

PROJECT NAME: _____

PARTIAL ROOF REPLACEMENT AT:

BEECHER ROAD ELEMENTARY SCHOOL

40 BEECHER ROAD.

WOODBIDGE, CONNECTICUT 06525

PROJECT LOCATION: _____



DRAWING LIST

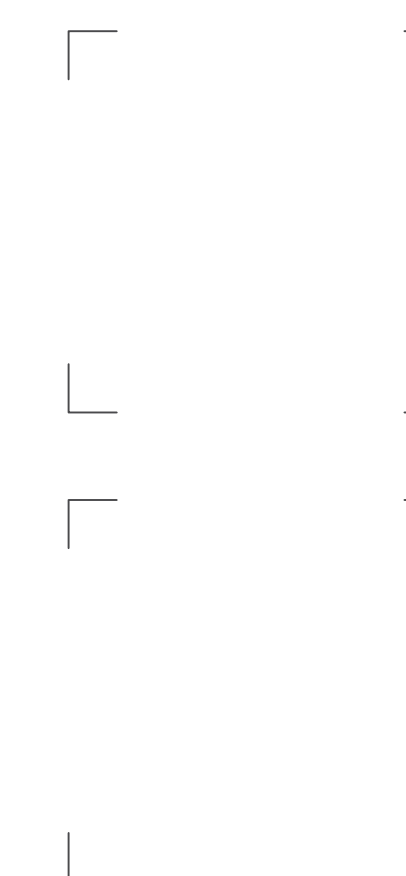
COVER SHEET

ARCHITECTURAL:

- C1 CODE INFORMATION
- A1 OVERALL ROOF PLAN
- A2 ROOF PLAN PART "1"
- A3 ROOF DETAILS

ARCHITECT

SILVER PETRUCELLI & ASSOC.
 3190 WHITNEY AVENUE, HAMDEN CT 06518
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 BUILDING INSPECTOR
 OFFICIALS:

 FIRE MARSHAL

 SANITARIAN/ HEALTH INSPECTOR

 ADA/504 COORDINATOR

CONSTRUCTION DOCUMENT SUBMISSION: 02/14/2024

STATE PROJECT 167-0026 RR

CODE INFORMATION

DATE OF ORIGINAL CONSTRUCTION _____ 1963
 DATE OF ADDITION _____

1. GROUP CLASSIFICATION (CHAPTER 3)
 (PRIMARY) _____ E-EDUCATIONAL
 (INCIDENTAL) _____ A3-ASSEMBLY

2. CONSTRUCTION TYPE (CHAPTER 6)
 MINIMUM TYPE REQUIRED _____ 2B
 ACTUAL TYPE PROVIDED (EXISTING) _____ --
 (NEW) _____ 2B

3. BUILDING HEIGHT (CHAPTER 5)
 ALLOWABLE HEIGHT (STORY/FEET) _____ 3/75'-0"
 ACTUAL HEIGHT (STORY/FEET) _____ 1/50'-0"
 (STORIES ABOVE GRADE) _____ 2

4. BUILDING AREA (CHAPTER 5)
 A) BUILDING AREA (FIRST)
 EXISTING CONSTRUCTION _____ 152,355 sq.ft.
 NEW CONSTRUCTION _____ 0 sq.ft.
 TOTAL FLOOR _____ 152,355 sq.ft.
 B) BUILDING AREA (SECOND)
 EXISTING CONSTRUCTION _____ 0 sq.ft.
 NEW CONSTRUCTION _____ 0 sq.ft.
 TOTAL FLOOR _____ 0 sq.ft.
 TOTAL (ALL FLOORS) _____ 152,355 sq.ft.

5. AREA MODIFICATIONS TO TABLE 503 (FOR EACH SEPARATE BUILDING AS DEFINED BY FIRE WALLS AND/OR EXTERIOR WALLS)
 NA

6. CASE 1 - SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1) (ALLOWABLE AREA 506.4)
 NA

7. CASE 2 - MIXED OCCUPANCY SEPARATED USES (302.3.2) (ALLOWABLE AREA 506.4)
 NA

8. FIRE-RESISTANCE RATED REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601, SEE CODE PLANS FOR SPECIFIC DESIGNATIONS)

1. STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS, TRUSSES	0	Hr(s)
2. BEARING WALLS: EXTERIOR (TABLE 602)	0/1	Hr(s)
INTERIOR	0	Hr(s)
3. NONBEARING WALLS & PARTITIONS EXTERIOR (TABLE 602)	0/1	Hr(s)
4. NONBEARING WALLS & PARTITIONS INTERIOR	0	Hr(s)
5. FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS & JOISTS)	0	Hr(s)
6. ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS & JOISTS)	0	Hr(s)

9. OCCUPANCY LOAD

DESIGN TOTAL FOR BASEMENT	NA
TOTAL EXIT CAPACITY FOR BASEMENT	NA
DESIGN TOTAL FOR FIRST FLOOR	NA
TOTAL EXIT CAPACITY FOR FIRST FLOOR	NA
DESIGN TOTAL FOR BUILDING	NA
TOTAL EXIT CAPACITY FOR BUILDING	NA

10. MODIFICATIONS

	APPROVED	NOT APPROVED
	<input type="checkbox"/>	<input type="checkbox"/>
	APPROVED	NOT APPROVED
	<input type="checkbox"/>	<input type="checkbox"/>
	APPROVED	NOT APPROVED
	<input type="checkbox"/>	<input type="checkbox"/>

11. ACCESSIBLE BUILDING DESIGNATED
 NON DESIGNATED

12. MINIMUM PLUMBING FIXTURE COUNT (I.P.C. CHAPTER 4) FOR EACH TYPE OF OCCUPANCY PER ENTIRE FACILITY

GROUP "A3" OCCUPANCY (DESIGN LOAD = NA)		
	REQUIRED	PROVIDED
W/C MALE	NA	NA
W/C FEMALE	NA	NA
LAVS	NA	NA
D/F	NA	NA
W/C UNISEX	NA	NA
LAVS UNISEX	NA	NA

GROUP "E" OCCUPANCY (DESIGN LOAD = NA)		
	REQUIRED	PROVIDED
W/C	NA	NA
LAVS	NA	NA
D/F	NA	NA

(TOTAL DESIGN LOAD FOR ENTIRE FACILITY = NA)

13. ENTIRE BUILDINGS SPRINKLERED
 YES NO

14. THRESHOLD BUILDING CONDITIONS
 YES NO

15. CODES TO WHICH THIS PROJECT WAS DESIGNED

State Building Code	2021 IBC CTSBC/2022 AMEND.
State Mechanical Code	2017 ICC
State Plumbing Code	2015 IPC
State Energy Conservation Code	2015 IECC
State Electrical Code	2020 NFPA 70
State Health Code	MOST CURRENT
OSHA	MOST CURRENT
Section 504	CURRENT
ADA	MOST CURRENT
ANSI 117.1	MOST CURRENT

16. BUILDING AREAS FOR GRANT CALCULATION (ENTIRE FACILITY) (MEASURED TO INSIDE FACE OF EXTERIOR WALLS)

EXISTING UNRENOVATED CONSTRUCTION	0	SQ.FT.
EXISTING RENOVATED CONSTRUCTION	0	SQ.FT.
EXISTING BEING DEMOLISHED	0	SQ.FT.
TOTAL EXISTING CONSTRUCTION	34,860	SQ.FT.
TOTAL NEW CONSTRUCTION	0	SQ.FT.
TOTAL FACILITY	152,355	SQ.FT.

OPEN AREAS (NOT INCLUDED IN TOTAL FACILITY)
 NA _____ SQ.FT.

17. TOTAL CONSTRUCTED BUILDING AREA (OUTSIDE FACE OF EXTERIOR WALLS INCLUDING OPEN AREAS ABOVE)
 NA _____ SQ.FT.

FIRE SAFETY CODE DATA:

1. CLASSIFICATION OF OCCUPANCY	EDUCATIONAL/ASSEMBLY
2. MINIMUM CONSTRUCTION REQUIRED	2B
ACTUAL CONSTRUCTION PROVIDED	2A
3. NOTIFICATION /ALARMS (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)	YES <input checked="" type="checkbox"/> NO _____
4. DETECTION (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)	YES <input checked="" type="checkbox"/> NO _____
5. EXTINGUISHMENT REQUIREMENTS (NFPA 13, 2002)	YES <input checked="" type="checkbox"/> NO _____

MEANS OF EGRESS

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT IBC TABLE 1004.1.2

USE	FLOOR AREA IN S.F. PER OCCUPANT
1. CLASSROOMS	20 S.F. NET
2. SHOPS & VOCATIONAL	50 S.F. NET
3. ASSEMBLY WITHOUT FIXED SEATS	7 S.F. NET
TABLES AND CHAIRS	15 S.F. NET
4. PLATFORMS	15 S.F. NET
5. LIBRARY	
READING ROOMS	50 S.F. NET
STACK AREA	100 S.F. GROSS
6. LOCKER ROOMS	50 S.F. GROSS
7. MECHANICAL AREAS	300 S.F. GROSS
8. STORAGE	300 S.F. GROSS
9. BUSINESS AREAS	100 S.F. GROSS
10. Courtyards	15 S.F. NET

MAXIMUM LENGTH OF EXIT TRAVEL
 1. I.B.C. TABLE 1015.1 _____ 250 feet

SYMBOL LEGEND

- PLAN SECTION DETAIL OR ELEVATION- SHEET NUMBER
- INDICATES SLOPE DIRECTION OF SLOPED STRUCTURAL DECK.
- TAPERED INSULATION CRICKET SLOPED @ 3/4" PER FOOT
- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
- NOT IN CONTRACT SCOPE
- WALKWAY PADS. SEE CONSTRUCTION NOTE #2
- EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
- NEW ROOF DRAIN TO BE INSTALLED. SEE DETAIL A/A3
- SECONDARY OVERFLOW ROOF DRAIN. SEE DETAIL B/A3
- METAL SCUPPER W/ COLLECTION BOX. SEE DETAIL C/A3
- EXISTING VENT STACK. SEE DETAIL E/A3
- PITCH POCKET. SEE DETAIL F/A3
- ROOF HATCH. SEE DETAIL G & H/A3
- SKYLIGHT. SEE DETAIL J/A3
- NEW METAL STAIRCASE. SEE DETAIL K/A3
- EXISTING ROOF TOP FAN UNIT. SEE DETAIL L/A3
- EXISTING MECHANICAL UNIT. SEE DETAIL M/A3
- EXISTING ROOF TOP MECHANICAL UNIT. SEE DETAIL N/A3
- EXISTING ROOF TOP MECHANICAL UNIT. SEE CONSTRUCTION NOTE #3
- METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #4
- EXISTING ROOF TOP DUCT WORK. SEE CONSTRUCTION NOTE #5
- EXISTING GAS PIPING. SEE CONSTRUCTION NOTE #6
- EXISTING ELECTRICAL CONDUIT. SEE CONSTRUCTION NOTE #7
- ABANDONED METAL DUNNAGE. SEE DEMOLITION NOTE #5
- ABANDONED MECHANICAL CURB. SEE DEMOLITION NOTE #6

GENERAL NOTES

- ALL FLAT ROOFS TO RECEIVE 3/4" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED "EXISTING".
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED. (P.T.)
- ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
- ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8". (VERTICAL OR HORIZONTAL)
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
- SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED. W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
- SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST CRANKHOLE OUTSIDE OF BUILDING.
- ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 3/4" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
- SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
- ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
- NEW ROOF INSULATION TO BE A MINIMUM OF R-30 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
- ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

DEMOLITION NOTES

- REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" OF RIGID INSULATION DOWN TO EXISTING METAL DECK.
- REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" BASE LAYER OF POLYISO & 3/4" TAPERED INSULATION SYSTEM DOWN TO EXISTING METAL DECK.
- REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
- REMOVE EXISTING ROOF DRAINS & SUMP.
- REMOVE & DISPOSE OF EXISTING METAL DUNNAGE.
- REMOVE EXISTING ABANDONED MECHANICAL UNIT CURB. PATCH EXISTING METAL DECK TO MATCH EXISTING. SEE DETAIL Z/A3

CONSTRUCTION NOTES

- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL.
- WALKWAY PADS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION. COORDINATE & FINALIZE EXACT ROUTE W/ OWNER & ARCHITECT.
- EXISTING ROOFTOP MECHANICAL UNIT. RAISE ENTIRE UNIT MIN. 8" ABOVE HIGH POINT OF NEW ROOF INSULATION. EXTEND ALL DUCTWORK & ELECTRICAL WIRING. SEE DETAIL P/A3 & PROJECT MANUAL.
- NEW METAL DOWNSPOUT LOCATION. CONNECT TO EXIST UNDERGROUND PIPING, OR PROVIDE NEW CONCRETE SPLASH BLOCK IF NO UNDERGROUND PIPING EXISTS.
- EXISTING MECHANICAL UNIT DUCT WORK TO REMAIN. MODIFY ALL STAND-OFFS TO ACCOMMODATE NEW ROOF INSULATION HEIGHT. SEE DETAIL Q/A3 & PROJECT MANUAL.
- EXISTING GAS PIPING TO BE DISCONNECTED & PURGED. RAISE EXISTING GAS PIPING AS REQUIRED TO ACCOMMODATE NEW ROOFING INSULATION HEIGHTS. PROVIDE NEW PIPING EXTENSIONS, JOINTS, FITTINGS & RECONNECT TO EXISTING GAS MAIN. INSTALL ALL EXIST. & NEW GAS PIPING ON NEW PIPE CURBS 24" O.C. PRIME & PAINT ALL EXISTING & NEW GAS PIPING. SEE DETAIL W/A3 & PROJECT MANUAL.
- EXISTING ELECTRICAL CONDUIT TO BE DISCONNECTED & RAISED TO ACCOMMODATE NEW ROOF INSULATION HEIGHTS. REMOVE WIRE/CONDUIT & DISPOSE OF. INSTALL NEW CONDUIT & WIRING IN EXIST LOCATIONS & REPLACE ALL EXISTING JUNCTION BOXES TO MATCH EXISTING. EXTEND CONDUIT & WIRING AS REQUIRED TO ACCOMMODATE NEW ROOF HEIGHTS & ADD NEW JUNCTION BOXES AS REQUIRED. SEE DETAIL W/A3 & PROJECT MANUAL.

ROOF AREAS

ROOF "A"	6,400 SF.
ROOF "B"	6,960 SF.
ROOF "C"	21,500 SF.
TOTAL ROOF AREAS:	34,860 SF.

