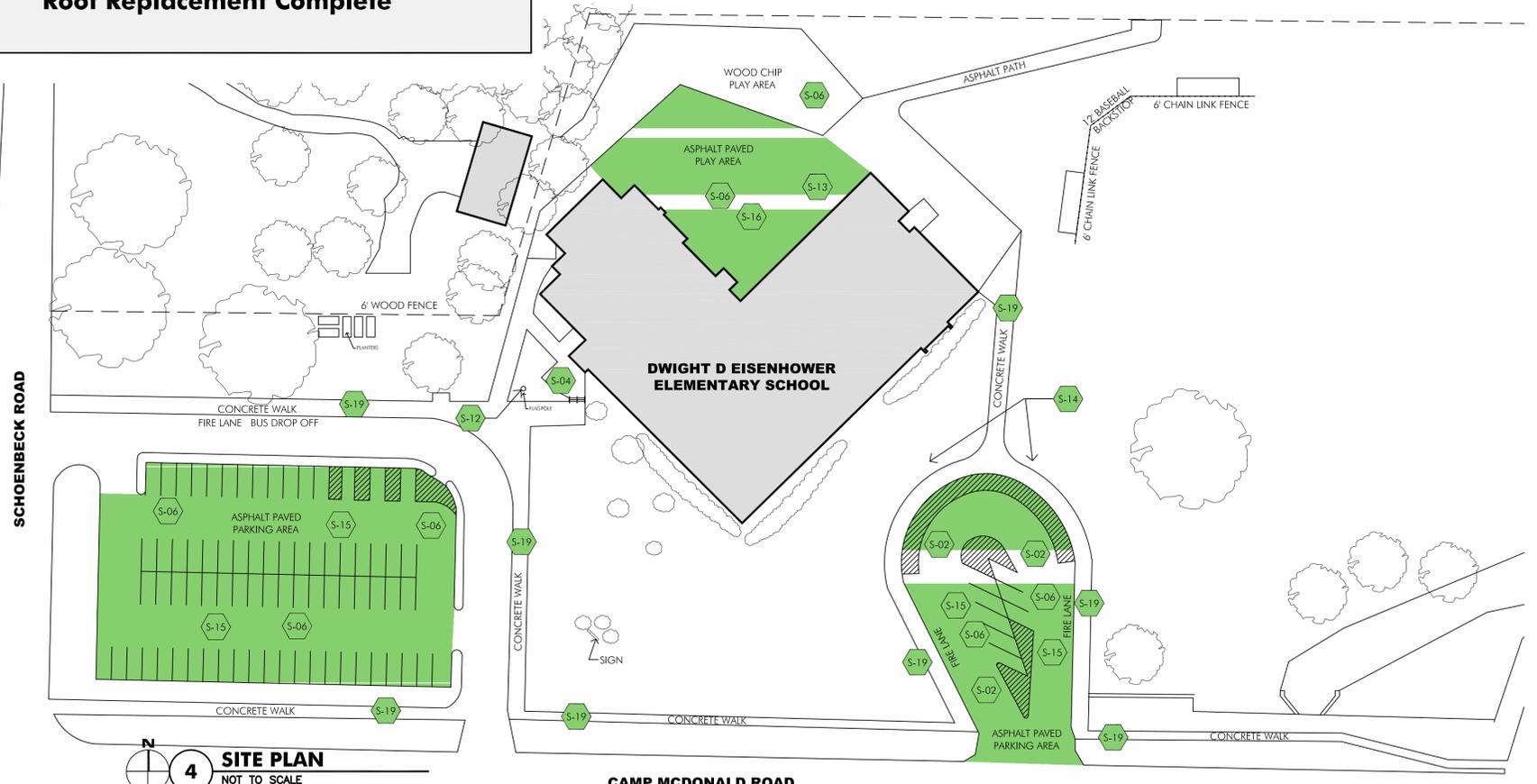
Building Footprint

Completed Items

Remaining Items

New Items

Roof Replacement Complete



4 SITE PLAN
NOT TO SCALE

District Wide Capital Improvement Plan

	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
1 Grodsky Administration											
1.1 Site Work	\$0	\$8,566	\$0	\$10,529	\$4,387	\$1,682	\$0	\$0	\$0	\$0	\$171,111
1.2 Building Envelope	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$466,735	\$0	\$8,292	\$0
1.3 Building Interior	\$0	\$0	\$0	\$0	\$0	\$0	\$262,200	\$0	\$1,825,738	\$0	\$197,728
1.4 Building Systems	\$0	\$0	\$0	\$0	\$0	\$0	\$11,604	\$0	\$52,296	\$12,320	\$354,897
2 Anne Sullivan School											
2.1 Site Work	\$0	\$11,789	\$0	\$0	\$0	\$38,163	\$3,311	\$0	\$0	\$0	\$384,429
2.2 Building Envelope	\$0	\$0	\$4,218	\$0	\$348,077	\$95,636	\$8,277	\$661,830	\$33,405	\$1,387,497	\$0
2.3 Building Interior	\$0	\$500	\$0	\$0	\$0	\$800	\$0	\$80,250	\$23,158	\$1,943,568	\$1,135,670
2.4 Building Systems	\$7,500	\$5,200	\$0	\$0	\$12,200	\$204,740	\$5,173	\$63,367	\$32,916	\$0	\$0
3 Betsy Ross School											
3.1 Site Work	\$0	\$1,082	\$0	\$1,170	\$0	\$39,844	\$0	\$0	\$71,783	\$0	\$425,288
3.2 Building Envelope	\$0	\$0	\$4,218	\$0	\$348,077	\$95,636	\$0	\$47,594	\$773,754	\$0	\$1,518,864
3.3 Building Interior	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$111,548	\$0	\$775,605	\$1,370,460
