



PROJECT REPORT

Date: November 14, 2013
STR Project Number: 13160

**Feasibility Review of Accessibility
Advisory Committee Proposal –
Accessibility Options for 7 Schools**
Beye, Hatch, Irving, Mann, Lincoln, Longfellow,
and Whittier

Prepared for:

**Board of Education of
Oak Park Elementary School
District 97**
970 W. Madison Street
Oak Park, IL 60302

PRELIMINARY
11.08.13

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REPORT SUMMARY

Oak Park District 97 has engaged STR Partners to compile a report describing through schematic sketches and cost estimating the various proposed solutions found in the Accessibility Advisory Committee (AAC) Proposal dated June 11, 2013. The AAC report found that Brooks Middle School, Julian Middle School, and Holmes Elementary School are accessible; therefore, these schools are excluded. The purpose of this study is to provide information necessary for D97 to prioritize this accessibility work along with other improvements through the District's facilities.

STR has utilized the AAC proposal as the basis for this study; meaning, STR was not charged with reviewing and surveying the facilities and providing an accessibility assessment. However, we have visited each facility to observe existing conditions of each of the problem areas. Additionally, STR has provided alternate solutions in instances where the proposed solution was not allowed by code, or if a less intrusive solution was found.

Within each facility section following this summary, we have provided the following documentation:

- A facility narrative
- Plans indicating the schematic design sketches for each solution
- A line item schematic design estimate

At locations where an elevator is suggested, the AAC has recommended that restrooms and doorways be evaluated for accessibility. We are recommending that the scope for these items be a discussion with FAC once a determination is made as to the feasibility of the elevator. Further description of these items is found in each of the facility summaries. We have proposed locations for Areas of Rescue Assistance as part of the report.

ORDER OF MAGNITUDE ESTIMATE

The following is a summary of the various accessible solutions and their estimated cost. Schematic level estimates of each solution are provided in each facility section.

The estimates provided are based on the schematic sketches we have included within this report. We have provided photos of existing conditions to our estimator for a visual understanding of any obstructions, system interruptions, level of finishes expected, etc. Where appropriate, our schematic estimate allows for ornamental brick detailing as well as higher-grade finish materials in order to meet the current palette of materials or detailing. However, it is important to note that we are without existing documentation of the buildings and have not performed any selective demolition to determine what may be concealed behind walls, ceilings, floors, etc. Once a project is engaged in the future, more detailed investigations will occur, potentially affecting our schematic design estimate either positively or negatively.

END OF SUMMARY

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations

SUMMARY

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200

Chicago, Illinois 60654

Client: Oak Park District 97

Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|-------------------------------------|--|----------|------|------------|-----------------|-------------|
| SUMMARY | | | | | | |
| BEYE ELEMENTARY SCHOOL | | | | | | |
| BE1 | ADA Ramp Addition at South Entry Stairwell | | | | \$340,344 | |
| BE2 | Create Area of Rescue Assistance at First Floor North Entry Stairwell. | | | | \$36,114 | |
| BE3 | Install a Elevator Addition for ADA Access | | | | \$584,520 | |
| BE4 | Create Two Areas of Rescue Assistance at Second Floor Corridor. | | | | \$33,425 | |
| BE5 | Create Area of Rescue Assistance at Thrid Floor Corridor. | | | | \$22,479 | |
| BE6 | ADA Door Clearance Issues for accessibility | | | | TBD | |
| BE7 | Provide ADA accessible toilet stalls | | | | TBD | |
| | Subtotal | | | | | \$1,016,883 |
| HATCH ELEMENTARY SCHOOL | | | | | | |
| HE1 | Install a Wheel Chair Lift at Stage | | | | \$59,478 | |
| HE2 | Install a Elevator Addition for ADA Access | | | | \$396,852 | |
| | Subtotal | | | | | \$456,330 |
| IRVING ELEMENTARY SCHOOL | | | | | | |
| IE1 | Remove Stairs and Provide ADA Ramp at SW Corner of Multipurpose Room | | | | \$47,068 | |
| | Subtotal | | | | | \$47,068 |
| LINCOLN ELEMENTARY SCHOOL | | | | | | |
| LI1 | Exterior ADA Access Ramp to Auditorium. | | | | \$562,768 | |
| LI2 | Install a Wheel Chair Lift at Stage | | | | Included in LI1 | |
| LI3 | Remove Stairs and Provide ADA Ramp at Second Floor Corridor | | | | \$62,463 | |
| | Subtotal | | | | | \$625,231 |
| LONGFELLOW ELEMENTARY SCHOOL | | | | | | |
| LO1 | Install a Elevator Addition for ADA Access | | | | \$810,922 | |
| LO2 | Provide ADA Ramps at Second Floor Corridors | | | | \$45,120 | |
| LO3 | Create Area of Rescue Assistance | | | | \$19,612 | |
| LO4 | Reconfigure Room Entries to be IAC Compliant | | | | TBD | |
| LO5 | Reconfigure Toilet Room to add IAC Toilet Stall | | | | TBD | |
| | Subtotal | | | | | \$875,654 |
| MANN ELEMENTARY SCHOOL | | | | | | |
| MA1 | Install a Wheel Chair Lift at Stage | | | | \$74,682 | |
| MA2 | ADA Access Ramp to Cafeteria #118 | | | | \$27,061 | |
| MA3 | Install a Elevator Addition for ADA Access | | | | \$750,689 | |
| MA4 | Create Four Areas of Rescue Assistance on the Second and Third Floors | | | | \$23,772 | |
| MA5 | Reconfigure Room Entries to be IAC Compliant | | | | TBD | |
| MA6 | Reconfigure Toilet Room to add IAC Toilet Stall | | | | TBD | |
| | Subtotal | | | | | \$876,203 |
| WHITTIER ELEMENTARY SCHOOL | | | | | | |
| WH1 | Interior ADA Access Ramp to Multipurpose Room | | | | \$54,720 | |
| WH2 | Install a Elevator Addition for ADA Access | | | | \$429,642 | |
| WH3 | Remove Stairs and Provide Two ADA Ramp at Second Floor Corridor | | | | \$127,323 | |
| WH3 | Provide ADA Ramp at First Floor Corridor | | | | \$36,976 | |
| WH4 | Create Area of Rescue Assistance at First Floor South Entry Stairwell. | | | | \$87,732 | |
| MA5 | Reconfigure Room Entries to be IAC Compliant | | | | TBD | |
| MA6 | Reconfigure Toilet Room to add IAC Toilet Stall | | | | TBD | |
| | Subtotal | | | | | \$736,393 |
| CONSTRUCTION BUDGET | | | | | | |
| | | | | | | \$4,633,763 |
| WH1 | Option Two - Addition with Exterior ADA Access Ramp to Multipurpose Room | | | | \$232,878 | |

BEYE ELEMENTARY

SUMMARY

The multiple levels and atypical stair access to these levels creates a challenge when attempting to achieve an accessible facility at Beye Elementary. The AAC proposal has identified that there is no accessible egress exit from the south portion of the 1st floor. Additionally, the 2nd and 3rd floors are not accessible. While an elevator has been suggested, complete accessibility cannot be achieved with just one elevator tower.

BE1: 1ST FLOOR EGRESS – REWORK SOUTHWEST STAIR FOR RAMP TO EXTERIOR

The AAC report suggests reworking the existing stair between the 1st floor and 2nd floor to accommodate a ramp from the 1st floor to the exterior grade level. This solution will require a small addition to allow for the length of ramp required to achieve this elevation change. The reinstallation of a stair run between the ground level and the 2nd floor will require 4 additional risers to be added to the run.

BE2: AREA OF RESCUE ASSISTANCE – 1ST FLOOR SOUTHEAST STAIR

In the event BE1 is not pursued, the AAC recommended providing at a minimum an Area of Rescue Assistance complete with rated doors and 2-way communication one of the south exit stairs. This will require some removal of lockers. The District will need to advise if relocation is desired.

BE3: VERTICAL ACCESS - ELEVATOR

The AAC proposal has suggested the elevator be located within the north stairwell shaft. STR has determined that this is not viable as it eliminates a required egress stair from the 2nd and 3rd floors. Therefore, we have proposed an exterior elevator tower to be located at the west entry just south of the main office. The following describes the accessibility achieved with this location.

- 1st floor: Remains accessible
- 2nd floor: The north portion of the building becomes accessible including the gymnasium, music room and Media Center - however it is an awkward route to the Media Center through the gymnasium. *(We understand that the existing locker rooms may be renovated to provide additional instructional space – this was not included as part of this study.)*
- 3rd floor: By removing the stairs at the penthouse and providing ramps and an elevated landing, the entire 3rd floor becomes accessible.