THIS AREA IS APPROXIMATE-V.I.F.
 IECC CODE REQUIREMENT R-VALUE MIN. R-30
 CONNECTICUT ZONE 2B
 CBSC REQUIREMENT : R-30 -U.0333

ROOF ASSEMBLY

OUTSIDE AIR	0.17
ROOF MEMBRANE	0.33
COVERBOARD	2.20
5" POLYISO INSUL.	29.7
EXISTING DECK	1.23
INSIDE AIR	0.61
R-VALUE TOTAL	34.24

CODE INFORMATION

USE GROUP : E
 CONSTRUCTION CLASS: 2B
 RISK CATEGORY #5
 ULTIMATE DESIGN WIND SPEED: 135 MPH
 NOMINAL DESIGN WIND SPEED: 105 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION. WIND UPLIFT REQUIREMENT OF 160 FOR FIELD, 175 FOR PERIMETER AND 1110 FOR CORNERS. IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

Project Title:
 PARTIAL ROOF REPLACEMENT AT:
BEECHER ROAD ELEMENTARY SCHOOL
 40 BEECHER ROAD.
 WOODBRIDGE, CONNECTICUT 06525

SILVER PETRUCELLI + ASSOCIATES
 3190 WHITNEY AVENUE HAMDEN CT 06518
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Revision	Description	Date	Revised By

Drawing Title:
CODE INFORMATION
 STATE PROJECT 167-0026 RR

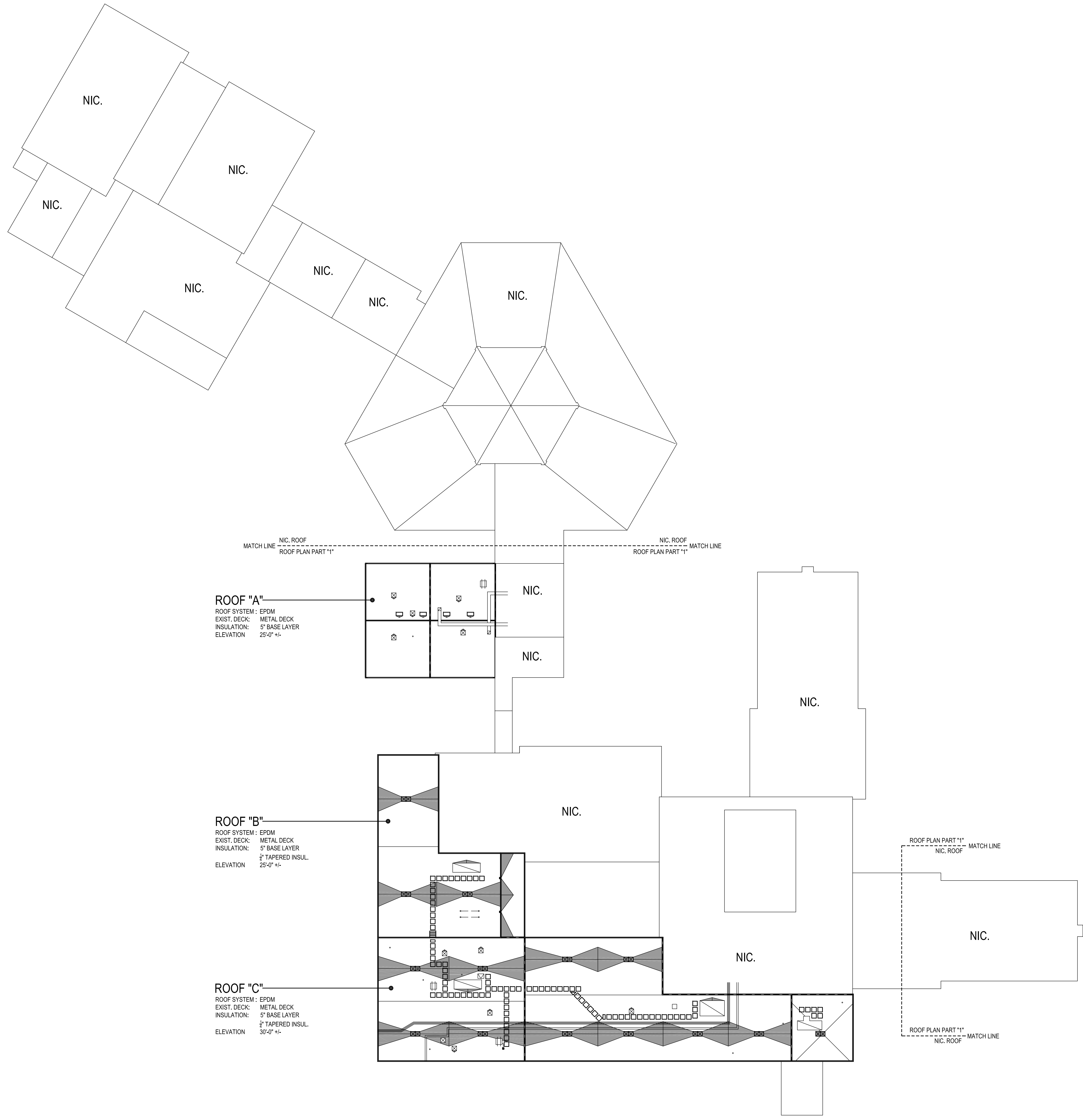
Date:
 02/14/2024

Scale:
 NONE

Drawn By:
 K.LINSLEY

Project Number:
 23.108

Drawing Number:
C1



SYMBOL LEGEND

	- PLAN SECTION DETAIL OR ELEVATION-SHEET NUMBER
	- INDICATES SLOPE DIRECTION OF SLOPED STRUCTURAL DECK.
	- TAPERED INSULATION CRICKET SLOPED @ 1/2\"/>
	- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
NIC.	- NOT IN CONTRACT SCOPE
	- WALKWAY PADS, SEE CONSTRUCTION NOTE #2
ERD.	- EXISTING ROOF DRAIN TO BE REMOVED, SEE DEMOLITION NOTES.
NRD.	- NEW ROOF DRAIN TO BE INSTALLED, SEE DETAIL A/A3
SRD.	- SECONDARY OVERFLOW ROOF DRAIN, SEE DETAIL B/A3
CB.	- METAL SCUPPER W/ COLLECTION BOX, SEE DETAIL C/A3
VS.	- EXISTING VENT STACK, SEE DETAIL E/A3
PP.	- PITCH POCKET, SEE DETAIL F/A3
RH.	- ROOF HATCH, SEE DETAIL G & H/A3
SK.	- SKYLIGHT, SEE DETAIL J/A3
MS.	- NEW METAL STAIRCASE, SEE DETAIL K/A3
FU.	- EXISTING ROOF TOP FAN UNIT, SEE DETAIL L/A3
MU.	- EXISTING MECHANICAL UNIT, SEE DETAIL M/A3
RTU-1.	- EXISTING ROOF TOP MECHANICAL UNIT, SEE DETAIL N/A3
RTU-2.	- EXISTING ROOF TOP MECHANICAL UNIT, SEE CONSTRUCTION NOTE #3
DS.	- METAL DOWNSPOUT, SEE CONSTRUCTION NOTE #4
DW.	- EXISTING ROOF TOP DUCT WORK, SEE CONSTRUCTION NOTE #5
GP.	- EXISTING GAS PIPING, SEE CONSTRUCTION NOTE #6
EC.	- EXISTING ELECTRICAL CONDUIT, SEE CONSTRUCTION NOTE #7
AD.	- ABANDONED METAL DUNNAGE, SEE DEMOLITION NOTE #5
AM.	- ABANDONED MECHANICAL CURB, SEE DEMOLITION NOTE #6

- ### GENERAL NOTES
- ALL FLAT ROOFS TO RECEIVE 1/2\"/>
 - FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
 - ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED "EXISTING".
 - ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED, (P.T.)
 - ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
 - ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8\"/>
 - CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE, NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
 - CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
 - SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
 - SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
 - ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/2\"/>
 - CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS, THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
 - SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
 - ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS, THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD, MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
 - NEW ROOF INSULATION TO BE A MINIMUM OF R-30 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
 - ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

- ### DEMOLITION NOTES
- REMOVE EXISTING ROOFING MEMBRANE, 1-1/2\"/>
 - REMOVE EXISTING ROOFING MEMBRANE, 1-1/2\"/>
 - REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
 - REMOVE EXISTING ROOF DRAINS & SUMP.
 - REMOVE & DISPOSE OF EXISTING METAL DUNNAGE.
 - REMOVE EXISTING ABANDONED MECHANICAL UNIT CURB, PATCH EXISTING METAL DECK TO MATCH EXISTING, SEE DETAIL Z/A3

- ### CONSTRUCTION NOTES
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT, SEE PROJECT MANUAL.
 - WALKWAY PADS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION, SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION, COORDINATE & FINALIZE EXACT ROUTE W/ OWNER & ARCHITECT.
 - EXISTING ROOFTOP MECHANICAL UNIT, RAISE ENTIRE UNIT MIN. 8\"/>
 - NEW METAL DOWNSPOUT LOCATION, CONNECT TO EXIST UNDERGROUND PIPING, OR PROVIDE NEW CONCRETE SPLASH BLOCK IF NO UNDERGROUND PIPING EXISTS.
 - EXISTING MECHANICAL UNIT DUCT WORK TO REMAIN, MODIFY ALL STAND-OFFS TO ACCOMMODATE NEW ROOF INSULATION HEIGHT, SEE DETAIL Q/A3 & PROJECT MANUAL.
 - EXISTING GAS PIPING TO BE DISCONNECTED & PURGED, RAISE EXISTING GAS PIPING AS REQUIRED TO ACCOMMODATE NEW ROOFING INSULATION HEIGHTS, PROVIDE NEW PIPING EXTENSIONS, JOINTS, FITTINGS & RECONNECT TO EXISTING GAS MAIN, INSTALL ALL EXIST. & NEW GAS PIPING ON NEW PIPE CURBS 24\"/>
 - EXISTING ELECTRICAL CONDUIT TO BE DISCONNECTED & RAISED TO ACCOMMODATE NEW ROOF INSULATION HEIGHTS, REMOVE WIRE/CONDUIT & DISPOSE OF, INSTALL NEW CONDUIT & WIRING IN EXIST LOCATIONS & REPLACE ALL EXISTING JUNCTION BOXES TO MATCH EXISTING, EXTEND CONDUIT & WIRING AS REQUIRED TO ACCOMMODATE NEW ROOF HEIGHTS & ADD NEW JUNCTION BOXES AS REQUIRED, SEE DETAIL W/A3 & PROJECT MANUAL.

ROOF AREAS	ROOF ASSEMBLY
ROOF "A" 6,450 SF.	OUTSIDE AIR 0.17
ROOF "B" 6,960 SF.	ROOF MEMBRANE 0.33
ROOF "C" 21,500 SF.	COVERBOARD 2.20
	5\"/>
	EXISTING DECK 1.23
	INSIDE AIR 0.61
TOTAL ROOF AREAS: 34,910 SF. THIS AREA IS APPROXIMATE-V.I.F. ICC CODE REQUIREMENT R-VALUE MIN. R-30 CONNECTICUT ZONE 2B CBCS REQUIREMENT : R-30-UJ.0333	R-VALUE TOTAL 34.24

CODE INFORMATION

USE GROUP : E
CONSTRUCTION CLASS: 2B
RISK CATEGORY #3
ULTIMATE DESIGN WIND SPEED: 135 MPH
NOMINAL DESIGN WIND SPEED: 105 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 140 FOR FIELD, 175 FOR PERIMETER AND 1-110 FOR CORNERS, IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

GRAPHIC SCALE - 1/8\"/>

A1 OVERALL ROOF PLAN
1/32\"/>

Project Title:
PARTIAL ROOF REPLACEMENT AT:
BEECHER ROAD ELEMENTARY SCHOOL
40 BEECHER ROAD,
WOODBIDGE, CONNECTICUT 06525



SILVER PETRUCCELLI + ASSOCIATES
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203 230 9007 silverpetrucci.com

Revision	Description	Date	Reviewed By

Drawing Title:
OVERALL ROOF PLAN
STATE PROJECT 167-0026 RR

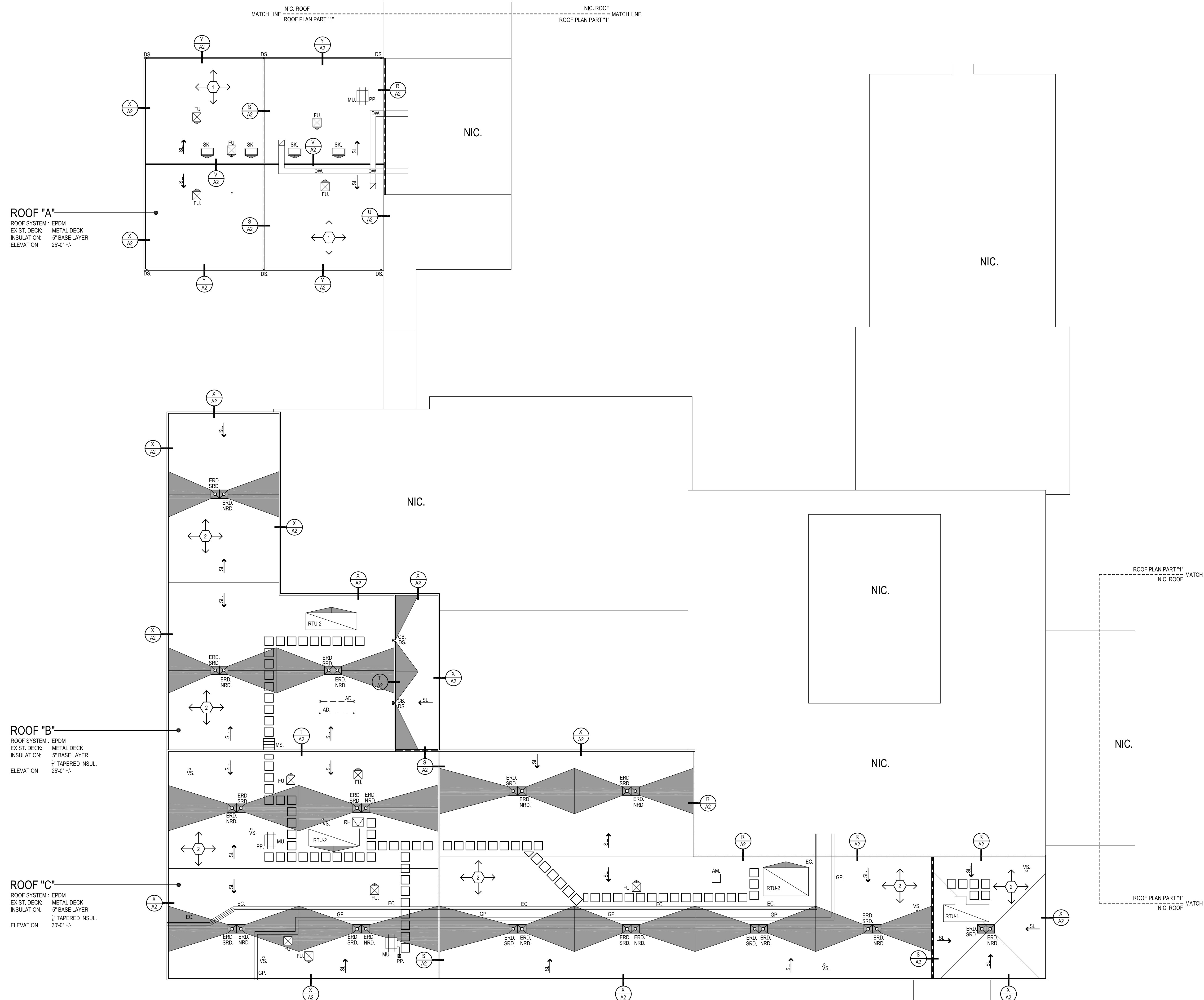
Date:
02/14/2024

Scale:
1/32\"/>

Drawn By:
K.LINSLEY

Project Number:
23.108

A1



ROOF "A"
 ROOF SYSTEM: EPDM
 EXIST. DECK: METAL DECK
 INSULATION: 5" BASE LAYER
 ELEVATION: 25'-0" +/-

ROOF "B"
 ROOF SYSTEM: EPDM
 EXIST. DECK: METAL DECK
 INSULATION: 5" BASE LAYER
 1/2" TAPERED INSUL.
 ELEVATION: 25'-0" +/-

ROOF "C"
 ROOF SYSTEM: EPDM
 EXIST. DECK: METAL DECK
 INSULATION: 5" BASE LAYER
 1/2" TAPERED INSUL.
 ELEVATION: 30'-0" +/-

A2 ROOF PLAN PART "1"
 1/16"=1'-0"

SYMBOL LEGEND	
	PLAN SECTION DETAIL OR ELEVATION-SHEET NUMBER
	INDICATES SLOPE DIRECTION OF SLOPED STRUCTURAL DECK.
	TAPERED INSULATION CRICKET SLOPED @ 1/2" PER FOOT
	INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
	NOT IN CONTRACT SCOPE
	WALKWAY PADS. SEE CONSTRUCTION NOTE #2
	EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
	NEW ROOF DRAIN TO BE INSTALLED. SEE DETAIL A/A3
	SECONDARY OVERFLOW ROOF DRAIN. SEE DETAIL B/A3
	METAL SCUPPER W/ COLLECTION BOX. SEE DETAIL C/A3
	EXISTING VENT STACK. SEE DETAIL E/A3
	PITCH POCKET. SEE DETAIL F/A3
	ROOF HATCH. SEE DETAIL G & H/A3
	SKYLIGHT. SEE DETAIL J/A3
	NEW METAL STAIRCASE. SEE DETAIL K/A3
	EXISTING ROOF TOP FAN UNIT. SEE DETAIL L/A3
	EXISTING MECHANICAL UNIT. SEE DETAIL M/A3
	EXISTING ROOF TOP MECHANICAL UNIT. SEE DETAIL N/A3
	EXISTING ROOF TOP MECHANICAL UNIT. SEE CONSTRUCTION NOTE #3
	METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #4
	EXISTING ROOF TOP DUCT WORK. SEE CONSTRUCTION NOTE #5
	EXISTING GAS PIPING. SEE CONSTRUCTION NOTE #6
	EXISTING ELECTRICAL CONDUIT. SEE CONSTRUCTION NOTE #7
	ABANDONED METAL DUNNAGE. SEE DEMOLITION NOTE #5
	ABANDONED MECHANICAL CURB. SEE DEMOLITION NOTE #6