3.4 Building Systems	\$0	\$18,000	\$0	\$0	\$0	\$204,740	\$0	\$173,446	\$85,581	\$347,991	\$96,329
4 MacArthur Middle School											
4.1 Site Work	\$0	\$45,000	\$1,400	\$451,156	\$0	\$76,325	\$0	\$0	\$0	\$0	\$0
4.2 Building Envelope	\$0	\$46,000	\$0	\$0	\$984,848	\$0	\$0	\$1,440,712	\$55,907	\$0	\$14,432
4.3 Building Interior	\$0	\$24,877	\$562	\$4,310	\$47,405	\$102,253	\$47,229	\$10,140	\$50,925	\$633,822	\$3,980,295
4.4 Building Systems	\$0	\$33,555	\$8,436	\$0	\$0	\$425,000	\$1,118,835	\$111,421	\$206,739	\$87,184	\$503,193
5 Eisenhower School											
5.1 Site Work	\$0	\$7,788	\$0	\$0	\$0	\$0	\$203,000	\$0	\$0	\$0	\$609,155
5.2 Building Envelope	\$0	\$352,896	\$156,356	\$0	\$0	\$0	\$300	\$7,243	\$5,978	\$45,274	\$91,878
5.3 Building Interior	\$0	\$5,084	\$11,800	\$0	\$84,815	\$15,303	\$0	\$82,772	\$0	\$408,518	\$828,092
5.4 Building Systems	\$12,500	\$7,949	\$0	\$0	\$14,623	\$0	\$97	\$3,104	\$0	\$405,123	\$43,855
Subtotal	\$20,000	\$568,284	\$186,991	\$467,165	\$1,844,432	\$1,300,121	\$1,660,025	\$3,260,161	\$3,218,181	\$6,055,193	\$11,725,677
Fees, Contingency, OH&P	\$6,400	\$181,851	\$59,837	\$149,493	\$590,218	\$416,039	\$531,208	\$1,043,252	\$1,029,818	\$1,937,662	\$3,752,217
Capital Improvement Total	\$26,400	\$750,135	\$246,829	\$616,657	\$2,434,650	\$1,716,160	\$2,191,233	\$4,303,413	\$4,247,999	\$7,992,855	\$15,477,894