BE4: AREAS OF RESCUE ASSISTANCE – 2nd FLOOR

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd floor for this purpose.

BE5: AREAS OF RESCUE ASSISTANCE – 3rd FLOOR

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 3rd floor for this purpose.

BE6: CLASSROOM DOOR ADA RENOVATIONS

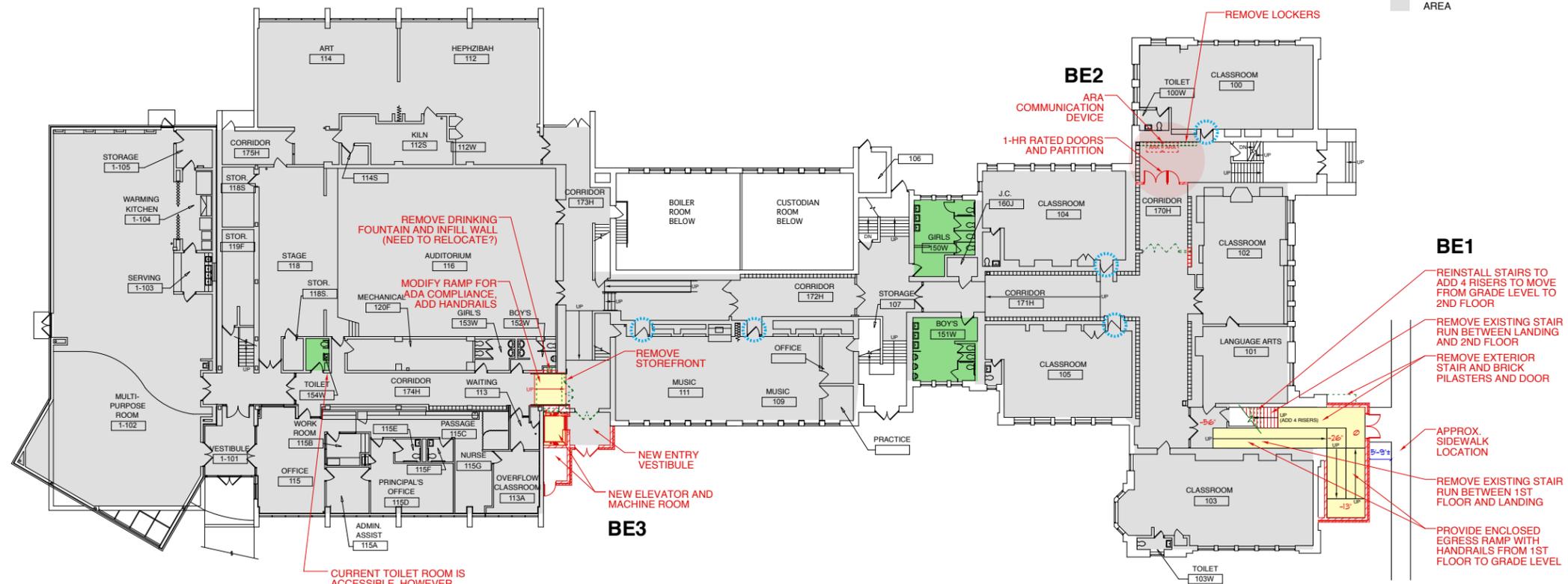
With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

MA6: TOILET ROOM ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF BEYE

- LEGEND:**
- ITEMS TO BE REMOVED
 - PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



1 FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"

PRELIMINARY

SCOPE DOCUMENT
 This drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Construction Documents, on the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.

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PROJECT
D97 ACCESSIBILITY STUDY
BEYE ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

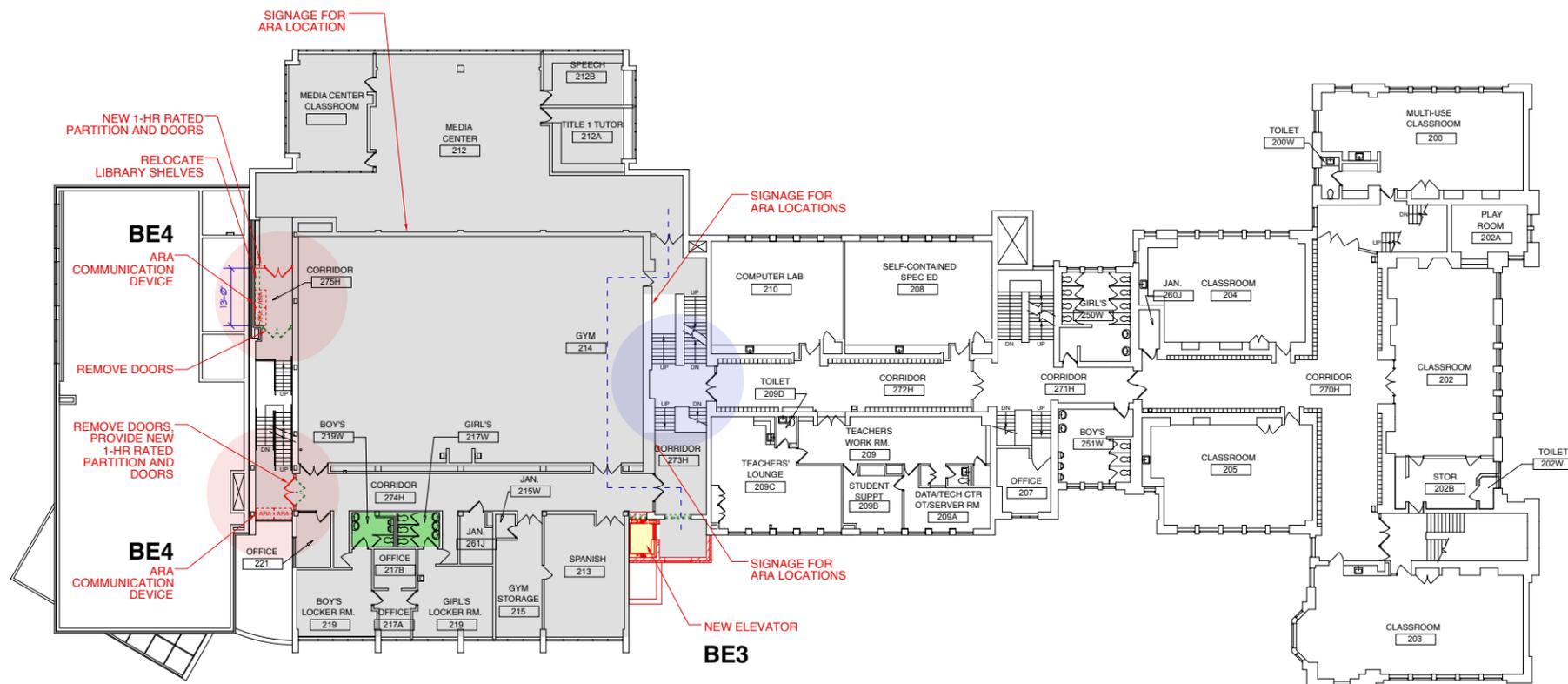
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| • | 11/14/13 | |

DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER
BE.1

2 IN Actual Size to read at scale
 1 IN
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- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



PRELIMINARY

SCOPE DOCUMENT
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PROJECT
D97 ACCESSIBILITY STUDY
BEYE ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