- GENERAL NOTES**
- ALL FLAT ROOFS TO RECEIVE 1/2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
 - FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
 - ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED "EXISTING".
 - ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED, (P.T.)
 - ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
 - ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8" (VERTICAL OR HORIZONTAL)
 - CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/ A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
 - CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/ ADDITIONAL COST TO OWNER.
 - SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED. W/ LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/ ADDITIONAL COST TO THE OWNER.
 - SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
 - ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/2" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.
 - CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
 - SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
 - ALL DRAIN PIPING IS INSULATED ABOVE THE CEILING. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
 - NEW ROOF INSULATION TO BE A MINIMUM OF R-30 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
 - ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

- DEMOLITION NOTES** (X) →
- REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" OF RIGID INSULATION DOWN TO EXISTING METAL DECK.
 - REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" BASE LAYER OF POLYISO & 1/2" TAPERED INSULATION SYSTEM DOWN TO EXISTING METAL DECK.
 - REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
 - REMOVE EXISTING ROOF DRAINS & SUMP.
 - REMOVE & DISPOSE OF EXISTING METAL DUNNAGE.
 - REMOVE EXISTING ABANDONED MECHANICAL UNIT CURB. PATCH EXISTING METAL DECK TO MATCH EXISTING. SEE DETAIL Z/A3

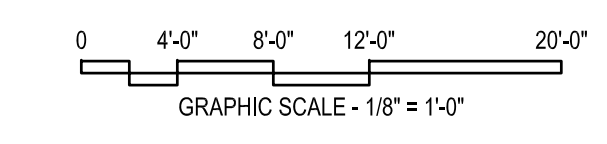
- CONSTRUCTION NOTES** (X) →
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL.
 - WALKWAY PADS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION. COORDINATE & FINALIZE EXACT ROUTE W/ OWNER & ARCHITECT.
 - EXISTING ROOFTOP MECHANICAL UNIT. RAISE ENTIRE UNIT MIN. 8" ABOVE HIGH POINT OF NEW ROOF INSULATION. EXTEND ALL DUCTWORK & ELECTRICAL WIRING. SEE DETAIL P/A3 & PROJECT MANUAL.
 - NEW METAL DOWNSPOUT LOCATION. CONNECT TO EXIST UNDERGROUND PIPING, OR PROVIDE NEW CONCRETE SPLASH BLOCK IF NO UNDERGROUND PIPING EXISTS.
 - EXISTING MECHANICAL UNIT DUCT WORK TO REMAIN. MODIFY ALL STAND-OFFS TO ACCOMMODATE NEW ROOF INSULATION HEIGHT. SEE DETAIL Q/A3 & PROJECT MANUAL.
 - EXISTING GAS PIPING TO BE DISCONNECTED & PURGED. RAISE EXISTING GAS PIPING AS REQUIRED TO ACCOMMODATE NEW ROOFING INSULATION HEIGHTS. PROVIDE NEW PIPING EXTENSIONS, JOINTS, FITTINGS & RECONNECT TO EXISTING GAS MAIN. INSTALL ALL EXIST. & NEW GAS PIPING ON NEW PIPE CURBS 24" O.C. PRIME & PAINT ALL EXISTING & NEW GAS PIPING. SEE DETAIL W/A3 & PROJECT MANUAL.
 - EXISTING ELECTRICAL CONDUIT TO BE DISCONNECTED & RAISED TO ACCOMMODATE NEW ROOF INSULATION HEIGHTS. REMOVE WIRE/CONDUIT & DISPOSE OF. INSTALL NEW CONDUIT & WIRING IN EXIST LOCATIONS & REPLACE ALL EXISTING JUNCTION BOXES TO MATCH EXISTING. EXTEND CONDUIT & WIRING AS REQUIRED TO ACCOMMODATE NEW ROOF HEIGHTS & ADD NEW JUNCTION BOXES AS REQUIRED. SEE DETAIL W/A3 & PROJECT MANUAL.

ROOF AREAS	ROOF ASSEMBLY
ROOF "A" 6,450 SF.	OUTSIDE AIR 0.17
ROOF "B" 6,960 SF.	ROOF MEMBRANE 0.33
ROOF "C" 21,500 SF.	COVERBOARD 2.20
	5" POLYISO INSUL. 28.7
	EXISTING DECK 1.23
	INSIDE AIR 0.61
TOTAL ROOF AREAS: 34,910 SF. THIS AREA IS APPROXIMATE- V.I.F. ICC CODE REQUIREMENT R-VALUE MIN. R-30 CONNECTICUT ZONE 2B CBCS REQUIREMENT : R-30-U.0333	R-VALUE TOTAL 34.24

CODE INFORMATION

USE GROUP : E
 CONSTRUCTION CLASS: 2B
 RISK CATEGORY #3
 ULTIMATE DESIGN WIND SPEED: 135 MPH
 NOMINAL DESIGN WIND SPEED: 105 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 140 FOR FIELD, 175 FOR PERIMETER AND 1-110 FOR CORNERS. IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.



Project Title:
**PARTIAL ROOF REPLACEMENT AT:
 BEECHER ROAD ELEMENTARY SCHOOL**
 40 BEECHER ROAD.
 WOODBRIDGE, CONNECTICUT 06525