Capital Improvement Total does not include Preventative Maintenance



6 Total 2023-2027 Plan Outlay	\$34,213,395
6.1 Grodsky Administration	\$4,439,055
6.2 Anne Sullivan School	\$7,606,963
6.3 Betsy Ross School	\$7,653,681
6.4 MacArthur Middle School	\$10,904,302
6.5 Eisenhower School	\$3,609,393

Totals include Preventative Maintenance

7 Items not Included in Original Plan	
7.1 Items Added	\$10,161,146
7.2 Items Completed	\$782,390

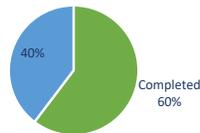
Totals of Items added are included in Capital Improvement Totals and progress charts

Grotsky Capital Improvement Plan

	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
1 Site Work											
1.1 Parking Lot Renovation							\$0	\$0	\$0	\$0	\$171,111
1.2 Sitework (Completed before 2023)	\$0	\$8,566	\$0	\$10,529	\$4,387	\$1,682					
2 Building Envelope & Roofing											
2.1 Exterior Siding & Window Replacement							\$0	\$466,735	\$0	\$0	\$0
2.2 Other Building Envelope & Roofing Work							\$0	\$0	\$0	\$8,292	\$0
2.3 Bldg. Envelope & Roofing (Completed before 2023)	\$0	\$0	\$0	\$0	\$0	\$0					
3 Building Interior											
3.1 Basement Remodeling & Waterproofing							\$262,200	\$0	\$1,813,006	\$0	\$0
3.2 Other Interior Work							\$0	\$0	\$12,731	\$0	\$197,728
3.3 Building Interior (Completed before 2023)	\$0	\$0	\$0	\$0	\$0	\$0					
4 Building Systems											
4.1 Interior Camera System Upgrades							\$0	\$0	\$21,534	\$0	\$0
4.2 Exterior Camera System Upgrades							\$0	\$0	\$30,763	\$0	\$0
4.3 Other Building Systems Work							\$11,604	\$0	\$0	\$12,320	\$354,897
4.4 System Improvements (Completed before 2023)	\$0	\$0	\$0	\$0	\$0	\$0					
Subtotal	\$0	\$8,566	\$0	\$10,529	\$4,387	\$1,682	\$273,804	\$466,735	\$1,878,034	\$20,612	\$723,736
Fees, Contingency, OH&P	\$0	\$2,741	\$0	\$3,369	\$1,404	\$538	\$87,617	\$149,355	\$600,971	\$6,596	\$231,596
Capital Improvement Total (CIP)	\$0	\$11,307	\$0	\$13,898	\$5,791	\$2,220	\$361,421	\$616,090	\$2,479,005	\$27,207	\$955,332
5 Preventative Maintenance											
5.1 Topographic/Alta Survey							\$37,700				
5.2 Pavement Maintenance	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
5.3 Building Envelope & Roofing	\$0	\$541	\$562	\$585	\$731	\$841	\$967	\$1,035	\$1,107	\$1,185	\$1,267
5.4 Building Interior	\$0	\$0	\$0	\$0	\$8,197	\$16,788	\$0	\$16,554	\$0	\$0	\$0
5.5 Building Systems	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Preventative Maintenance Total (PM)	\$0	\$541	\$562	\$585	\$8,928	\$17,629	\$38,667	\$17,589	\$1,107	\$1,185	\$1,267
Grand Total (CIP + PM)	\$0	\$11,848	\$562	\$14,483	\$14,719	\$19,849	\$400,088	\$633,679	\$2,480,112	\$28,392	\$956,599