| DRAWING DATES | | |
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DRAWING TITLE
SECOND FLOOR PLAN

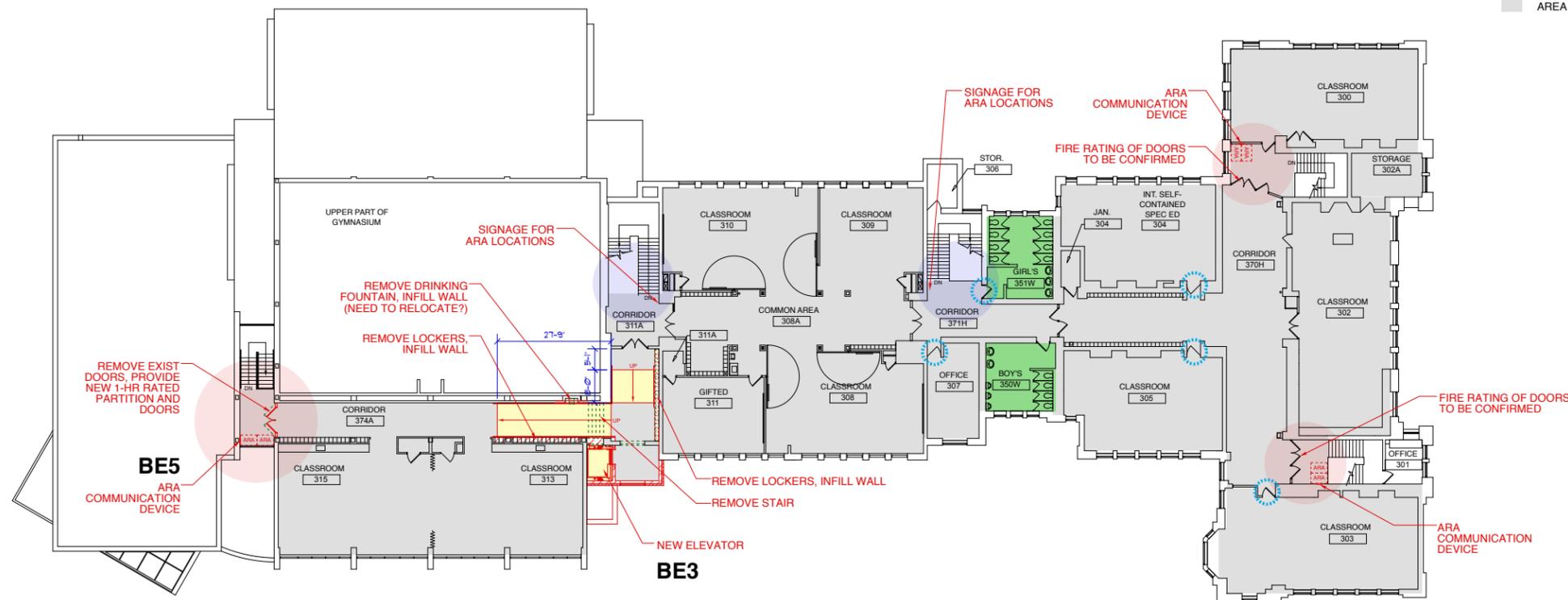
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BE.2

1 SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0" N

2 IN Actual Size to read at scale

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



1 THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"

PRELIMINARY

SCOPE DOCUMENT
 This drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Construction Documents, on the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.

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PROJECT
D97 ACCESSIBILITY STUDY
BEYE ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

| DRAWING DATES | | |
|---------------|----------|----------|
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DRAWING TITLE
THIRD FLOOR PLAN