SILVER PETRUCELLI + ASSOCIATES

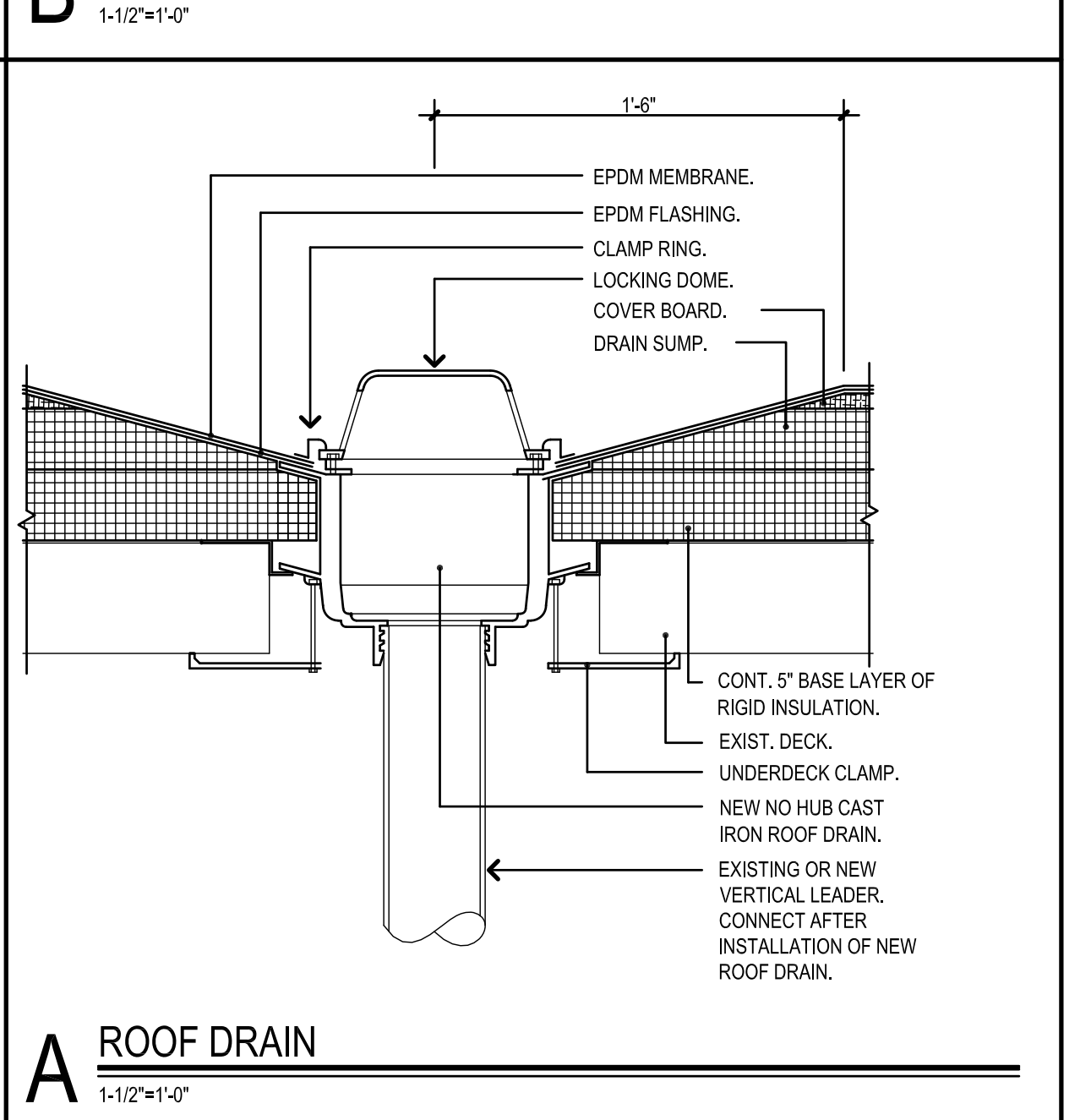
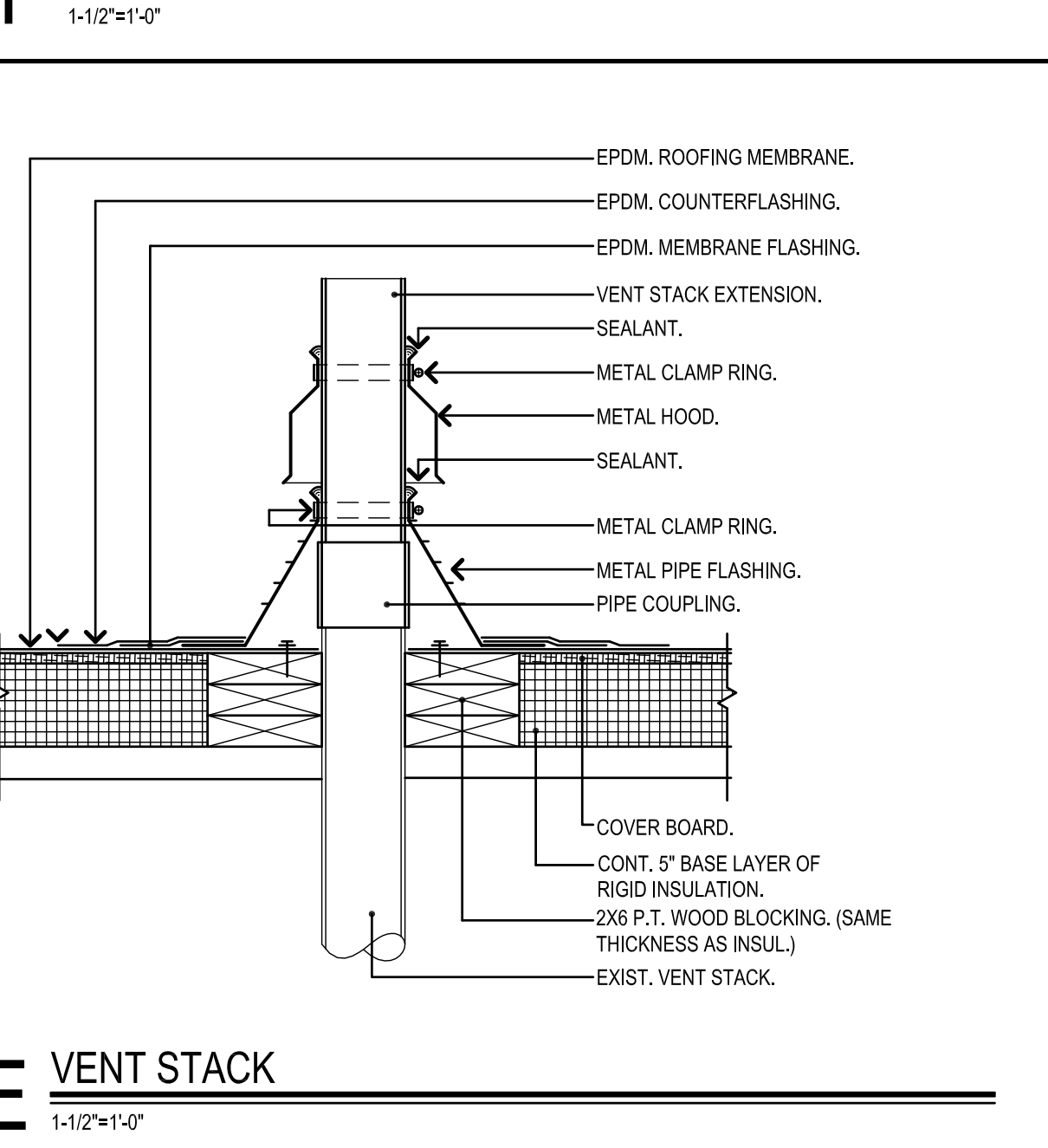
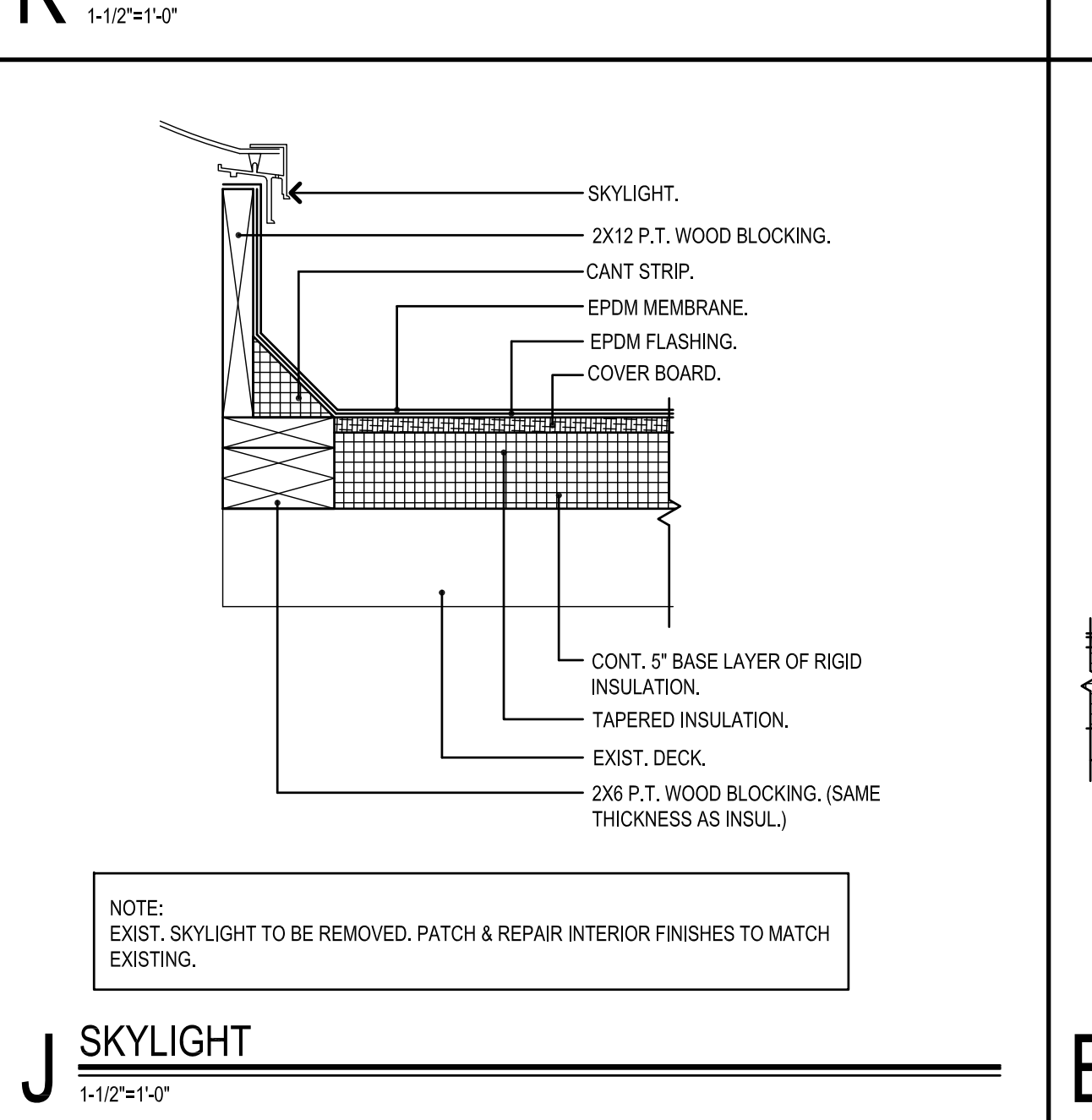
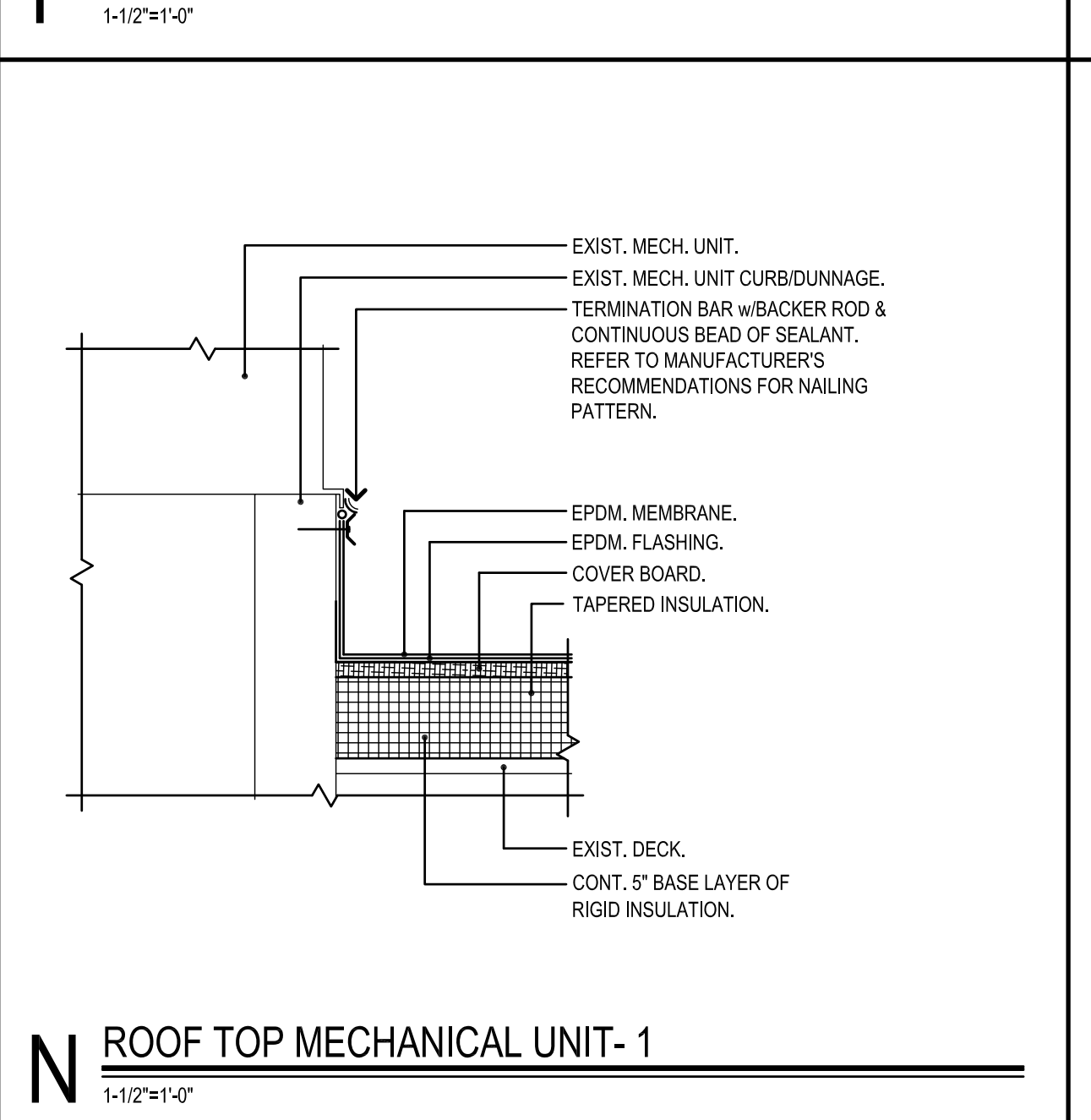
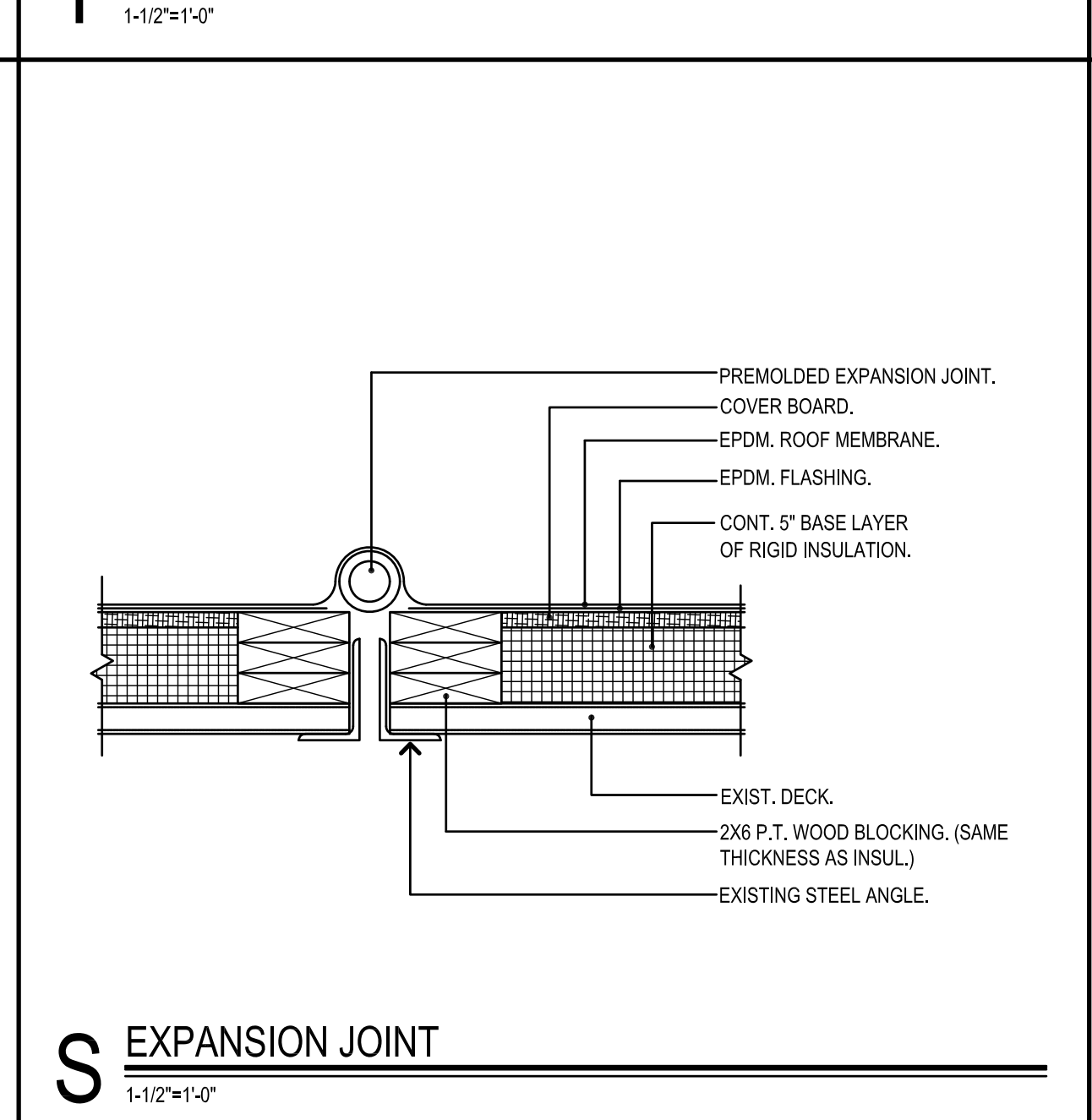
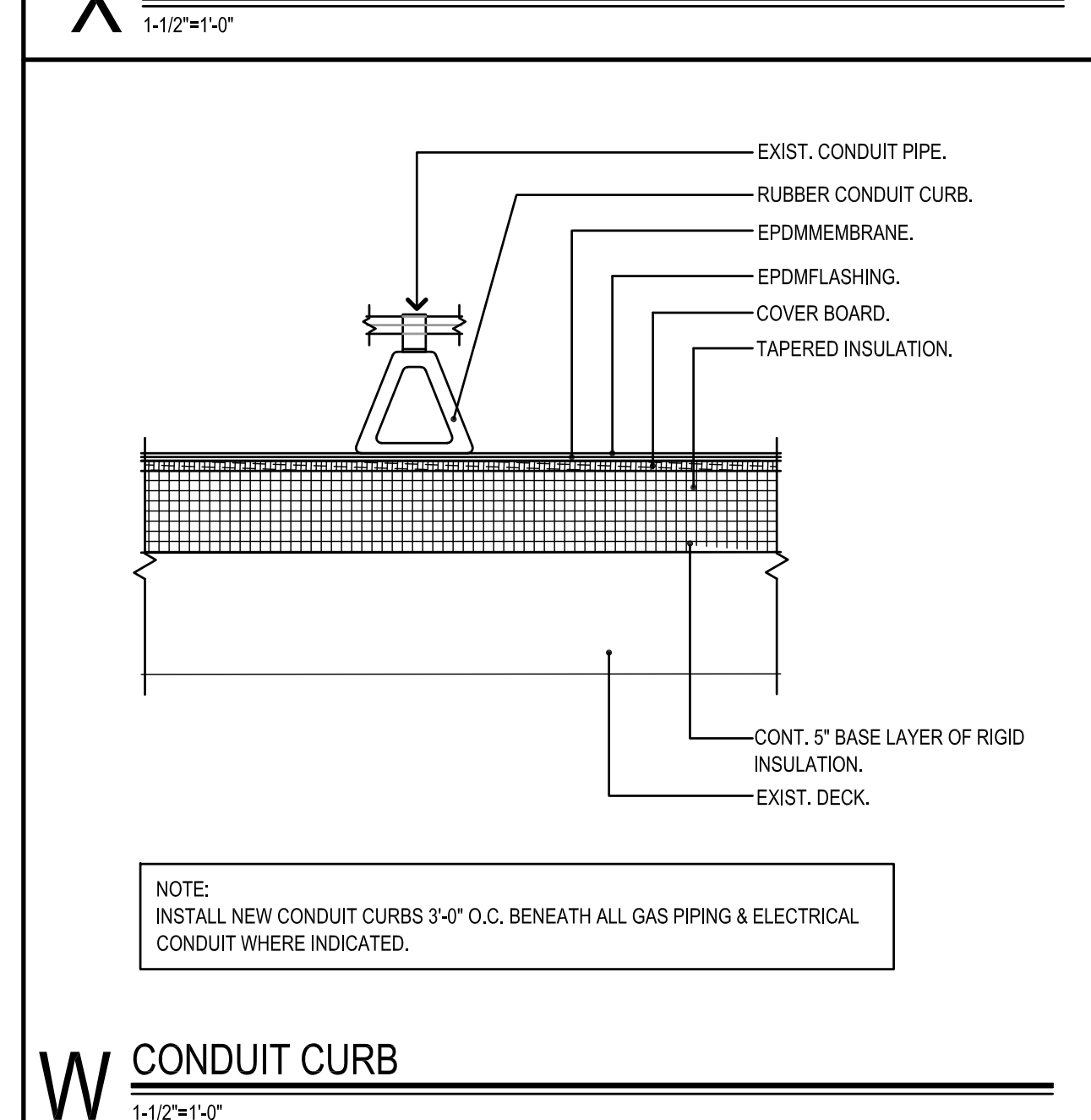