- Items Remaining
- Items Completed

Grotsky Facility Plan Progress

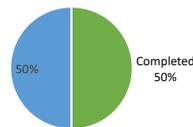


Sullivan Capital Improvement Plan

	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
1 Site Work											
1.1 Parking Lot-Pavement Renovation							\$0	\$0	\$0	\$0	\$384,429
1.2 Other Sitework							\$3,311	\$0	\$0	\$0	\$0
1.3 Sitework (Completed before 2023)	\$0	\$11,789	\$0	\$0	\$0	\$38,163					
2 Building Envelope & Roofing											
2.1 Exterior Siding & Window Replacement							\$0	\$661,830	\$0	\$0	\$0
2.2 Other Building Envelope & Roofing Work							\$8,277	\$0	\$33,405	\$1,387,497	\$0
2.3 Bldg. Envelope & Roofing (Completed before 2023)	\$0	\$0	\$4,218	\$0	\$348,077	\$95,636					
3 Building Interior											
3.1 Multipurpose Room Operable Wall							\$0	\$80,250	\$0	\$0	\$0
3.2 Multipurpose Room Flooring							\$0	\$0	\$0	\$73,503	\$0
3.3 Toilet Room Remodeling							\$0	\$0	\$0	\$698,905	\$0
3.4 Flooring Replacement							\$0	\$0	\$0	\$0	\$1,135,670
3.5 Other Building Interior Work							\$0	\$0	\$23,158	\$1,171,160	\$0
3.6 Building Interior (Completed before 2023)	\$0	\$500	\$0	\$0	\$0	\$800					
4 Building Systems											
4.1 Interior Camera System Upgrades							\$0	\$52,296	\$0	\$0	\$0
4.2 Exterior Camera System Upgrades							\$0	\$0	\$32,916	\$0	\$0
4.3 Other Building Systems Work							\$5,173	\$11,071	\$0	\$0	\$0
4.4 System Improvements (Completed before 2023)	\$7,500	\$5,200	\$0	\$0	\$12,200	\$204,740					
Subtotal	\$7,500	\$17,489	\$4,218	\$0	\$360,277	\$339,338	\$16,761	\$805,447	\$89,479	\$3,331,064	\$1,520,099
Fees, Contingency, OH&P	\$2,400	\$5,597	\$1,350	\$0	\$115,289	\$108,588	\$5,364	\$257,743	\$28,633	\$1,065,941	\$486,432
Capital Improvement Total (CIP)	\$9,900	\$23,086	\$5,568	\$0	\$475,565	\$447,927	\$22,125	\$1,063,190	\$118,112	\$4,397,005	\$2,006,531
5 Preventative Maintenance											
5.1 Topographic/Alta Survey	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
5.2 Pavement Maintenance	\$0	\$8,372	\$0	\$1,170	\$9,856	\$176,682	\$0	\$0	\$0	\$15,968	\$0
5.3 Building Envelope & Roofing	\$0	\$3,786	\$3,937	\$4,095	\$5,118	\$5,886	\$6,769	\$7,243	\$7,750	\$8,292	\$8,872
5.4 Building Interior	\$0	\$541	\$0	\$40,870	\$42,090	\$40,099	\$35,248	\$82,772	\$0	\$0	\$0
5.5 Building Systems	\$0	\$0	\$0	\$0	\$0	\$0	\$29,782	\$37,661	\$0	\$0	\$0
Preventative Maintenance Total (PM)	\$0	\$12,698	\$3,937	\$46,134	\$57,064	\$222,667	\$71,799	\$127,676	\$7,750	\$24,260	\$8,872
Grand Total (CIP + PM)	\$9,900	\$35,784	\$9,505	\$46,134	\$532,630	\$670,593	\$93,924	\$1,190,866	\$125,862	\$4,421,265	\$2,015,404