SHEET NUMBER
BE.3

2 IN Actual Size to read at scale

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
 Beye Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
 Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
 Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|-----|--|----------|-------|------------|----------|-------|
| BE1 | ADA Ramp Addition at South Entry Stairwell | | | | | |
| A. | Site Work | | | | | |
| 1 | Remove sidewalks | 1 | allow | \$1,840 | \$1,840 | |
| 2 | Remove exterior limestone stairs | 1 | allow | \$3,680 | \$3,680 | |
| 3 | Remove wall mounted lights, plaques, & devices | 4 | hours | \$90.00 | \$360 | |
| 4 | Remove landscaping | 1 | allow | \$760 | \$760 | |
| B. | Selective Demolition | | | | | |
| 1 | Demo walls | 4 | hours | \$90.00 | \$360 | |
| 2 | Remove door under stairway | 1 | each | \$90.00 | \$90 | |
| 3 | Remove exterior pair of doors | 1 | allow | \$180.00 | \$180 | |
| 4 | Demo interior stairway & partitons | 1 | allow | \$3,380 | \$3,380 | |
| 5 | Remove SOG | 320 | s.f. | \$5.00 | \$1,600 | |
| 5 | Remove debris from Building | 8 | m.h. | \$92.00 | \$736 | |
| 6 | Dumpsters | 4 | each | \$500.00 | \$2,000 | |
| C. | Protection | | | | | |
| 1 | Barricade and fencing | 200 | l.f. | \$10.00 | \$2,000 | |
| 2 | Maintenance and removal of protection | 40 | hours | \$90.00 | \$3,600 | |
| D. | Excavation and Concrete | | | | | |
| 1 | Clean and compact foot print | 500 | s.f. | \$2.00 | \$1,000 | |
| 2 | Excavation for footing | 64 | c.y. | \$20.00 | \$1,280 | |
| 3 | Disposal of debris | 3 | loads | \$500.00 | \$1,500 | |
| 4 | Footing | 8 | c.y. | \$250.00 | \$2,083 | |
| 5 | Foundation 12" thick | 11 | c.y. | \$400.00 | \$4,267 | |
| 6 | Slab on grade | 1,200 | s.f. | \$5.00 | \$6,000 | |
| 7 | Ramp interior footing & foundation | 80 | l.f. | \$125.00 | \$10,000 | |
| 8 | Ramp slab | 295 | s.f. | \$8.00 | \$2,360 | |
| 9 | Concrete fill in metal pan stairs | 1 | allow | \$1,200.00 | \$1,200 | |
| D. | Masonry | | | | | |
| 1 | Salvage existing stone lintel for re-use | 8 | hours | \$90.00 | \$720 | |
| 2 | Enlarge entry opening & install stone lintel | | | | | |
| | a. Temporary shoring allowance | 1 | allow | \$1,220 | \$1,220 | |
| | b. Masonry (2 masons for 4 days) | 64 | hours | \$92.00 | \$5,888 | |
| | c. Laborers | 32 | hours | \$90.00 | \$2,880 | |
| | d. Lintel | 12 | l.f. | \$150.00 | \$1,800 | |
| | e. Mason material allowance | 1 | allow | \$1,500.00 | \$1,500 | |
| 2 | Exterior brick cavity walls - Bearing | 1,440 | s.f. | \$50.00 | \$72,000 | |
| | a. Allowance for ornamental masonry | 10% | | \$72,000 | \$7,200 | |
| 3 | New 8" CMU walls in addition | 225 | s.f. | \$14.00 | \$3,150 | |
| E. | Roof structure | 390 | s.f. | \$25.00 | \$9,750 | |
| F. | Roofing | | | | | |
| 1 | Single ply roof with insulation | 390 | s.f. | \$18.00 | \$7,020 | |
| 2 | Connection to existing building | 33 | l.f. | \$65.00 | \$2,145 | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Beye Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|-----|--|----------|-------|------------|--------------------|-----------------|
| BE2 | Create Area of Rescue Assistance at First Floor North Entry Stairwell. | | | | | |
| A. | Demolition and Prep | | | | | |
| 1 | Temporary barricades | 26 | l.f. | \$25.00 | \$650 | |
| 2 | Remove Existing Ceiling | 156 | s.f. | \$2.00 | \$312 | |
| 3 | Remove hallway partition & pair & +1 doors | 1 | allow | \$920.00 | \$920 | |
| 4 | Remove classroom door & frame 100 | 2 | each | \$130.00 | \$260 | |
| 5 | Remove lockers | 1 | allow | \$92.00 | \$92 | |
| 6 | Remove debris from Building | 4 | m.h. | \$92.00 | \$368 | |
| 7 | Dumpsters | 1 | each | \$500.00 | \$500 | |
| 8 | Clean up & house keeping | 1 | allow | \$360.00 | \$360 | |
| B. | Interior Construction | | | | | |
| 1 | Rated HM Frame / HM Door / Hardware 100 | 1 | each | \$1,500.00 | \$1,500 | |
| 2 | Rated Hallway HM Frame / Pair HM Door / Hardware | 1 | pair | \$2,800.00 | \$2,800 | |
| 3 | Rated Hallway HM door & frame / hardware | 1 | allow | \$1,500.00 | \$1,500 | |
| 4 | Rated hallway partition | 210 | s.f. | \$10.00 | \$2,100 | |
| 5 | Repair wall at dis-jointed partitions | 1 | allow | \$920.00 | \$920 | |
| 6 | Repair walls at old locker locations | 1 | allow | \$920.00 | \$920 | |
| 7 | Relocate lockers | 1 | allow | \$1,460.00 | \$1,460 | |
| 8 | Replace ceiling (Assume ACT) | 156 | s.f. | \$4.50 | \$702 | |
| 9 | 6" x 9" Signs | 2 | each | \$50.00 | \$100 | |
| C. | Painting and Finishes | | | | | |
| 1 | Paint walls | 600 | s.f. | \$1.00 | \$600 | |
| 2 | Paint Ceiling | | | | None | |
| 3 | Paint HM Frame | 2 | each | \$85.00 | \$170 | |
| 4 | Paint HM Pair Frame | 1 | each | \$120.00 | \$120 | |
| 4 | Repair flooring | 1 | allow | \$1,220.00 | \$1,220 | |
| D. | HVAC | | | | | |
| E. | Plumbing | | | | | |
| F. | Electrical | | | | | |
| 1 | Modify existing Lighting & exit signs | 1 | allow | \$1,360.00 | \$1,360 | |
| 2 | Fire Alarm | | | | Existing to Remain | |
| 3 | Two Way Communications "Box" | 2 | each | \$500.00 | \$1,000 | |
| 4 | Tie Into Existing Two Way System in Building | 1 | each | \$1,500.00 | \$1,500 | |
| 5 | Low Voltage Power to Door Hold Opens | 1 | each | \$2,500.00 | \$2,500 | |
| 6 | Connect hold opens to FA | 1 | each | \$2,500.00 | \$2,500 | |
| G. | Fire Protection | | | | | |
| | Subtotal Total Estimated Budget | | | | | \$26,434 |
| H. | General Requirements | | | | | |
| 1 | General Conditions | 15% | | \$26,434 | \$3,965 | |
| 2 | Contractor Overhead and Profit | 8% | | \$30,399 | \$2,432 | |
| 3 | Contingency | 10% | | \$32,831 | \$3,283 | |
| | Total Estimated Budget | | | | | \$36,114 |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Beye Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|--|----------|-------|------------|-------------------|-------|
| BE3 | Install a Elevator Addition for ADA Access | | | | | |
| A. | Demolition | | | | | |
| 1 | Remove sidewalk | 1 | allow | \$1,120.00 | \$1,120 | |
| 2 | Remove curtain wall glazing | 1 | allow | \$1,640.00 | \$1,640 | |
| 3 | Remove exterior pair of door and transom | 1 | allow | \$640.00 | \$640 | |
| 4 | Remove exterior windows | 2 | each | \$230.00 | \$460 | |
| 5 | Remove wall mounted lights, speakers, & devices | 1 | allow | \$480.00 | \$480 | |
| 6 | Masonry demolition | | | | See Masonry Below | |
| 7 | Frist Floor Interior Demo | | | | | |
| | a. Remove drinking fountain & cap lines | 2 | hours | \$90.00 | \$180 | |
| | b. Remove interior storefront doors | 2 | hours | \$90.00 | \$180 | |
| | c. Strip flooring at vestibule and ramp | 1 | each | \$184.00 | \$184 | |
| 8 | Second Floor Interior Demo | | | | | |
| | a. Remove corridor ceiling for access to structure | 250 | s.f. | \$2.00 | \$500 | |
| 9 | Thrid Floor Interior Demo | | | | | |
| | a. Strip flooring and stair nosing | 1 | each | \$184.00 | \$184 | |
| | b. Remove stair rails | 1 | hours | \$92.00 | \$92 | |
| | c. Remove locker | 8 | hours | \$92.00 | \$736 | |
| | d. Remove drinking fountain & cap lines | 2 | hours | \$90.00 | \$180 | |
| 10 | Remove debris from Building | 8 | m.h. | \$92.00 | \$736 | |
| 11 | Dumpsters | 8 | each | \$500.00 | \$4,000 | |
| B. | Elevator pit & concrete work | | | | | |
| 1 | Excavation for pit & footing | 74 | c.y. | \$25.00 | \$1,859 | |
| 2 | Elevator pit allowance | 1 | allow | \$8,000.00 | \$8,000 | |
| 3 | Equipment room & vestibule foundation | 33 | l.f. | \$275.00 | \$9,075 | |
| 4 | Waterproofing allowance | 456 | s.f. | \$6.00 | \$2,736 | |
| 5 | Backfill | 37 | c.y. | \$25.00 | \$930 | |
| C. | Masonry | | | | | |
| 1 | Create openomg in exterior brick wall | | | | | |
| | a. Scaffolding | 3 | floor | \$920.00 | \$2,760 | |
| | b. Remove bricks and tooth jambs | 3 | floor | \$1,640.00 | \$4,920 | |
| | c. Modify existing parapets for new addition | 1 | allow | \$1,640.00 | \$1,640 | |
| 2 | Elevator shaft | | | | | |
| | a. 8" CMU infill at curtain walls opening w/ brick fac | 200 | s.f. | \$50.00 | \$10,000 | |
| | b. 8" CMU shaft partition | 540 | s.f. | \$14.00 | \$7,560 | |
| | c. Brick cavity wall at Lobbies & shaft | 875 | s.f. | \$50.00 | \$43,750 | |
| | d. Brick cavity wall at Equipment Rm & Vestibule | 525 | s.f. | \$50.00 | \$26,250 | |
| | e. Allowance for ornamental brick work to match | 1 | allow | \$2,660.00 | \$2,660 | |
| | f. Allowance for ornamental parapet | 35 | l.f. | \$100.00 | \$3,500 | |
| | g. Override penthouse allowance | 150 | s.f. | \$50.00 | \$7,500 | |
| 3 | Interior masonry | | | | | |
| | a. Infill 3rd floor fountian recess with CMU | 1 | allow | \$820.00 | \$820 | |
| | b. Brick veneer at 1st floor lobby | 260 | s.f. | \$20.00 | \$5,200 | |
| | c. Infill 1st floor fountian recess with brick | 1 | allow | \$1,020.00 | \$1,020 | |
| | | | | | | |
| | | | | | | |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Beye Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|--|----------|-------|------------|----------------|-------|
| BE3 | Install a Elevator Addition for ADA Access | | | | | |
| D. | Structural for elevator lobbies | | | | | |
| 1 | Slab on grade for vestibule and Equip. room | 170 | s.f. | \$8.00 | \$1,360 | |
| 2 | 2nd & 3rd floor lobby decks | 220 | s.f. | \$35.00 | \$7,700 | |
| 3 | Equipment room & lobby roof decks | 260 | s.f. | \$35.00 | \$9,100 | |
| 4 | Structural connection to existing building | 168 | l.f. | \$75.00 | \$12,600 | |
| E. | Structural work to replace 3rd floor stair with ADA ramp | | | | | |
| 1 | Remove concrete floor structural | 1 | allow | \$3,380.00 | \$3,380 | |
| 2 | Deposal of concrete material | 4 | loads | \$500.00 | \$2,000 | |
| 3 | New steel floor structure | 1 | allow | \$9,360.00 | \$9,360 | |
| 4 | Ramp decks | 400 | s.f. | \$35.00 | \$14,000 | |
| | a. 3rd floor raised ADA landing between ramps | 111 | s.f. | \$25.00 | \$2,775 | |
| F. | Roofing | | | | | |
| 1 | Built up roofing and insulation | 260 | s.f. | \$25.00 | \$6,500 | |
| 2 | Flashing & connection to existing | 42 | l.f. | \$65.00 | \$2,730 | |
| G. | Custom elevator allowance | 1 | each | \$100,000 | \$100,000 | |
| H. | Exterior doors and windows | | | | | |
| 1 | Exterior HM door at Equipment Room | 1 | allow | \$1,200 | \$1,200 | |
| 2 | Storefront vestibule pair of doors | 1 | allow | \$4,000 | \$4,000 | |
| 3 | 2nd & 3rd floor lobby window | 2 | each | \$2,160 | \$4,320 | |
| I. | Interior Construction | | | | | |
| 1 | Modify 1st floor ramp to meet ADA | | | | | |
| | a. Remove partition and pair of corridor doors | | | | See Demo above | |
| | b. Slab fill to correct pitch | 75 | s.f. | \$12.00 | \$900 | |
| 2 | Miscellaneous Metels | | | | | |
| | a. Miscellaneous metal ladder & threshold | 1 | allow | \$1,200.00 | \$1,200 | |
| | b. 1st floor wall mounted ramp rails | 80 | l.f. | \$75.00 | \$6,000 | |
| | c. 3rd floor wall mounted ramp rails | 20 | l.f. | \$75.00 | \$1,500 | |
| 3 | Drywall Partitions | | | | | |
| | a. Infill 3rd floorlocker recess | 264 | s.f. | \$6.00 | \$1,584 | |
| | b. Miscellaneous plaster patch on 1st & 2nd floors | 1 | allow | \$920.00 | \$920 | |
| | c. Trim out plaster / brick junction at lobby openings | 3 | allow | \$920.00 | \$2,760 | |
| 4 | Drywall ceiling in elevator lobby | 285 | s.f. | \$12.00 | \$3,420 | |
| | a. Soffit at ceiling joints - 1st floor | 9 | l.f. | \$40.00 | \$360 | |
| J. | Interior Finishes | | | | | |
| 1 | Flooring | | | | | |
| | a. VCT floor | 300 | s.f. | \$4.00 | \$1,200 | |
| | b. Texture VCT at ramps | 475 | s.f. | \$5.50 | \$2,613 | |
| | c. Walk off carpet tile at 1st floor vestibule | 95 | s.f. | \$25.00 | \$2,375 | |
| | d. Elevator flooring | 1 | allow | \$500.00 | \$500 | |
| | e. 4" wall base | 224 | l.f. | \$3.50 | \$784 | |
| | f. Sealed concrete floor in equipment room | 55 | s.f. | \$1.50 | \$83 | |
| | | | | | | |
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HATCH ELEMENTARY

SUMMARY

Stage Access has been identified as the primary issue at Hatch. A chair lift that travels along the existing stairwell handrails has been installed at the southeast stair. The AAC report indicates this is not a permanent solution and suggests that an elevator could be added to achieve accessibility to all levels.