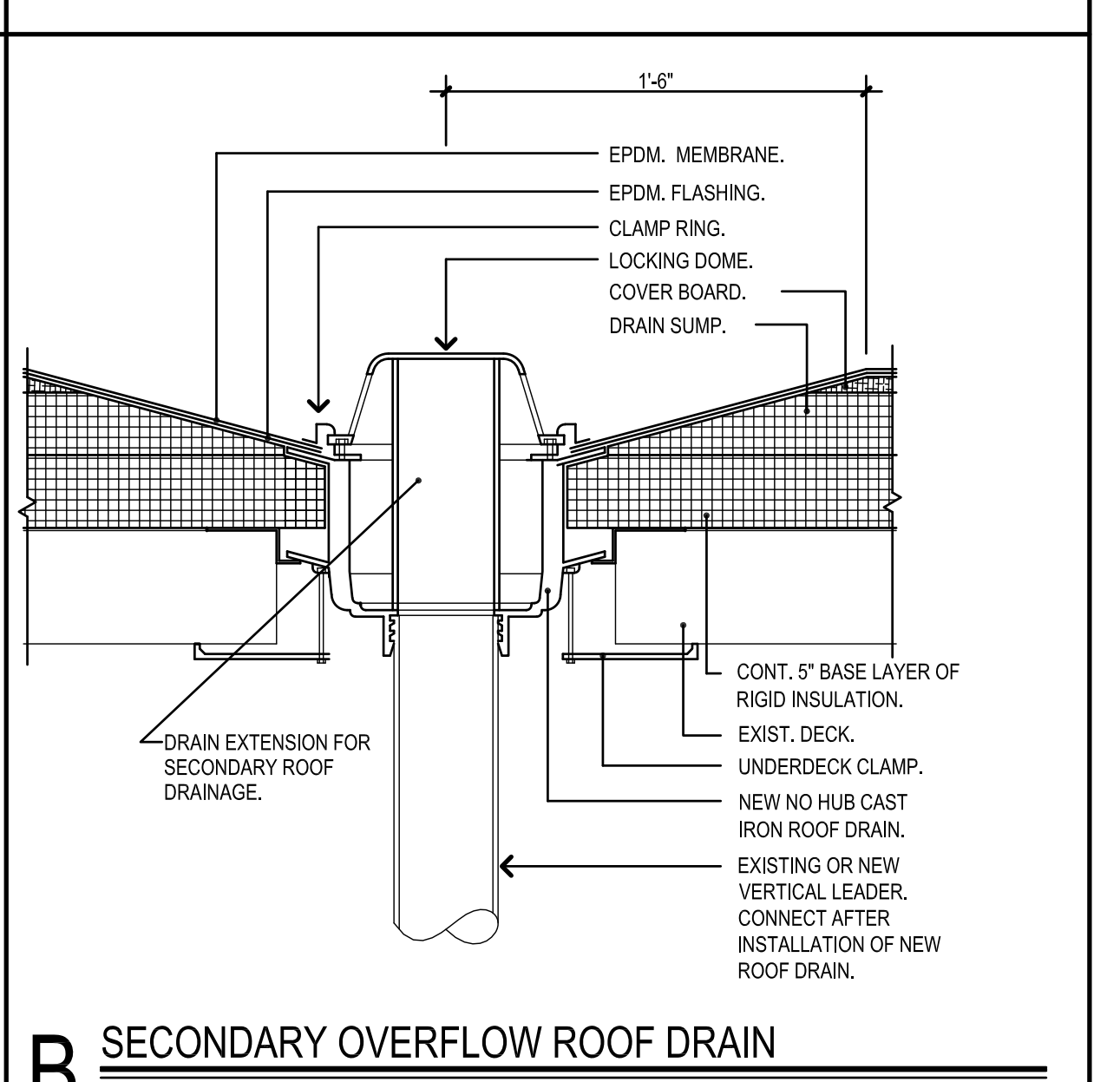
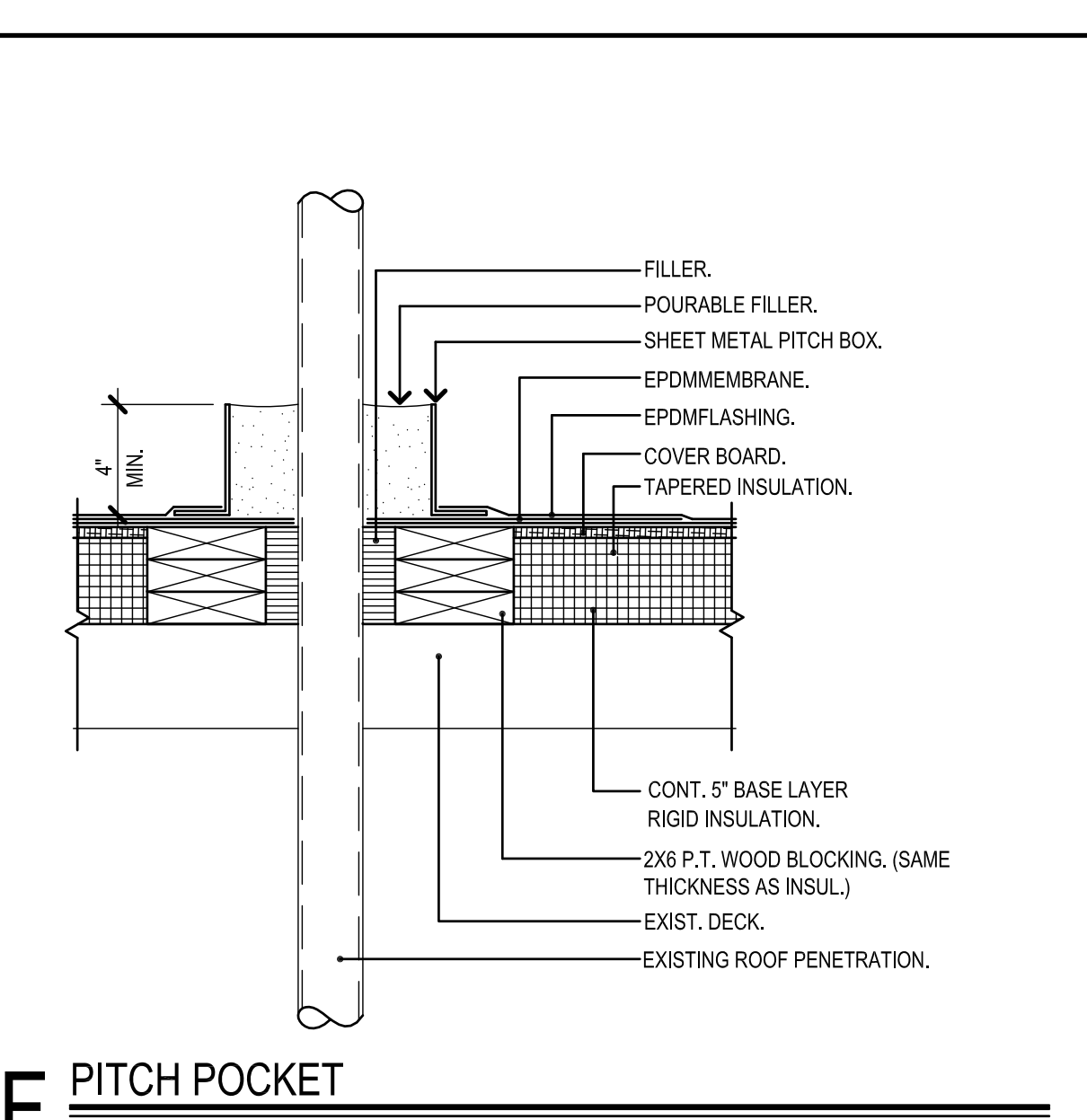
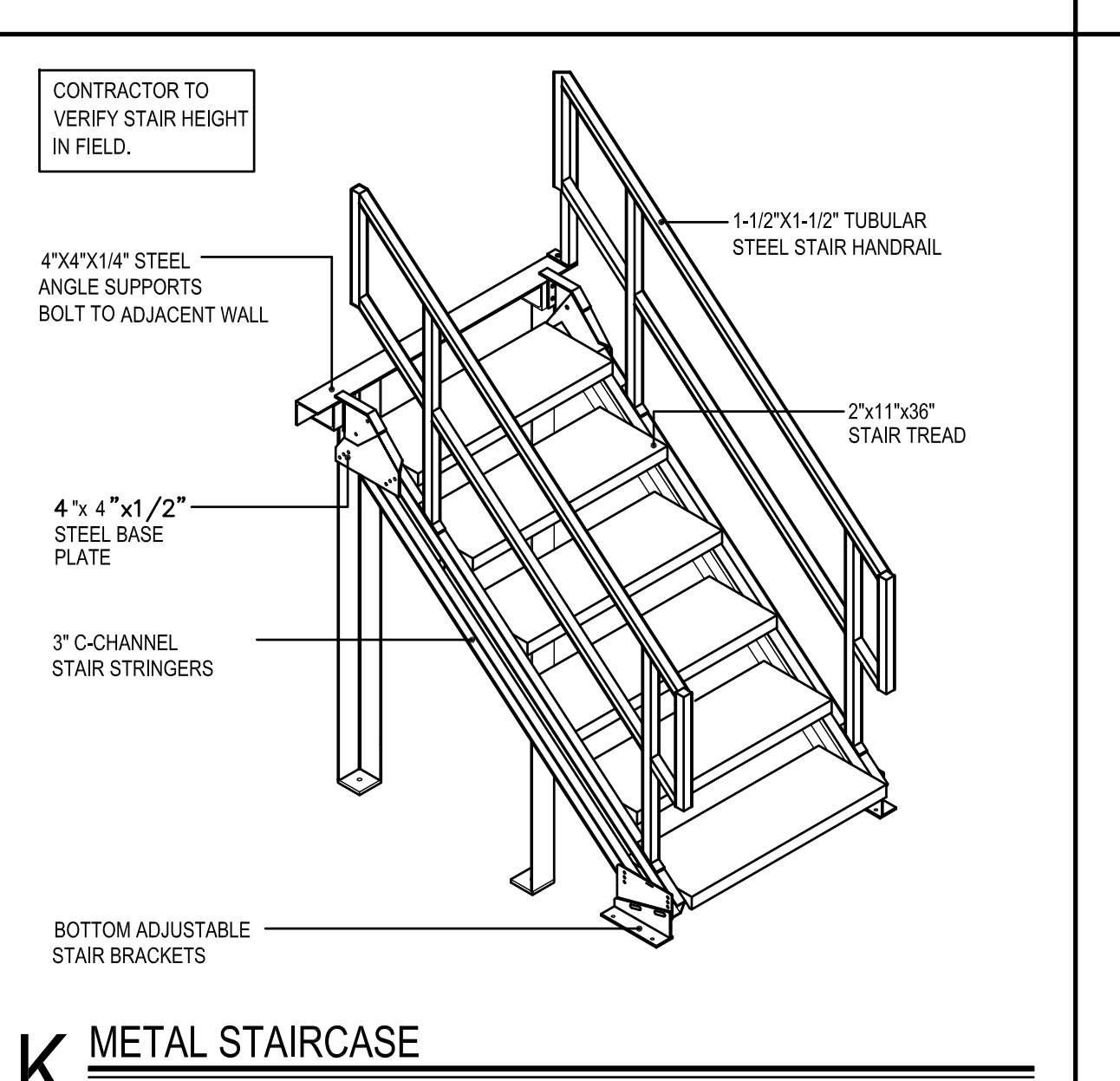
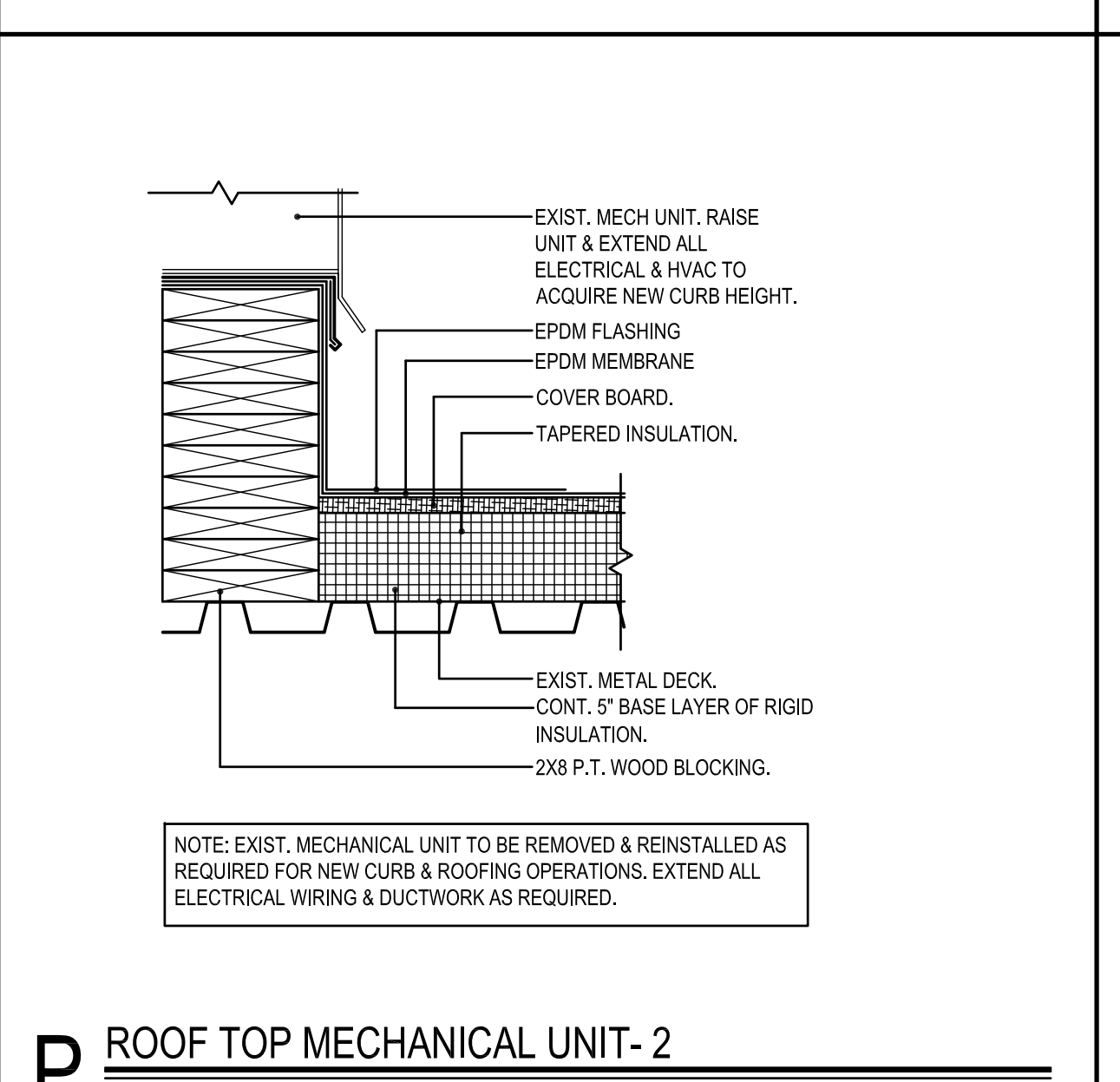
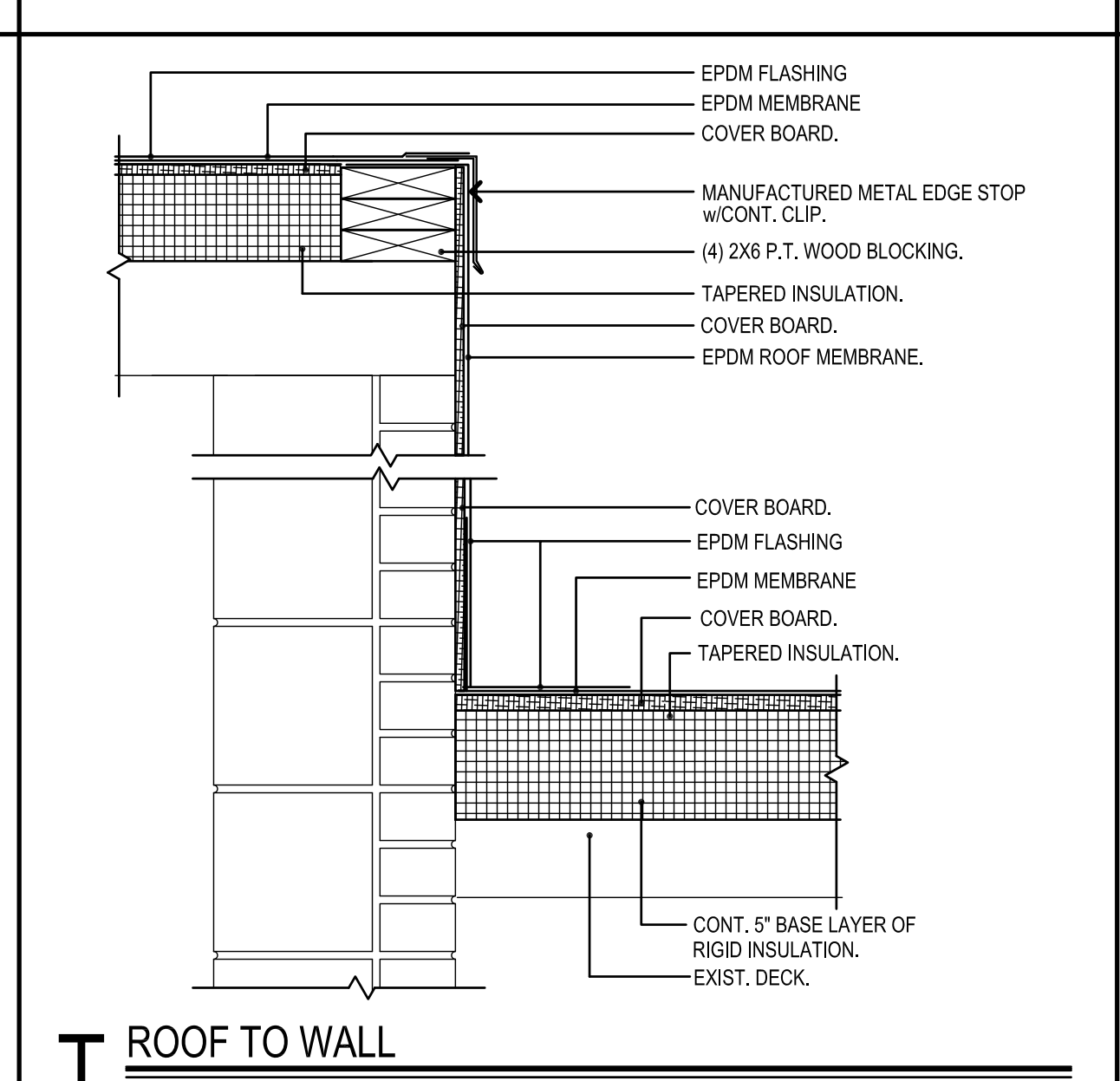
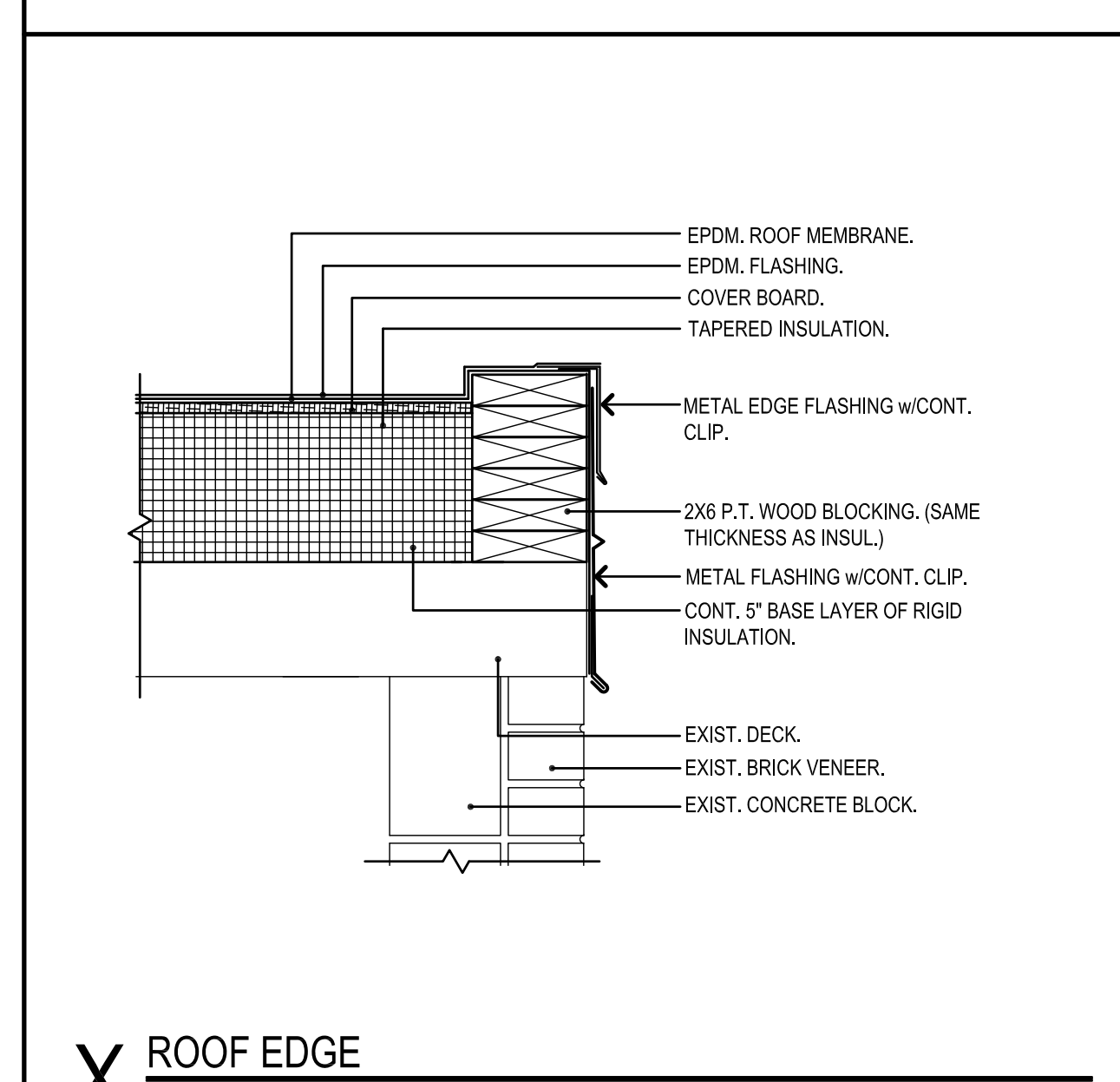
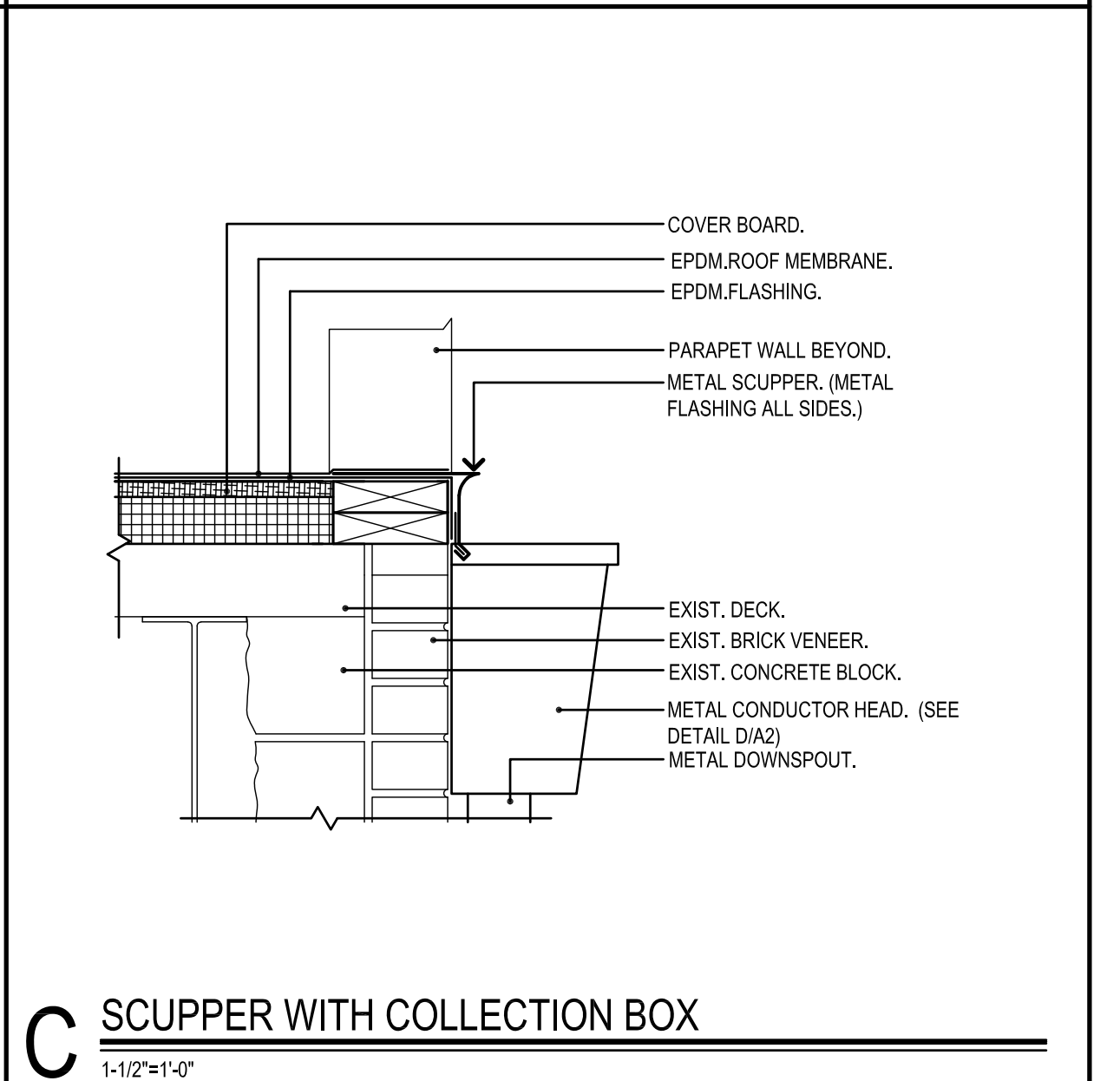