- Items Remaining
- Items Completed

Sullivan Facility Plan Progress

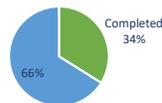


Ross Capital Improvement Plan

	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
1 Site Work											
1.1 Parking Lot-Pavement Renovation							\$0	\$0	\$0	\$0	\$425,288
1.2 Other Sitework							\$0	\$0	\$71,783	\$0	\$0
1.3 Sitework (Completed before 2023)	\$0	\$1,082	\$0	\$1,170	\$0	\$39,844					
2 Building Envelope & Roofing											
2.1 Exterior Siding & Window Replacement							\$0	\$0	\$772,647	\$0	\$0
2.2 Other Building Envelope & Roofing Work							\$0	\$47,594	\$1,107	\$0	\$1,518,864
2.3 Bldg. Envelope & Roofing (Completed before 2023)	\$0	\$1,500	\$0	\$0	\$0	\$0					
3 Building Interior											
3.1 Multipurpose Room Operable Wall							\$0	\$80,250	\$0	\$0	\$0
3.2 Multipurpose Room Flooring							\$0	\$0	\$0	\$73,503	\$0
3.3 Toilet Room Remodeling (204, 205, 08A)							\$0	\$0	\$0	\$431,583	\$0
3.4 Toilet Room Remodeling (207, 209)							\$0	\$0	\$0	\$270,520	\$0
3.5 Flooring Replacement							\$0	\$0	\$0	\$0	\$1,213,747
3.6 Painting							\$0	\$0	\$0	\$0	\$126,749
3.7 Other Building Interior Work							\$0	\$31,298	\$0	\$0	\$29,963
3.8 Building Interior (Completed before 2023)	\$0	\$0	\$0	\$0	\$0	\$0					
4 Building Systems											
4.1 Interior Camera System Upgrades							\$0	\$64,601	\$0	\$0	\$0
4.2 Exterior Camera System Upgrades							\$0	\$0	\$85,581	\$0	\$0
4.3 Exhaust Fan Replacements							\$0	\$1,035	\$0	\$0	\$0
4.4 Other Building Systems Work							\$0	\$107,810	\$0	\$347,991	\$96,329
4.5 System Improvements (Completed before 2023)	\$0	\$18,000	\$0	\$0	\$0	\$204,740					
Subtotal	\$0	\$20,582	\$0	\$1,170	\$0	\$244,584	\$0	\$332,588	\$931,118	\$1,123,596	\$3,410,940
Fees, Contingency, OH&P	\$0	\$6,586	\$0	\$374	\$0	\$78,267	\$0	\$106,428	\$297,958	\$359,551	\$1,091,501
Capital Improvement Total (CIP)	\$0	\$27,168	\$0	\$1,544	\$0	\$322,851	\$0	\$439,016	\$1,229,076	\$1,483,147	\$4,502,441
5 Preventative Maintenance											
5.1 Topographic/Alta Survey	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
5.2 Pavement Maintenance	\$0	\$15,597	\$0	\$0	\$21,087	\$0	\$0	\$29,839	\$0	\$0	\$0
5.3 Building Envelope & Roofing	\$0	\$3,786	\$3,937	\$4,095	\$5,118	\$5,886	\$6,769	\$7,243	\$7,750	\$8,292	\$9,493
5.4 Building Interior	\$0	\$973	\$0	\$23,860	\$24,428	\$58,199	\$27,796	\$11,795	\$0	\$0	\$0
5.5 Building Systems	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Preventative Maintenance Total (PM)	\$0	\$20,356	\$3,937	\$27,955	\$50,633	\$64,085	\$34,565	\$48,877	\$7,750	\$8,292	\$9,493
Grand Total (CIP + PM)	\$0	\$47,523	\$3,937	\$29,499	\$50,633	\$386,936	\$34,565	\$487,893	\$1,236,826	\$1,491,439	\$4,511,935