HA1: STAGE ACCESS – VERTICAL PLATFORM LIFT

We have proposed reworking the west exit stair of the stage to accommodate a platform lift within the stage area. This will allow both a stair and a lift to access the stage for more flexibility of use. Though we do not have existing drawings of this building, it appears that this stage is of wood construction.

HA2: VERTICAL ACCESS - ELEVATOR

The AAC proposal has suggested the elevator be located in the northwest stairwell. However, this is a required egress exit stair from the 2nd and 3rd floors. STR has proposed the elevator be located in the southwest stairwell. This will allow for two exits from the 2nd and 3rd floors and provides an open vertical space to locate an elevator.

This location, however, is over the air tunnel in the basement. We propose installing a hole-less hydraulic elevator and suspending the pit within the air space below. Further investigation into the actual height of this tunnel will be required to determine the viability of this option – at this time we do not have existing documentation of the building to confirm.

Additionally, the exterior storage room will need to be relocated if deemed necessary, as this space will now be the elevator machine room.

AREAS OF RESCUE ASSISTANCE – 2nd and 3rd FLOORS

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd and 3rd floors for this purpose.

CLASSROOM DOOR ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the

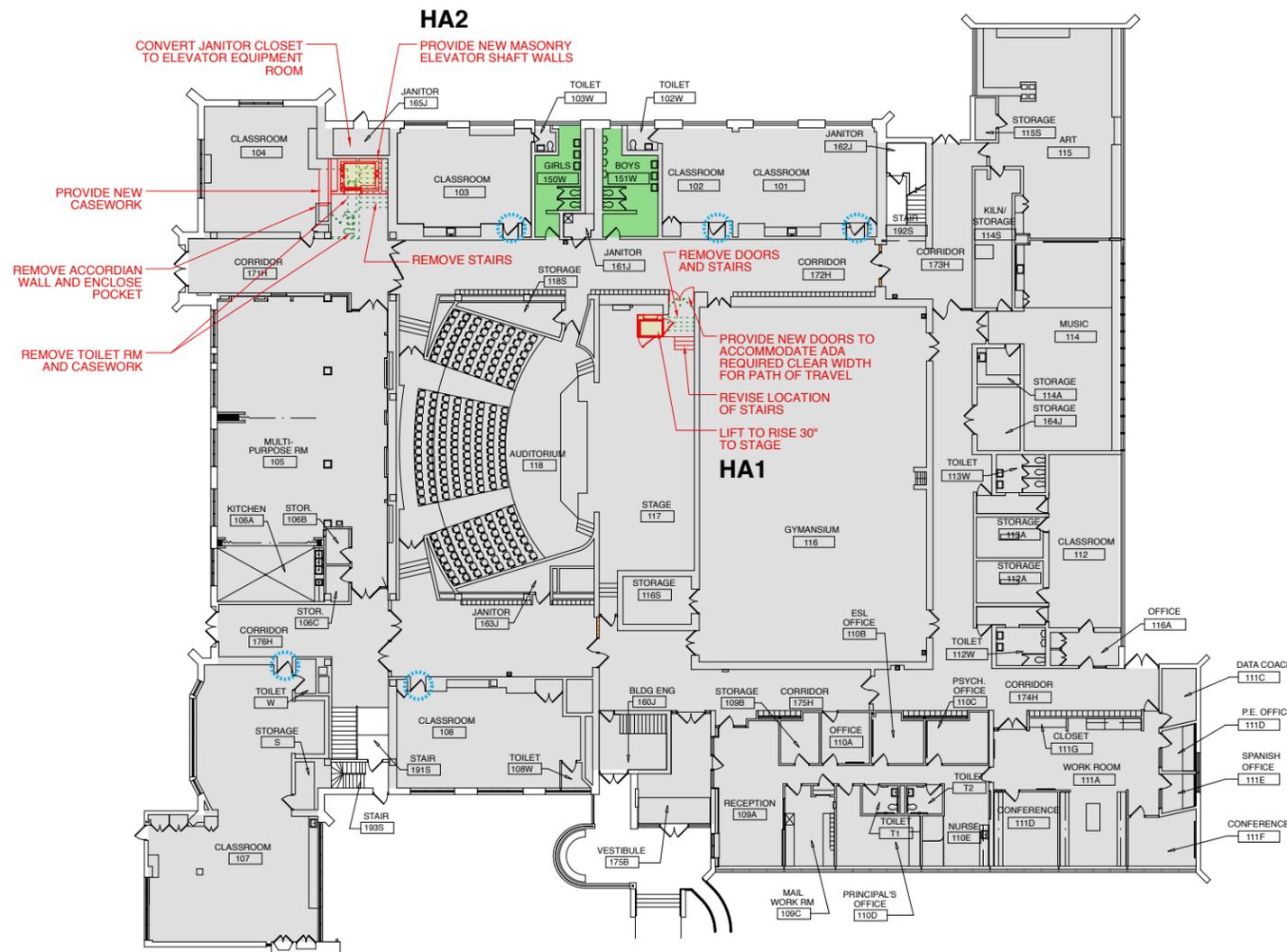
District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

TOILET ROOM ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF HATCH

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



PRELIMINARY

SCOPE DOCUMENT
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PROJECT
D97 ACCESSIBILITY STUDY
HATCH ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER
13160

STR PROJECT NUMBER
13160

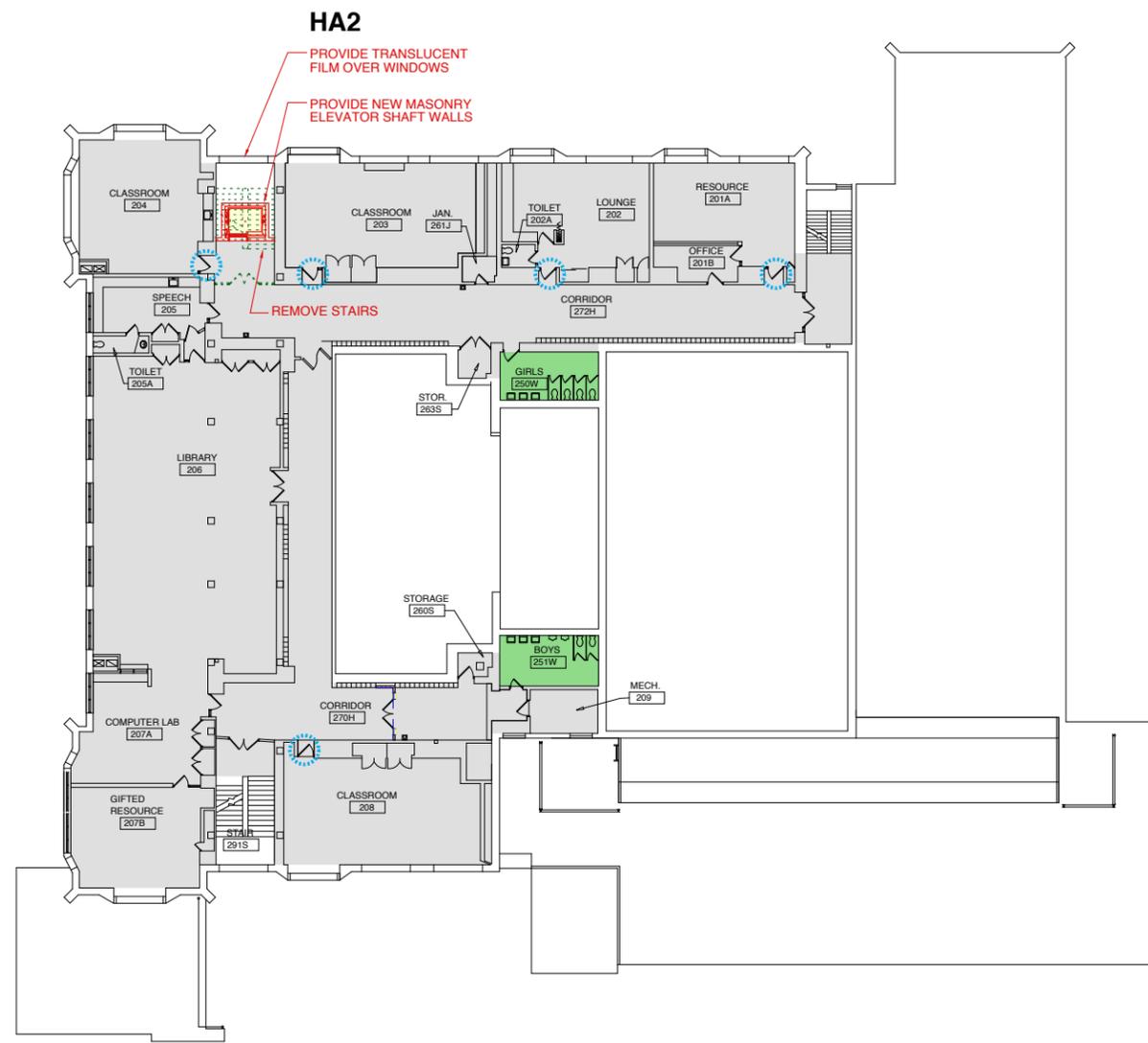
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DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER
HA.1