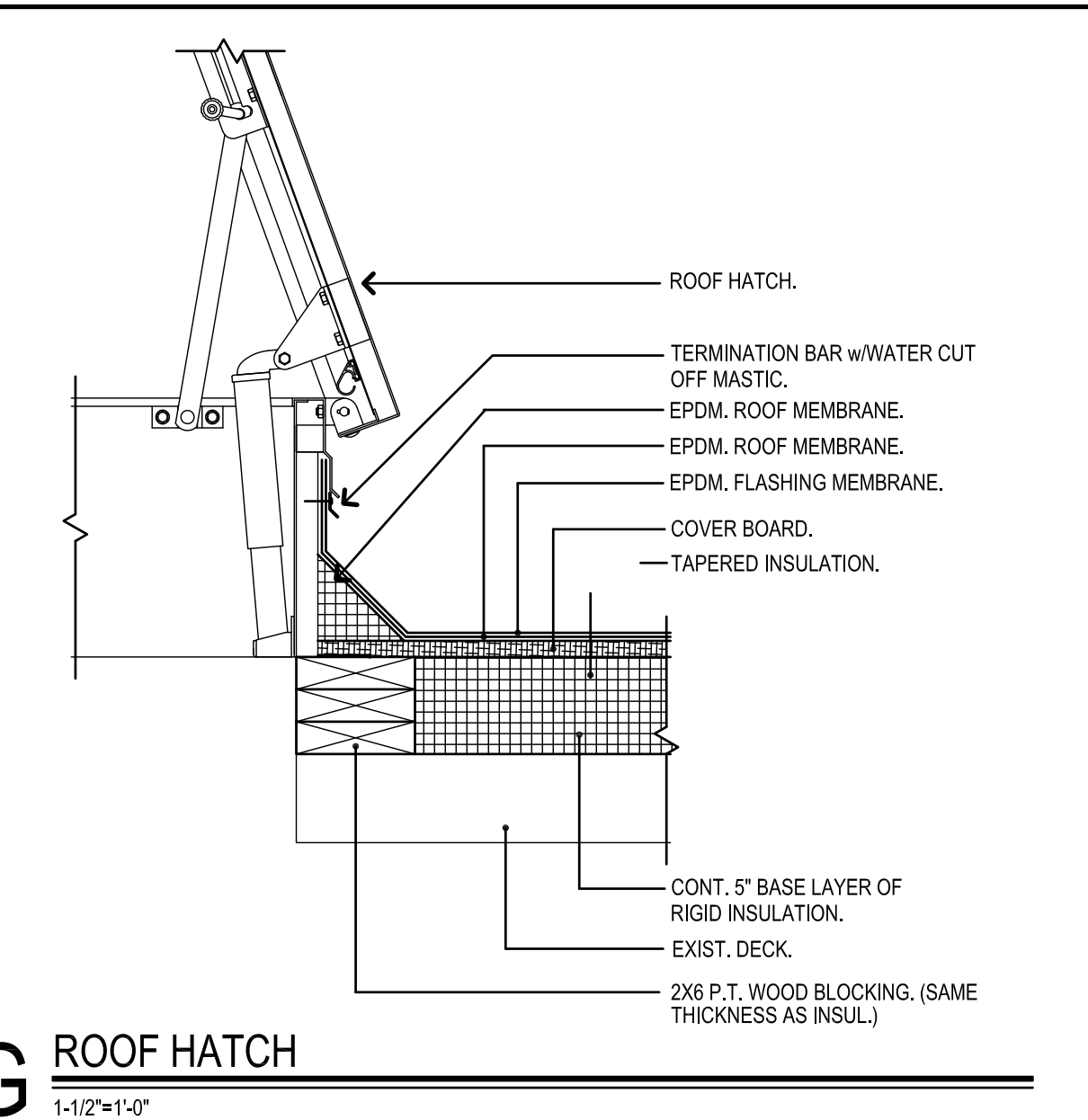
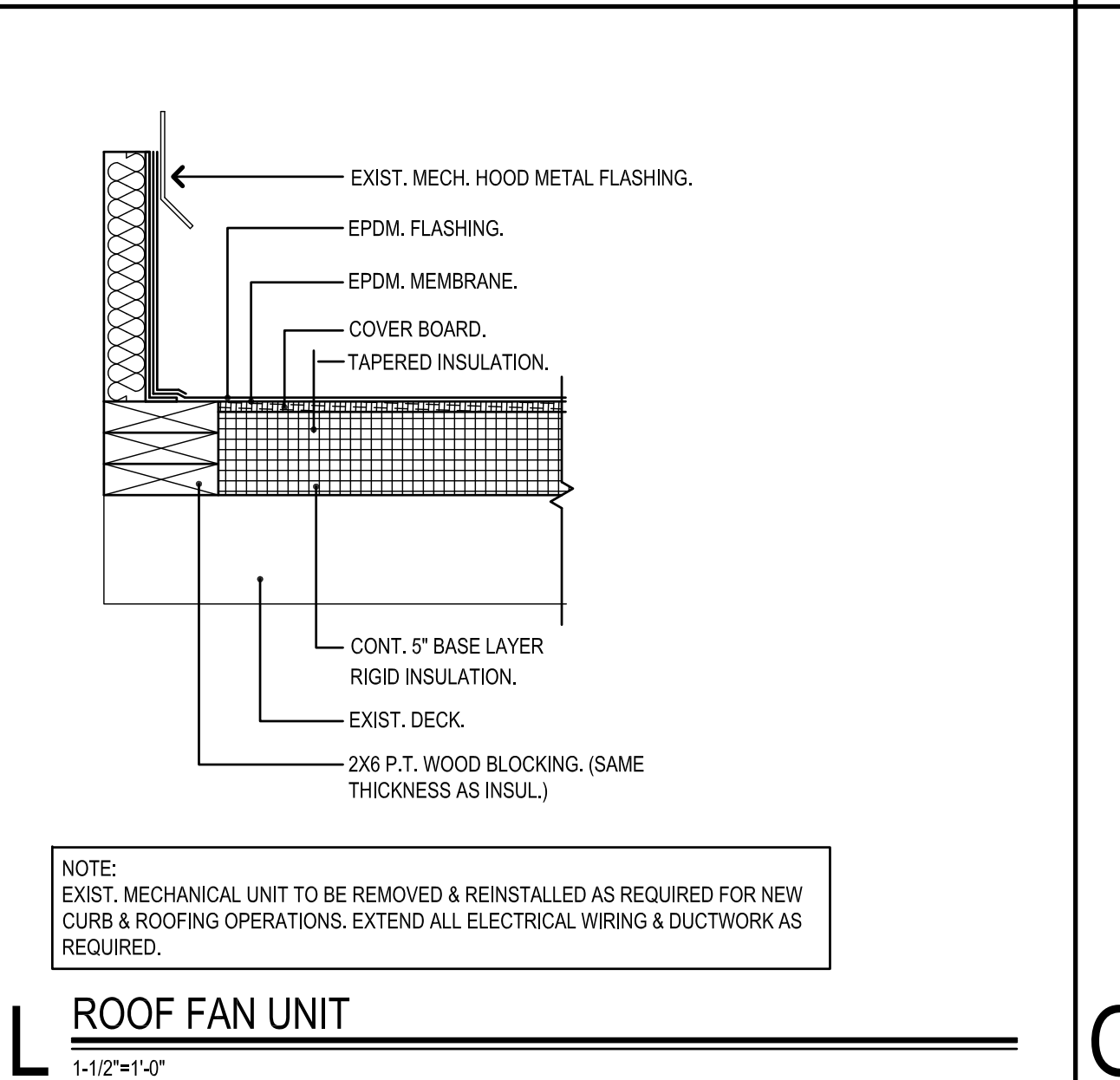
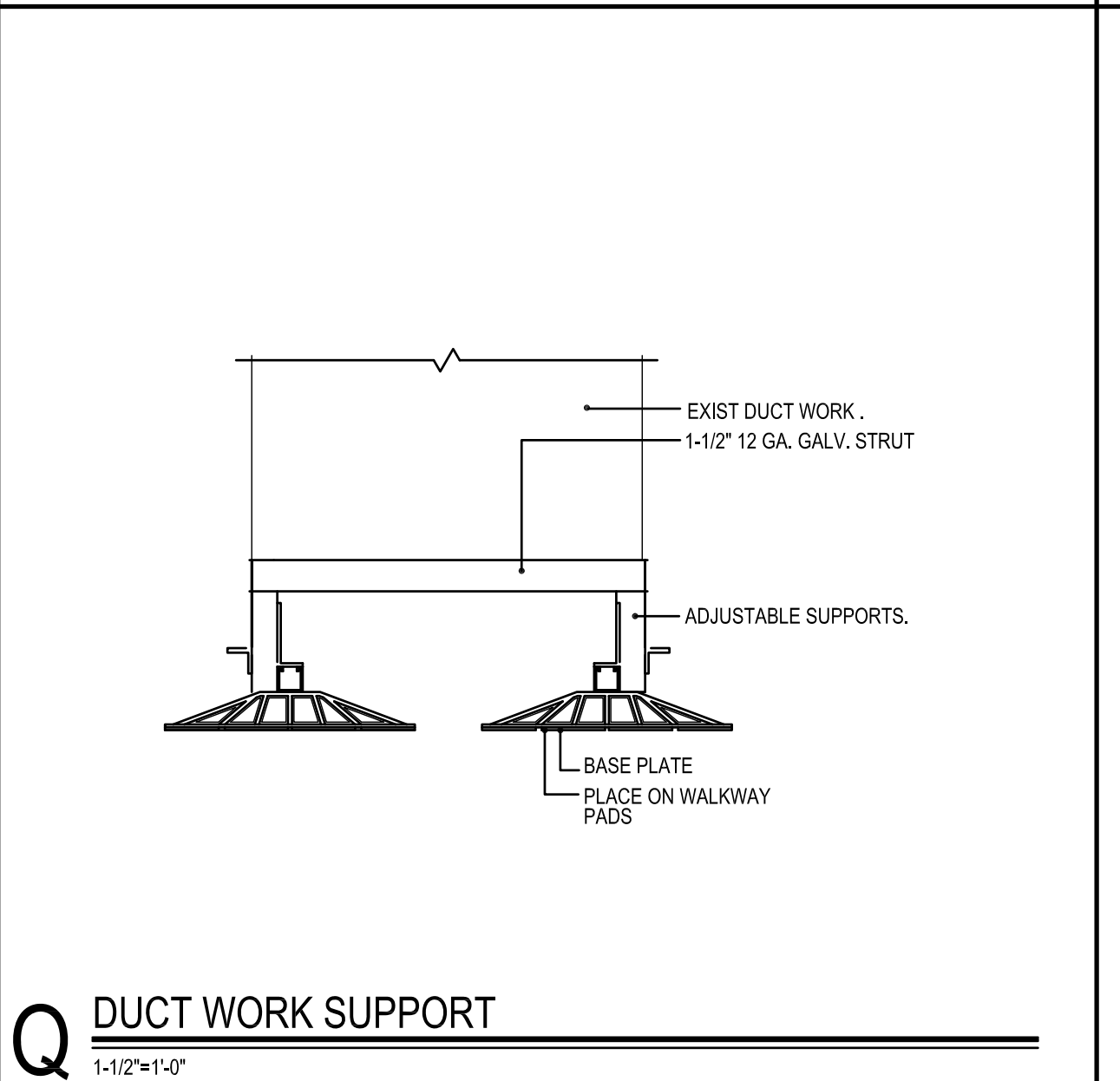
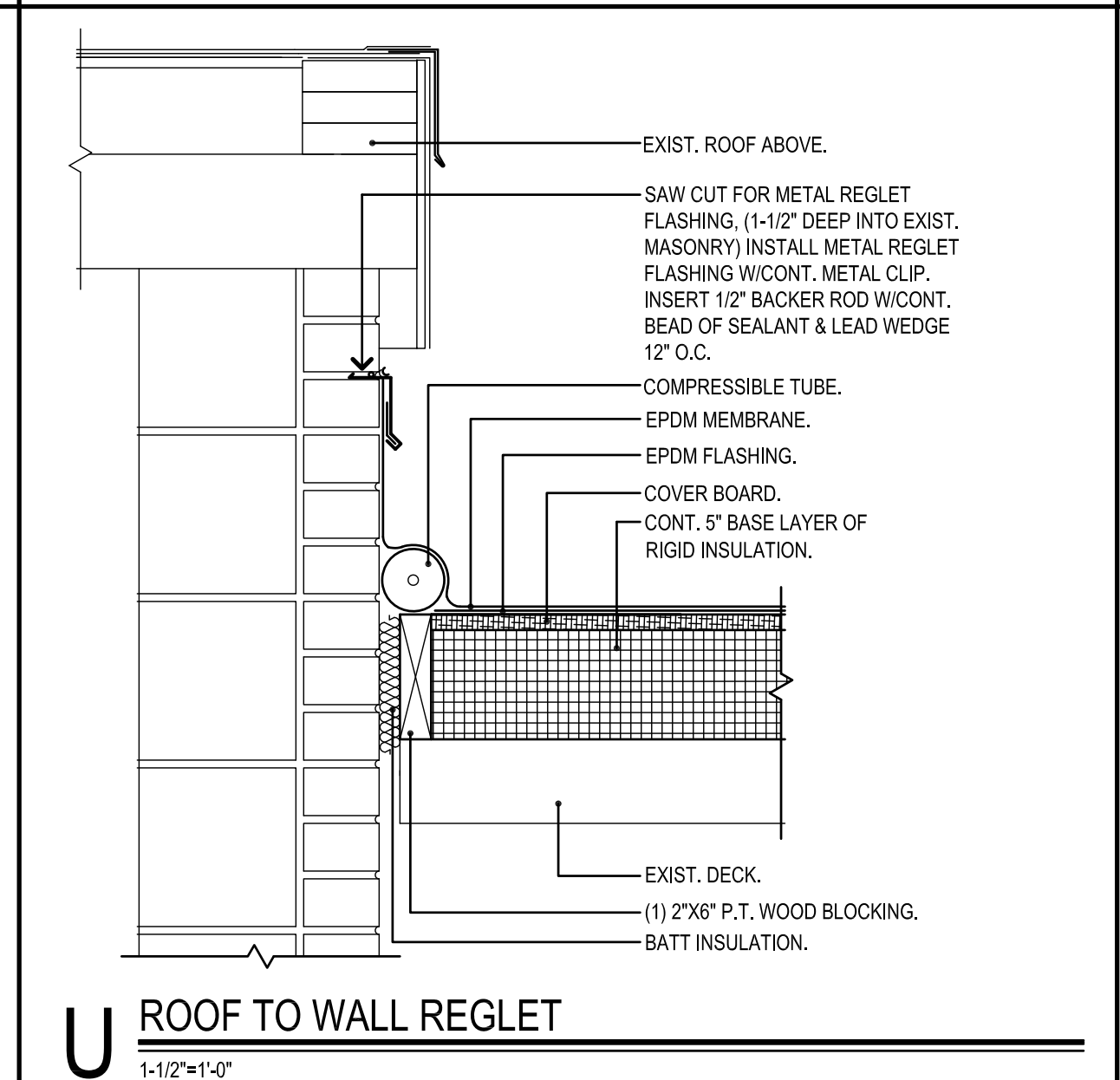
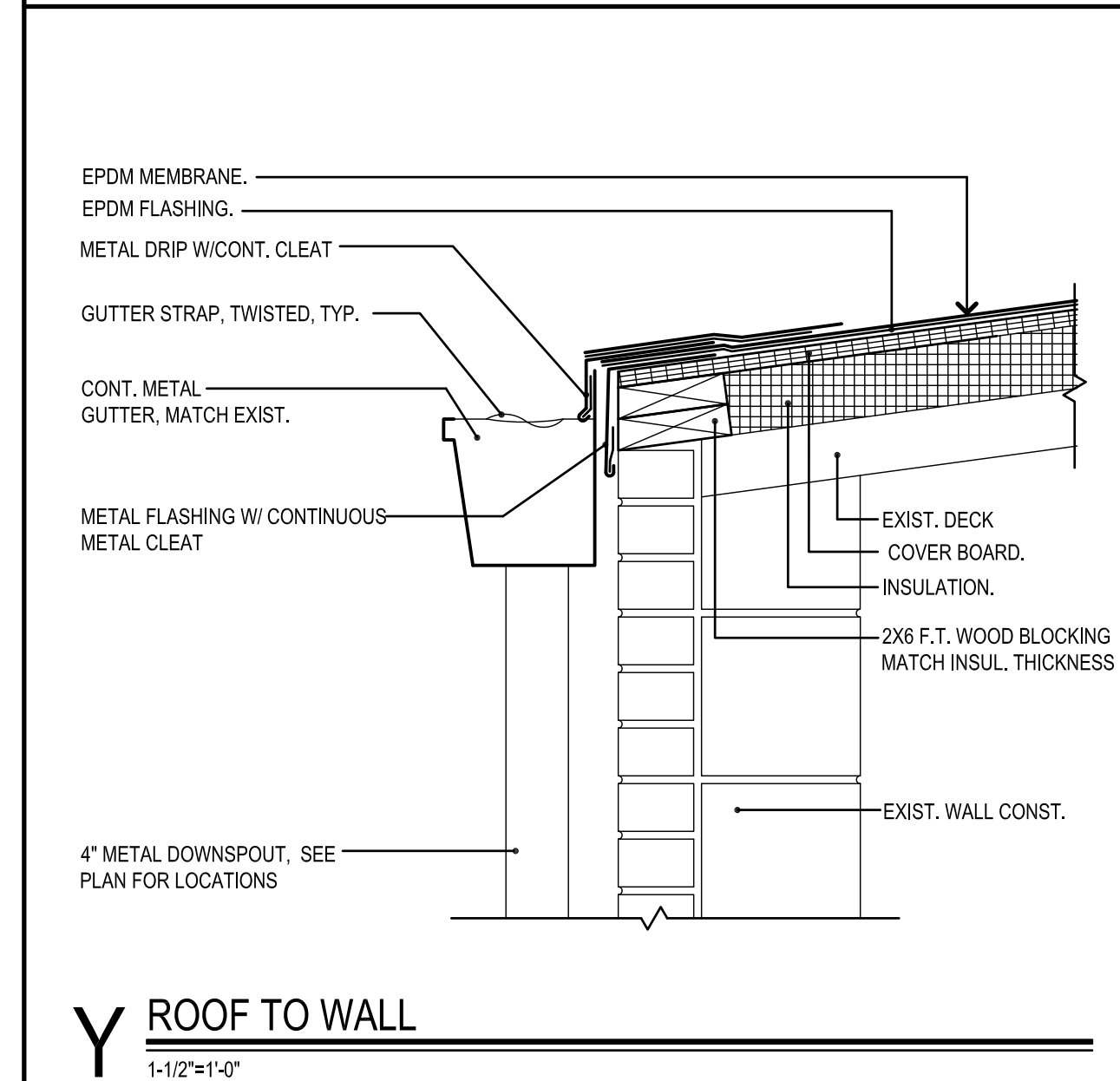
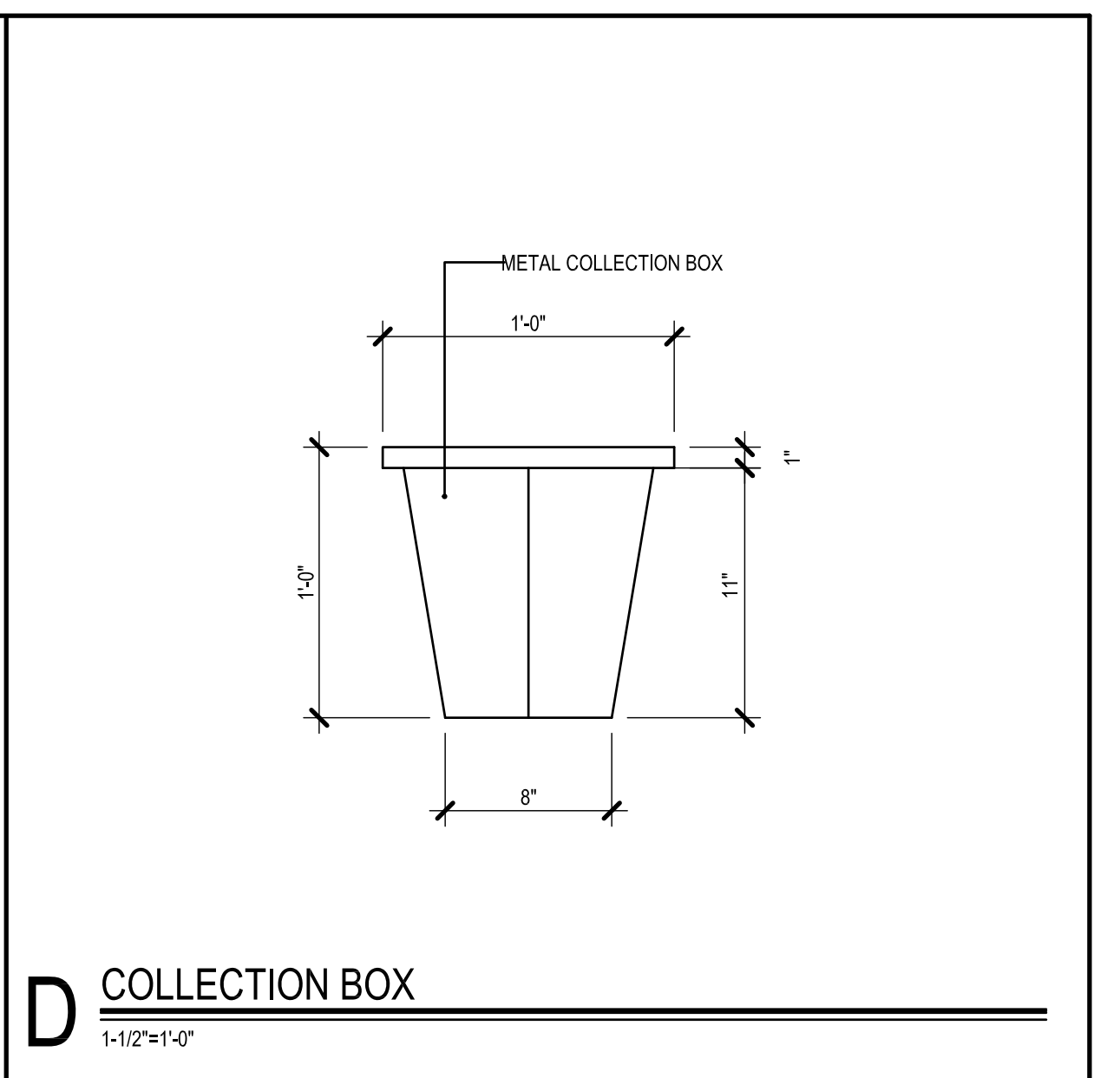
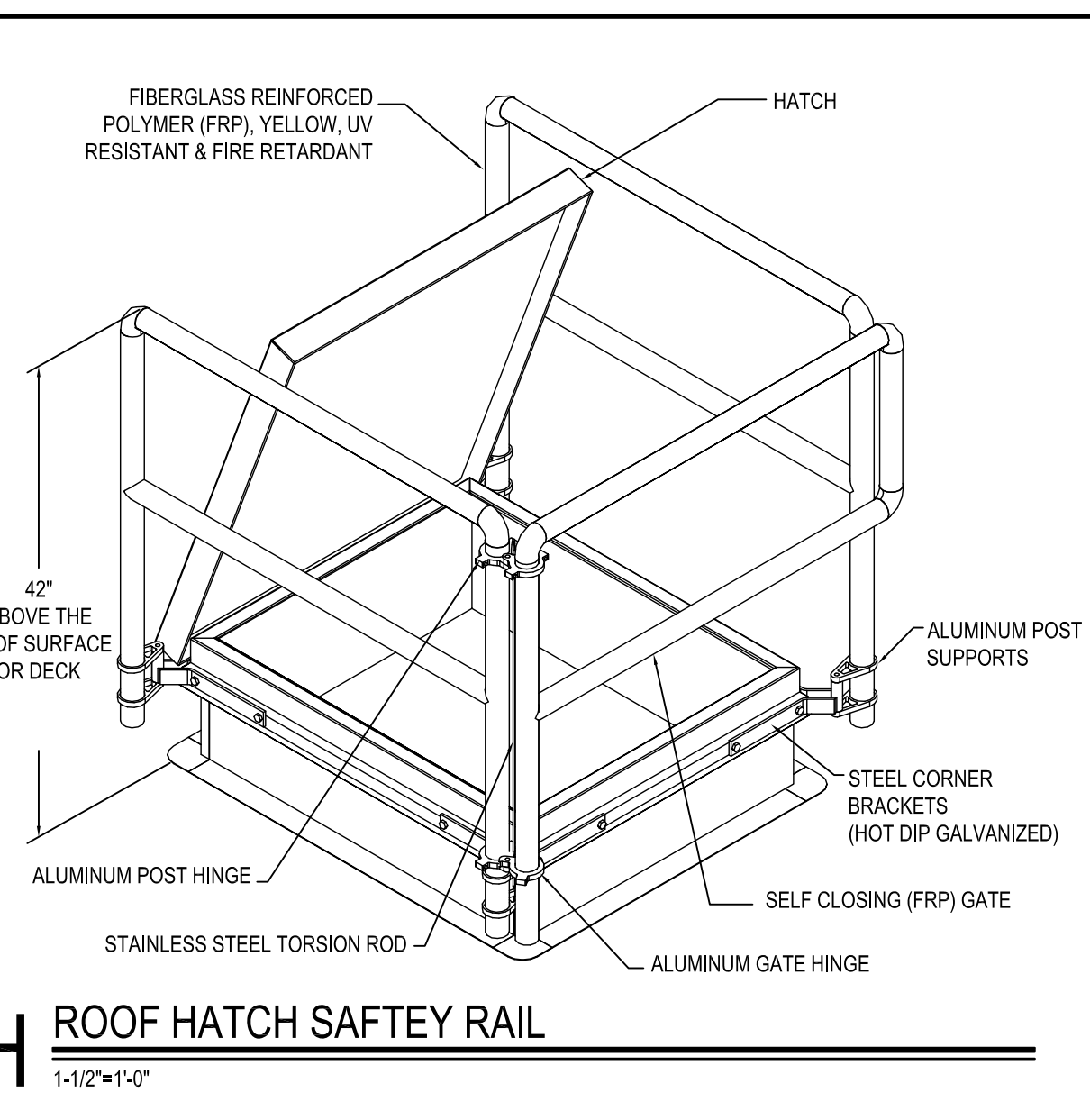