- Items Remaining
- Items Completed

Ross Facility Plan Progress



MacArthur Capital Improvement Plan

	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
1 Site Work											
1.1 Parking Lot-Pavement Renovation							\$0	\$0	\$0	\$0	\$0
1.2 Other Sitework							\$0	\$0	\$0	\$0	\$0
1.3 Sitework (Completed before 2023)	\$0	\$45,000	\$1,400	\$451,156	\$0	\$76,325					
2 Building Envelope & Roofing											
2.1 Exterior Siding & Window Replacement							\$0	\$1,161,410	\$0	\$0	\$0
2.2 Exterior Door Replacement, Painting							\$0	\$233,260	\$0	\$0	\$0
2.3 Other Building Envelope & Roofing Work							\$0	\$46,042	\$55,907	\$0	\$14,432
2.4 Bldg. Envelope & Roofing (Completed before 2023)	\$0	\$46,000	\$0	\$0	\$984,848	\$0					
3 Building Interior											
3.1 Group Toilet Room Renovation (One Location)							\$0	\$0	\$0	\$596,627	\$0
3.2 Other Building Interior Work							\$47,229	\$10,140	\$50,925	\$37,195	\$3,980,295
3.3 Building Interior (Completed before 2023)	\$0	\$24,877	\$562	\$4,310	\$47,405	\$102,253					
4 Building Systems											
4.1 Interior Camera System Upgrades							\$0	\$0	\$105,331	\$0	\$0
4.2 Exterior Camera System Upgrades							\$0	\$104,593	\$0	\$0	\$0
4.3 HVAC Retrofit Phase 2							\$1,114,000	\$0	\$0	\$0	\$0
4.4 Other Building Systems Work							\$4,835	\$6,829	\$101,408	\$87,184	\$503,193
4.5 System Improvements (Completed before 2023)	\$0	\$33,555	\$8,436	\$0	\$0	\$425,000					
Subtotal	\$0	\$149,431	\$10,399	\$455,466	\$1,032,253	\$603,578	\$1,166,064	\$1,562,273	\$313,571	\$721,006	\$4,497,921
Fees, Contingency, OH&P	\$0	\$47,818	\$3,328	\$145,749	\$330,321	\$193,145	\$373,140	\$499,927	\$100,343	\$230,722	\$1,439,335
Capital Improvement Total (CIP)	\$0	\$197,249	\$13,727	\$601,215	\$1,362,575	\$796,723	\$1,539,204	\$2,062,200	\$413,914	\$951,728	\$5,937,256
5 Preventative Maintenance											
5.1 Topographic/Alta Survey	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
5.2 Pavement Maintenance	\$0	\$19,620	\$0	\$1,170	\$25,064	\$1,682	\$0	\$37,537	\$0	\$2,369	\$0
5.3 Building Envelope & Roofing	\$0	\$7,571	\$7,874	\$8,189	\$10,236	\$11,772	\$13,537	\$14,485	\$15,499	\$16,584	\$0
5.4 Building Interior	\$0	\$0	\$1,181	\$0	\$0	\$0	\$0	\$20,486	\$0	\$0	\$0
5.5 Building Systems	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Preventative Maintenance Total (PM)	\$0	\$27,191	\$9,055	\$9,359	\$35,300	\$13,453	\$13,537	\$72,508	\$15,499	\$18,953	\$0
Grand Total (CIP + PM)	\$0	\$224,441	\$22,782	\$610,574	\$1,397,875	\$810,176	\$1,552,742	\$2,134,708	\$429,413	\$970,681	\$5,937,256