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- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
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1 SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"



PRELIMINARY

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PROJECT
D97 ACCESSIBILITY STUDY
HATCH ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

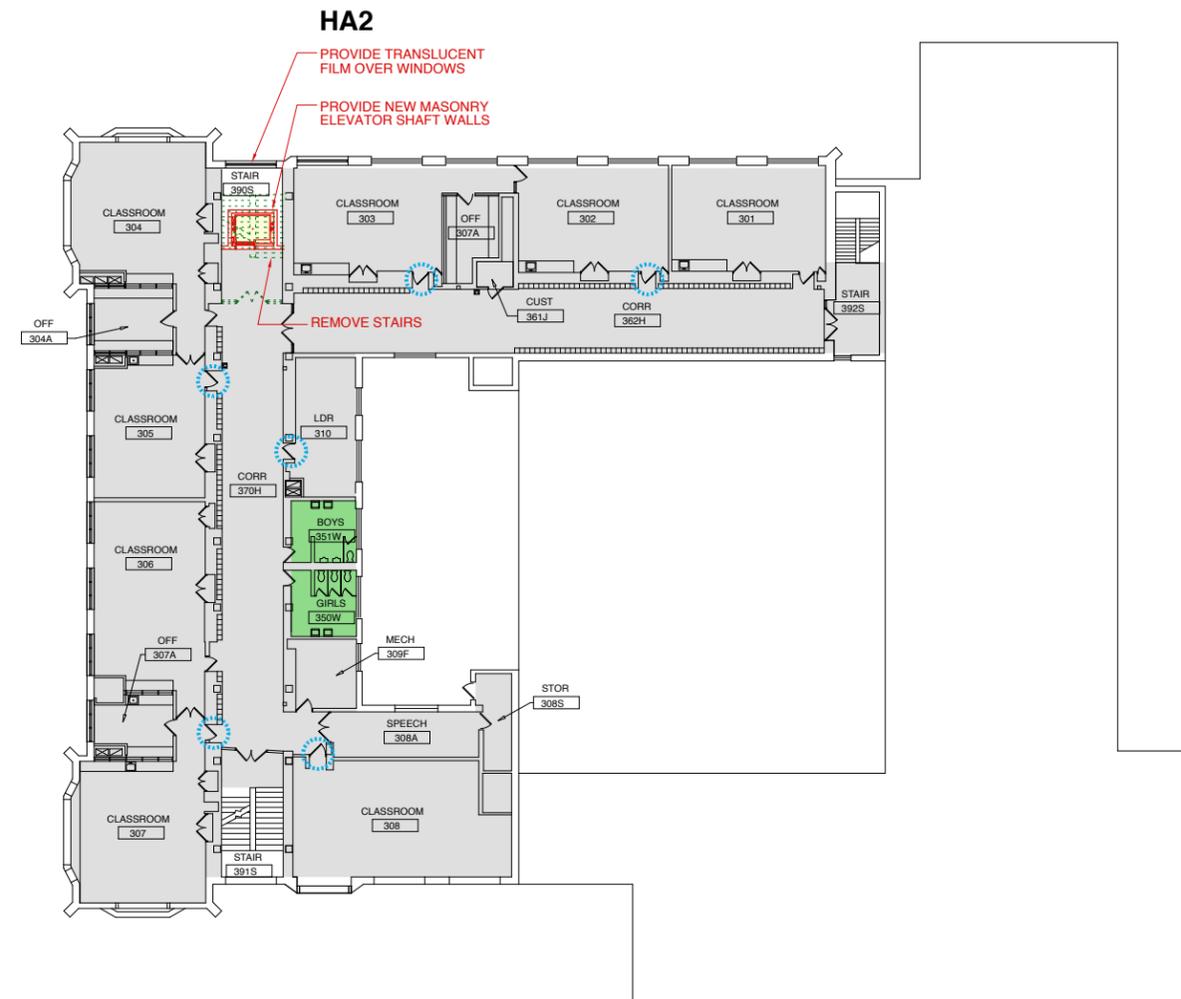
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DRAWING TITLE
SECOND FLOOR PLAN

SHEET NUMBER
HA.2

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- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
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 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
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1 THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"



PRELIMINARY

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PROJECT
D97 ACCESSIBILITY STUDY
HATCH ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

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DRAWING TITLE
THIRD FLOOR PLAN