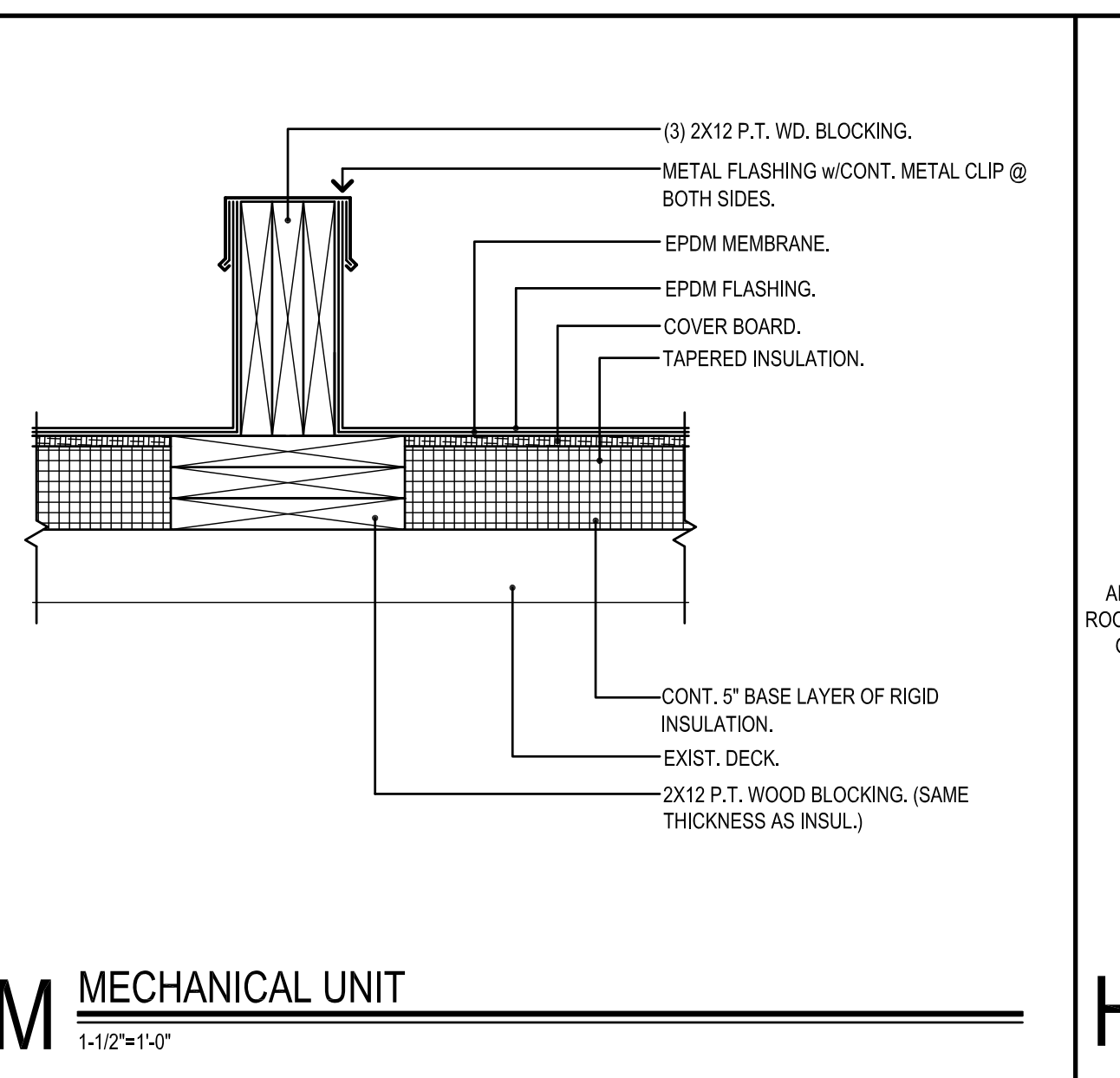
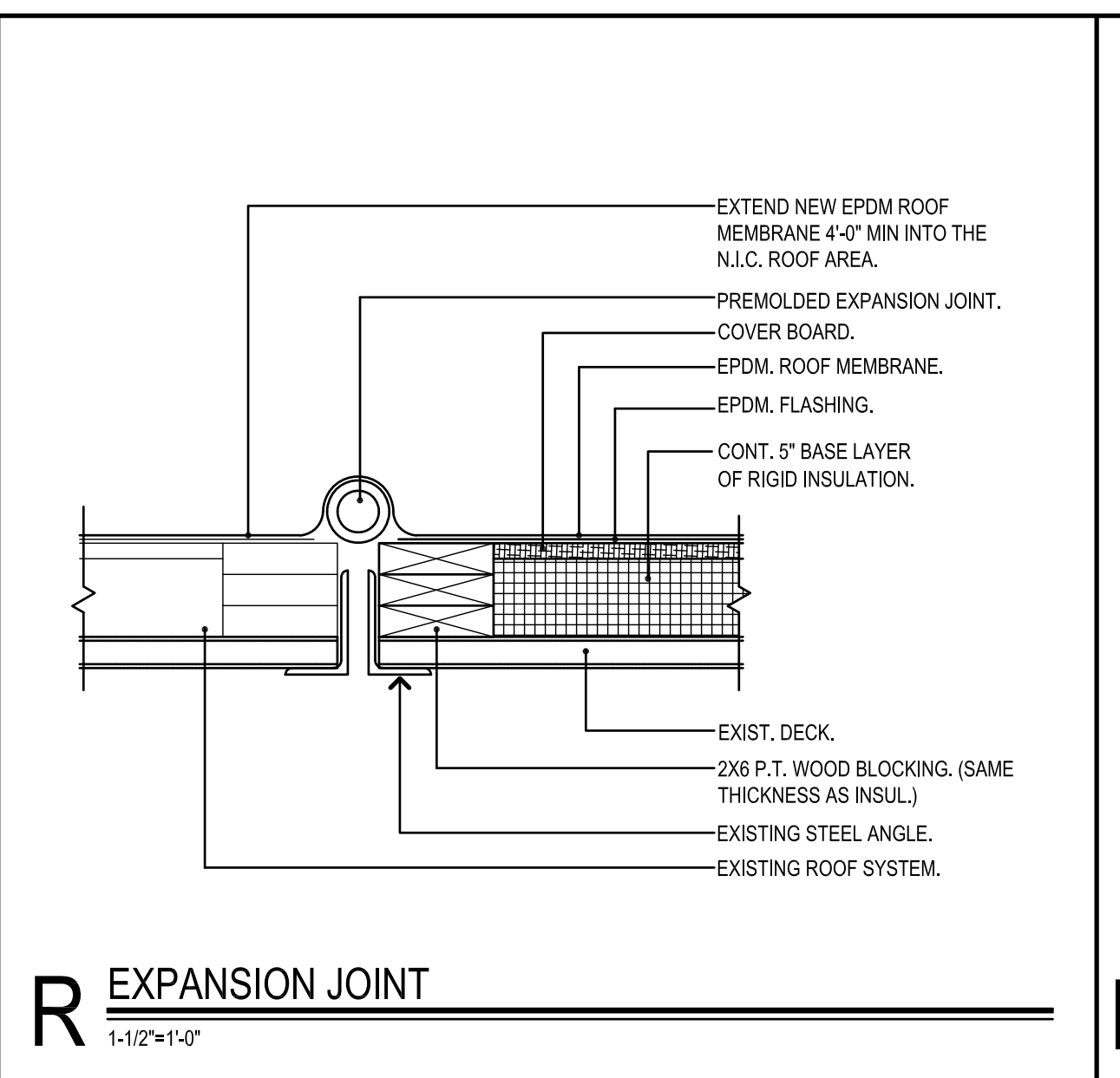
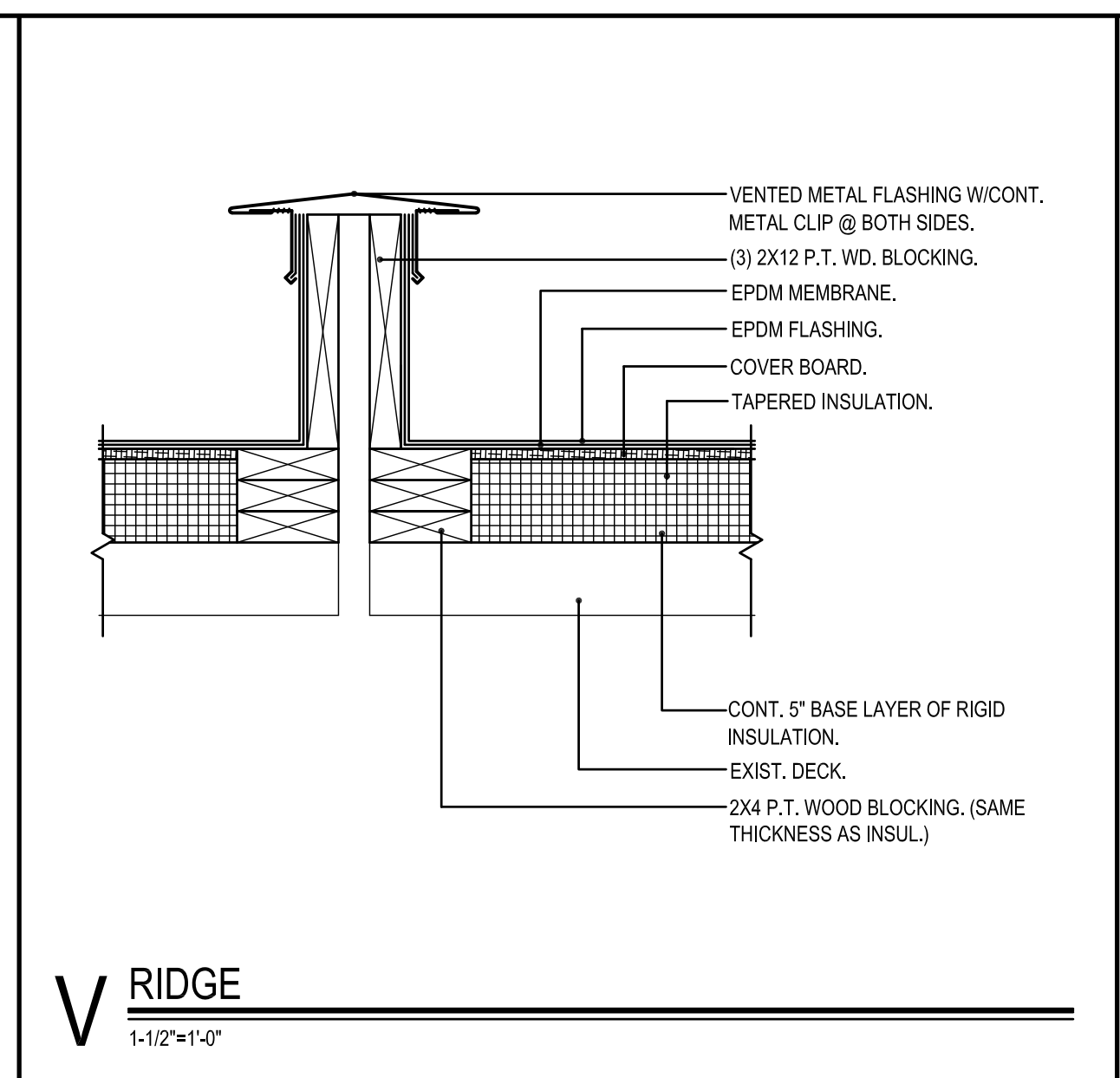
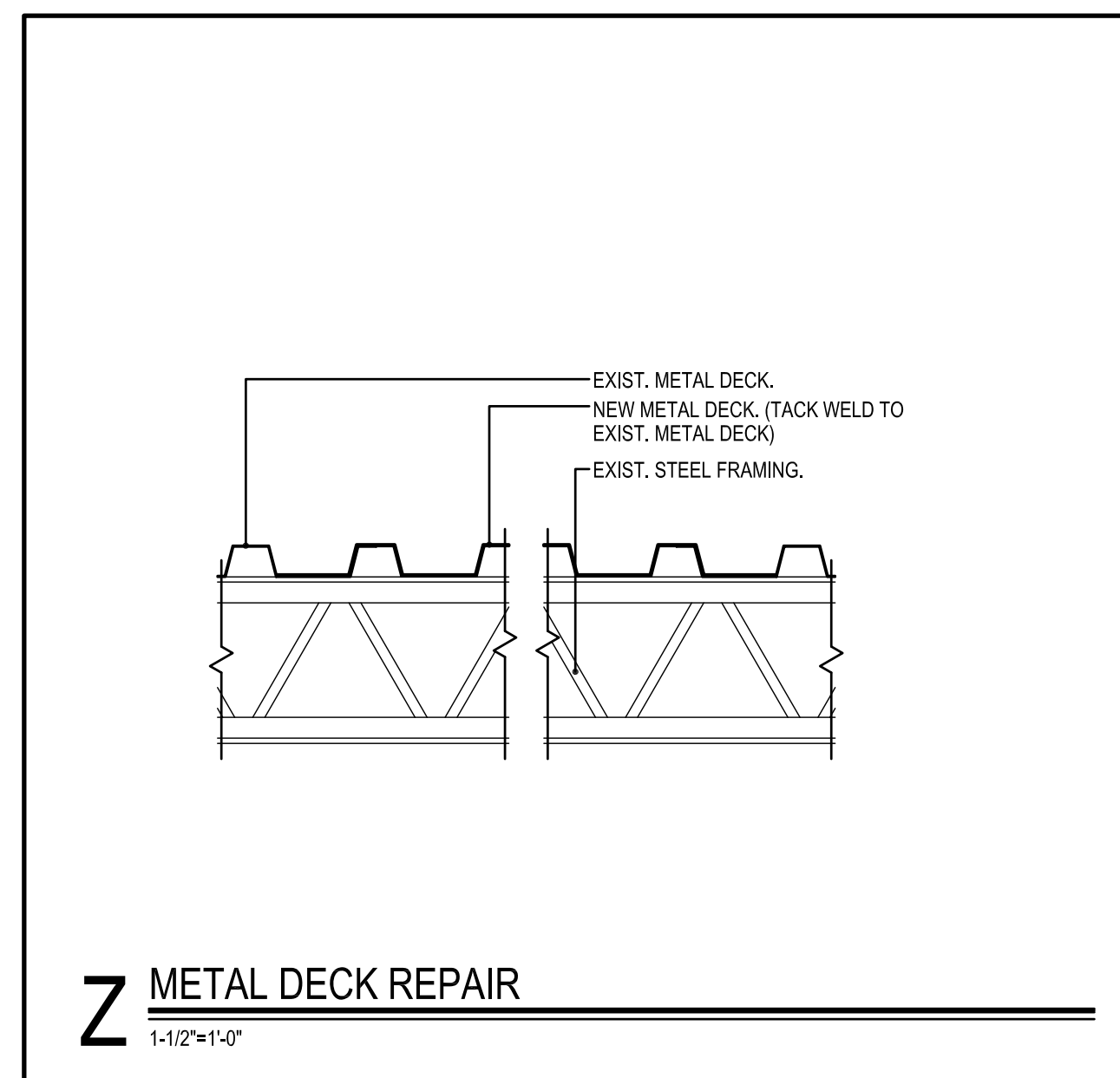
3190 WHITNEY AVENUE HAMDEN CT 06518
 311 STATE STREET NEW LONDON CT 06320
 203 230 9007 silverpetrucelli.com