- Items Remaining
- Items Completed

MacArthur Facility Plan Progress



Eisenhower Capital Improvement Plan

	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
1 Site Work											
1.1 Parking Lot-Pavement Renovation							\$0	\$0	\$0	\$0	\$609,155
1.2 Other Sitework							\$203,000	\$0	\$0	\$0	\$0
1.3 Sitework (Completed before 2023)	\$0	\$7,788	\$0	\$0	\$0	\$0					
2 Building Envelope & Roofing											
2.1 Exterior Siding & Window Replacement							\$0	\$0	\$0	\$0	\$0
2.2 Other Building Envelope & Roofing Work							\$300	\$7,243	\$5,978	\$45,274	\$91,878
2.3 Bldg. Envelope & Roofing (Completed before 2023)	\$0	\$352,896	\$156,356	\$0	\$0	\$0					
3 Building Interior											
3.1 Toilet Room Remodeling							\$0	\$0	\$0	\$0	\$0
3.2 Other Building Interior Work							\$0	\$82,772	\$0	\$408,518	\$828,092
3.3 Building Interior (Completed before 2023)	\$0	\$5,084	\$11,800	\$0	\$84,815	\$15,303					
4 Building Systems											
4.1 Interior Camera System Upgrades							\$0	\$0	\$0	\$0	\$0
4.2 Exterior Camera System Upgrades							\$0	\$0	\$0	\$0	\$0
4.3 Other Building Systems Work							\$97	\$3,104	\$0	\$405,123	\$43,855
4.4 System Improvements (Completed before 2023)	\$12,500	\$7,949	\$0	\$0	\$14,623	\$0					
Subtotal	\$12,500	\$373,716	\$168,156	\$0	\$99,438	\$15,303	\$203,397	\$93,118	\$5,978	\$858,915	\$1,572,980
Fees, Contingency, OH&P	\$4,000	\$119,589	\$53,810	\$0	\$31,820	\$4,897	\$65,087	\$29,798	\$1,913	\$274,853	\$503,354
Capital Improvement Total (CIP)	\$16,500	\$493,304	\$221,966	\$0	\$131,258	\$20,200	\$268,484	\$122,916	\$7,891	\$1,133,768	\$2,076,334
5 Preventative Maintenance											
5.1 Topographic/Alta Survey							\$20,300				
5.2 Pavement Maintenance	\$0	\$16,505	\$0	\$7,019	\$20,853	\$1,682	\$0	\$31,577	\$0	\$2,369	\$0
5.3 Building Envelope & Roofing	\$0	\$3,786	\$3,937	\$4,095	\$5,118	\$5,886	\$6,769	\$7,243	\$7,750	\$8,292	\$0
5.4 Building Interior	\$0	\$0	\$0	\$20,068	\$22,646	\$28,010	\$153,324	\$248,316	\$0	\$0	\$0
5.5 Building Systems	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Preventative Maintenance Total (PM)	\$0	\$20,291	\$3,937	\$31,182	\$48,617	\$35,578	\$180,393	\$287,136	\$7,750	\$10,661	\$0
Grand Total (CIP + PM)	\$16,500	\$513,595	\$225,903	\$31,182	\$179,875	\$55,778	\$448,876	\$410,052	\$15,641	\$1,144,429	\$2,076,334

- Items Remaining
- Items Completed

Eisenhower Facility Plan Progress



Report -Prospect Heights School District 23
 PERIOD: 09/01/22 -09/30/22

EMPLOYEE	REG	OT1	OT2	VAC	HOL	SIC	OTH	TOTAL
CUSTODIAN DAY SHIFT								
1 Janina Babon -1000114	150:45	21:15						172:00
2 Jose Blanco -334306	155:00	21:00					8:00	184:00
3 Richard Ewanio -665428	168:15	9:00						177:15
4 Brian Hitzeman -348398	-:30							-:30
5 Jose Marroquin -1000138	-:30							-:30
6 Miguel Rubio -527342	157:30	34:30					8:00	200:00
Total:	630:30	85:45					16:00	732:15
CUSTODIAN NIGHT SHIFT								
1 Juan Chavez-Munoz -928405	128:00					48:00		176:00
2 Antonio Espinoza-Ruiz -1000292	148:00	20:00						168:00
3 Ma del Socorro Gonzalez de Ruiz -1000213	160:00					8:00		168:00
4 Brian Hitzeman -348398	168:30	8:00						176:30
5 Jose Marroquin -1000138	147:30	37:30						185:00
6 Jaime Ramirez Perez -1000290	168:30							168:30
7 Carlos Rubio -628904	160:00					8:00		168:00
Total:	1080:30	65:30				64:00		1210:00
CUSTODIAN PART TIME								
1 Rodolfo Jimenez -1000194	72:00					4:00		76:00
2 Esaud Mejia Platero -1000250	76:00							76:00
Total:	148:00					4:00		152:00
CUSTODIAN WEEKEND SHIFT								
1 Janina Babon -1000114	17:15							17:15
2 Jose Blanco -334306	5:00							5:00
3 Antonio Espinoza-Ruiz -1000292	20:00							20:00
4 Richard Ewanio -665428	8:00							8:00
5 Jose Marroquin -1000138	21:00							21:00
6 Miguel Rubio -527342	6:30							6:30
Total:	77:45							77:45
MAINTENANCE TECHNICIAN								
1 Thomas Vergil -1000165	150:45			8:00		16:00		174:45
Grand Total :	2087:30	151:15		8:00		84:00	16:00	2346:45

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