SHEET NUMBER
HA.3

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SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Hatch Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|---|----------|--------|------------|----------|-----------------|
| HE1 | Install a Wheel Chair Lift at Stage | | | | | |
| A. | Run Power to Location | | | | | |
| 1 | Conduit and wire | 100 | l.f. | \$12.00 | \$1,200 | |
| 2 | New breaker in existing panel | 1 | allow | \$1,200.00 | \$1,200 | |
| 3 | Final connections, trim out, and testing | 1 | allow | \$960.00 | \$960 | |
| B. | Lift - DME Symmetry Lift | 1 | each | \$23,000 | \$23,000 | |
| C. | Modify stage for lift* | | | | | |
| 1 | Remove existing doors & frame | 1 | allow | \$180.00 | \$180 | |
| 2 | Remove wood stairs & rails | 1 | allow | \$360.00 | \$360 | |
| 3 | Cut & frame stage for lift and new steps | 1 | allow | \$4,380.00 | \$4,380 | |
| 4 | New 4 rise steps | 1 | allow | \$960.00 | \$960 | |
| 5 | Lift sidewalls & rails | 1 | allow | \$2,320.00 | \$2,320 | |
| D. | Interior Construction | | | | | |
| 1 | New pair of uneven sized SCWD | 1 | allow | \$3,500.00 | \$3,500 | |
| 2 | Repair wall at old door & stair locations | 1 | allow | \$1,720.00 | \$1,720 | |
| 3 | New flooring | 75 | s.f. | \$5.00 | \$375 | |
| | a. Tactical warning at stair landing | 12 | s.f. | \$25.00 | \$300 | |
| | b. Stair nosing | 4 | each | \$75.00 | \$300 | |
| 4 | Stairway rails | 1 | allow | \$500.00 | \$500 | |
| E. | Interior Finishes | | | | | |
| 1 | Paint walls and rails | 1 | allow | \$860.00 | \$860 | |
| 2 | Stain wood stairs and wainscot | 1 | allow | \$860.00 | \$860 | |
| 3 | Signage allowance | 1 | allow | \$560.00 | \$560 | |
| | Subtotal | | | | | \$43,535 |
| F. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$43,535 | \$4,354 | |
| 2 | Contractor Overhead & Profit | 8% | | \$47,889 | \$3,831 | |
| 3 | Contingency | 15% | | \$51,720 | \$7,758 | |
| | Total Construction Estimated Cost | | | | | \$59,478 |
| | * Assume no structural modifications required in install lift | | | | | |
| | | | | | | |
| | | | | | | |
| HE2 | Install a Elevator Addition for ADA Access | | | | | |
| A. | Demolition | | | | | |
| 1 | Remove stairs and landing | 3 | levels | \$3,680.00 | \$11,040 | |
| 2 | Remove 2nd & 3rd floor walls and doors | 2 | each | \$920.00 | \$1,840 | |
| 3 | First Floor Demo | | | | | |
| | a. Remove millwork | 4 | hours | \$90.00 | \$360 | |
| | b. Remove accordion partitions | 2 | hours | \$90.00 | \$180 | |
| | c. Remove plumbing fixtures & cap lines | 3 | each | \$368.00 | \$1,104 | |
| | d. Strip janitors closet | 4 | hours | \$90.00 | \$360 | |
| | e. Remove Classroom 104 walls and door | 1 | allow | \$3,080.00 | \$3,080 | |
| 4 | Remove 1st floor slab for elevator pit | 1 | allow | \$3,880.00 | \$3,880 | |
| 5 | Remove debris from Building | 24 | m.h. | \$92.00 | \$2,208 | |
| 6 | Dumpsters | 8 | each | \$500.00 | \$4,000 | |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Hatch Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|-----|--|----------|--------|------------|-----------|------------------|
| B. | Elevator pit & shaft | | | | | |
| 1 | Cut SOG in tunnel and pour shaft footing | 1 | allow | \$4,600.00 | \$4,600 | |
| 2 | 8" CMU shaft walls for tunnel to 3rd floor | 2,280 | s.f. | \$12.00 | \$27,360 | |
| | a. Lintels and support clips | 3 | levels | \$500.00 | \$1,500 | |
| | b. Install elevator door frames | 3 | levels | \$184.00 | \$552 | |
| 3 | Extend existing landing edge to shaft | 3 | each | \$1,200.00 | \$3,600 | |
| 4 | 1st Floor partition at Classroom 104 | 1 | allow | \$2,660.00 | \$2,660 | |
| C. | Elevator Penthouse / Override | | | | | |
| 1 | Strip roofing for access to structure | | | | | |
| 2 | Frame and remove roof structure for penthouse | 1 | allow | \$8,320.00 | \$8,320 | |
| 3 | Penthouse walls and roof framing | 1 | allow | \$5,840.00 | \$5,840 | |
| 4 | Penthouse roof | 1 | allow | \$3,080.00 | \$3,080 | |
| D. | Custom elevator allowance | 1 | each | \$120,000 | \$120,000 | |
| E. | Interior Construction | | | | | |
| 1 | Drywall furring on walls at elevator lobby | 1,080 | s.f. | \$6.00 | \$6,480 | |
| 2 | Drywall ceiling in elevator lobby | 324 | s.f. | \$12.00 | \$3,888 | |
| | a. Soffit at ceiling joints | 36 | l.f. | \$40.00 | \$1,440 | |
| 3 | Film over existing windows | 3 | each | \$3,000.00 | \$9,000 | |
| 4 | Casework in Classroom 104 | 10 | l.f. | \$450.00 | \$4,500 | |
| 5 | Miscellaneous metal ladder & threshold | 1 | allow | \$1,200.00 | \$1,200 | |
| F. | Interior Finishes | | | | | |
| 1 | Terrazzo flooring | 324 | s.f. | \$30.00 | \$9,720 | |
| | a. Patch & level floor at 1st fl. Toilet rooms | 1 | allow | \$920.00 | \$920 | |
| 2 | Paint drywall | 1,200 | s.f. | \$1.00 | \$1,200 | |
| 3 | Paint ceiling | 324 | s.f. | \$1.75 | \$567 | |
| G. | HVAC Modification | | | | | |
| 1 | Heating & exhaust for elevator equipment room | 1 | allow | \$4,000.00 | \$4,000 | |
| 2 | Modify existing cabinet heater in shaft | 1 | allow | \$1,220.00 | \$1,220 | |
| 3 | Elevator shaft exhaust | 1 | allow | \$1,500.00 | \$1,500 | |
| H. | Electrical | | | | | |
| 1 | Power to elevator | | | | | |
| | a. Modify existing switchgear or MDP | 1 | allow | \$20,000 | \$20,000 | |
| | b. New panels | 1 | allow | \$8,000.00 | \$8,000 | |
| | c. Final connections, trim out, and testing | 1 | allow | \$2,000.00 | \$2,000 | |
| 2 | Revise lighting for elevator lobby | 3 | each | 1,640.00 | \$4,920 | |
| 3 | Remove lighting and electrical device in shaft | 1 | allow | 380.00 | \$380 | |
| 4 | Lighting and convenience power in equipment room | 1 | each | 1,260.00 | \$1,260 | |
| I. | Fire Alarm & Communication Connections | 1 | allow | \$2,720.00 | \$2,720 | |
| | Subtotal | | | | | \$290,479 |
| J. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$290,479 | \$29,048 | |
| 2 | Contractor Overhead & Profit | 8% | | \$319,527 | \$25,562 | |
| 3 | Contingency | 15% | | \$345,089 | \$51,763 | |
| | Total Construction Estimated Cost | | | | | \$396,852 |

IRVING ELEMENTARY

SUMMARY

There is a platform lift that provides accessible entry into the Multi-Purpose Room from the interior. However, there is no accessible egress exit from the Multi-Purpose Room. This is the only AAC-identified problem at this facility.

IR1: MULTIPURPOSE ROOM EXIT RAMP

The AAC proposal has suggested the stairs at the removing the stairs leading up to the west exterior exit as well as the exterior ramp so that a shorter ramp could be constructed to grade level from the Multi-Purpose Room. However, the interior floor elevation at this west exit cannot be altered in order to maintain egress for the classrooms south of the Multi-Purpose Room. Consequently, there is not enough space to install the required length of ramp to reach the first floor level.

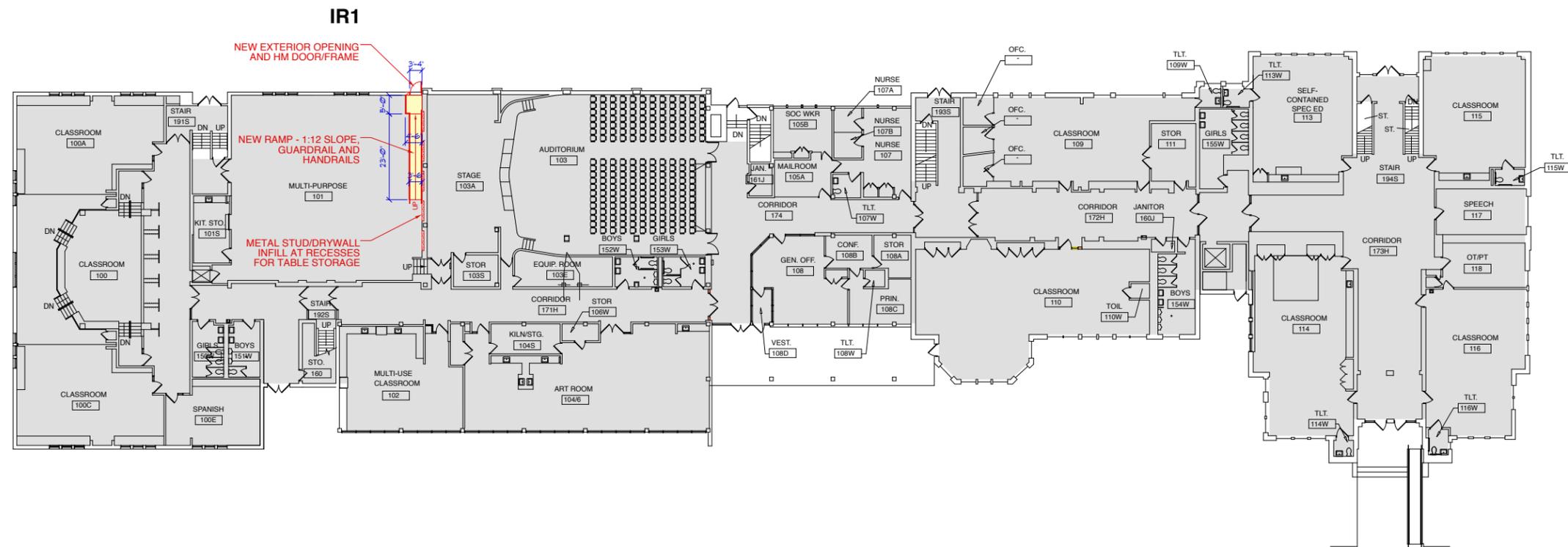
Therefore, STR has suggested locating a ramp along the north wall of the Multi-Purpose Room. This ramp location will exit at grade; therefore, it requires less rise than the west exit. The exit door however will require cutting into the existing foundation wall.

ADDITIONAL COMMENTS

Because this school has an existing elevator for vertical accessibility, the AAC report did not address the issue of accessible door openings, toilet room stalls, or ARA locations. STR recommends, however, that these items be reviewed to ensure the District's goals for accessibility at all facilities is being met.