Revision	Description	Date	Revised By

Project Title:
ROOF PLAN PART "1"
 STATE PROJECT 167-0026 RR

Date: 02/14/2024
 Scale: 1/16"=1'-0"
 Drawn By: K.LINSLEY
 Project Number: 23.108

A2



W CONDUIT CURB
1-1/2" x 1'-0"

Project Title:
PARTIAL ROOF REPLACEMENT AT:
BEECHER ROAD ELEMENTARY SCHOOL
40 BEECHER ROAD,
WOODBIDGE, CONNECTICUT 06525

S EXPANSION JOINT
1-1/2" x 1'-0"

N ROOF TOP MECHANICAL UNIT - 1
1-1/2" x 1'-0"

J SKYLIGHT
1-1/2" x 1'-0"

E VENT STACK
1-1/2" x 1'-0"

A ROOF DRAIN
1-1/2" x 1'-0"

Project Title:
**PARTIAL ROOF REPLACEMENT AT:
BEECHER ROAD ELEMENTARY SCHOOL**
40 BEECHER ROAD,
WOODBIDGE, CONNECTICUT 06525

SILVER PETRUCELLI + ASSOCIATES
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311 STATE STREET NEW LONDON CT 06320
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Revision	Description	Date	Revised By

Project Title:
ROOF DETAILS
STATE PROJECT 167-0026 RR

Date:
02/14/2024
Scale:
1-1/2" = 1'-0"
Drawn By:
K.LINSLEY
Project Number:
23.108

Drawing Number:
A3