END OF IRVING

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - ⊞ AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - ⊞ DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



1 FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"



PRELIMINARY

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PROJECT
D97 ACCESSIBILITY STUDY
IRVING ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

| NUMBER | DATE | COMMENTS |
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DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER

IR.1

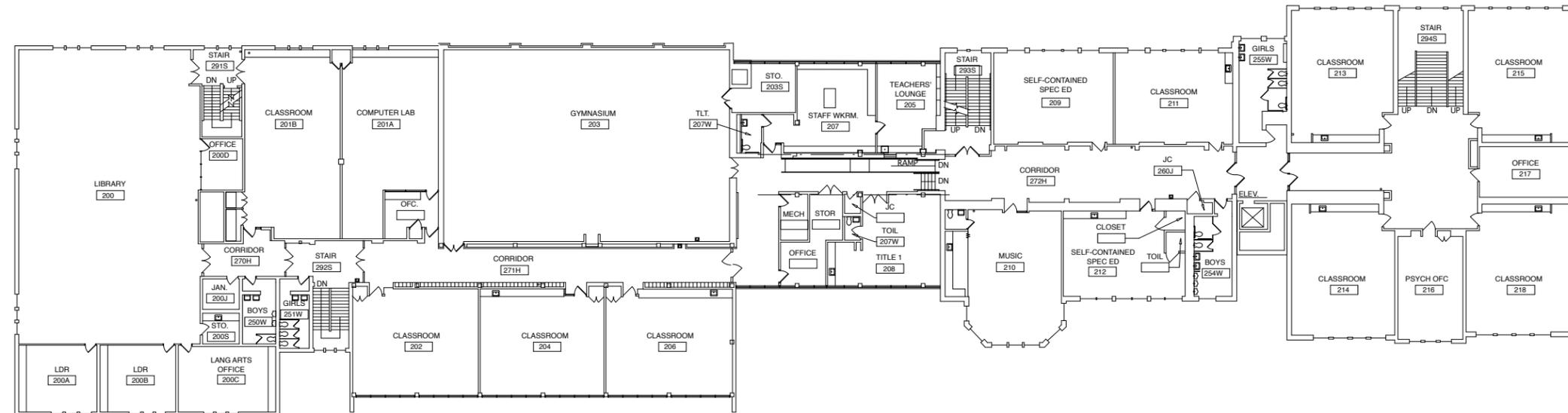
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- LEGEND:**
- ITEMS TO BE REMOVED
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PRELIMINARY



1 SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0" N

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PROJECT
D97 ACCESSIBILITY STUDY
IRVING ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

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13160

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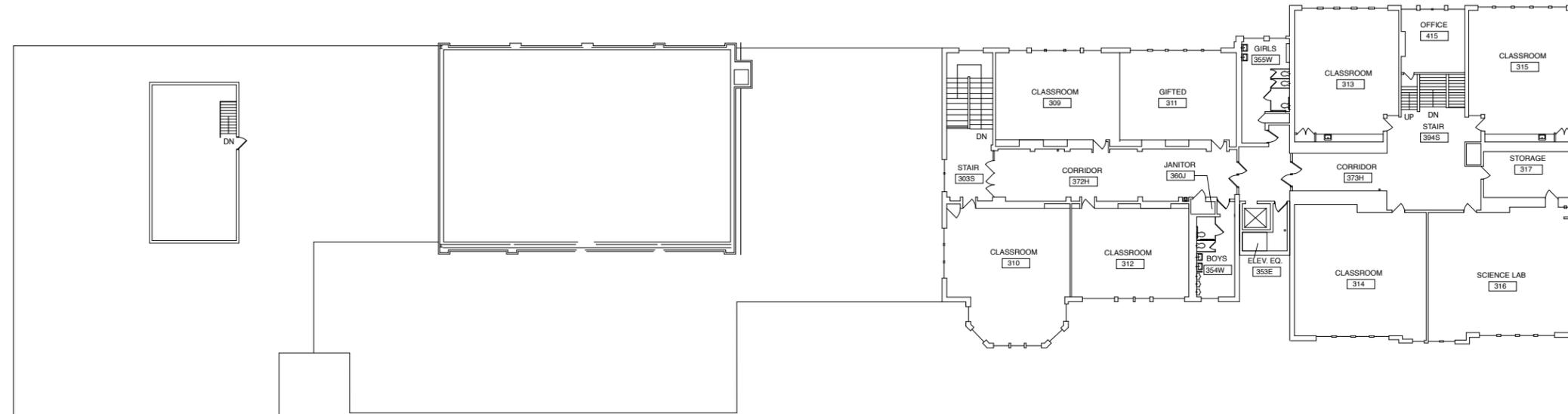
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SECOND FLOOR PLAN

SHEET NUMBER

IR.2

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- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
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1 THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0" N

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PROJECT
D97 ACCESSIBILITY STUDY
IRVING ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

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DRAWING TITLE
THIRD FLOOR PLAN

SHEET NUMBER

IR.3

PRELIMINARY

2 IN Actual Size to read at scale

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Irving Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|---|----------|-------|------------|---------|----------|
| IE1 | Provide Exterior ADA Access to Multi-purpose Room #101 | | | | | |
| A. | Selective Demolition | | | | | |
| 1 | Remove folding tables in recesses | 5 | each | \$90.00 | \$450 | |
| 2 | Prep stair and floor for new ramp | 1 | allow | \$936.00 | \$936 | |
| B. | Protection | | | | | |
| 1 | Barricade and fencing | 60 | l.f. | \$25.00 | \$1,500 | |
| 1 | Maintenance and removal of protection | 16 | hours | \$90.00 | \$1,440 | |
| C. | Cut Exterior Doorway in Masonry Wall | | | | | |
| 1 | Cut & remove exterior brick wall and install lintel | | | | | |
| | a. Mason (2 men for one day) | 16 | hours | \$92.00 | \$1,472 | |
| | b. Laborer (2 men for one day) | 16 | hours | \$87.00 | \$1,392 | |
| | c. Lintel | 5 | l.f. | \$150.00 | \$750 | |
| | d. Masonry material | 1 | allow | \$500.00 | \$500 | |
| 2 | Cut existing foundation wall for door threshold | | | | | |
| | a. Cement masons (2 men for one day) | 16 | hours | \$92.00 | \$1,472 | |
| | b. Saws, jack hammer, and small tools | 1 | allow | \$500.00 | \$500 | |
| 3 | Deposal of excavated material | 1 | loads | \$500.00 | \$500 | |
| D. | Interior Carpentry | | | | | |
| 1 | Infill folding table recesses | 5 | each | \$560.00 | \$2,800 | |
| 2 | Repair interior wall finishes at new door way | 1 | allow | \$740.00 | \$740 | |
| E. | Concrete Ramp and Landing | | | | | |
| 1 | Ramp slab with formcore fill | 81 | s.f. | \$35.00 | \$2,818 | |
| 2 | Landing with formcore fill | 23 | s.f. | \$35.00 | \$788 | |
| 3 | Exposed ramp wall | | | | | |
| | a. Ramp | 23 | s.f. | \$75.00 | \$1,725 | |
| | b. Landing walls | 12 | s.f. | \$75.00 | \$900 | |
| | c. Epoxy dowels into existing Slab | 15 | each | \$150.00 | \$2,250 | |
| F. | Miscellaneous Metals | | | | | |
| 1 | Free standing | 30 | l.f. | \$200.00 | \$6,000 | |
| 2 | Wall mounted | 25 | l.f. | \$75.00 | \$1,875 | |
| G. | Painting | | | | | |
| 1 | Allowance for painting rails | 1 | allow | \$640.00 | \$640 | |
| 2 | Paint existing walls | 1,160 | s.f. | \$1.00 | \$1,160 | |
| 3 | Paint HM door and frame | 1 | allow | \$85.00 | \$85 | |
| H. | Electrical | | | | | |
| 1 | Exit sign | 1 | each | \$500.00 | \$500 | |
| 2 | Revised lighting | | | | None | |
| 3 | FA devices (pulls, horn & strobes) | 1 | allow | \$1,260.00 | \$1,260 | |
| | Subtotal Construction | | | | | \$34,452 |
| I. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$34,452 | \$3,445 | |
| 2 | Contractor Overhead & Profit | 8% | | \$37,897 | \$3,032 | |
| 3 | Contingency | 15% | | \$40,929 | \$6,139 | |
| | Total Construction Estimated Cost | | | | | \$47,068 |

LINCOLN ELEMENTARY

SUMMARY

At the first floor, the stage is not accessible and the auditorium is only accessible from the exterior of the building via a ramp. At the second floor, a short set of stairs prevents direct accessible circulation to all spaces at this level.

STR has combined the solutions for the stage and auditorium access into one. While the AAC proposal suggests a lift be located at the front of the stage, we made a conscious attempt to avoid this. We have provided lifts in this location for other clients in the past, but have found that they tend to remove them later due to the visual obstruction to the performances on the stage.

The third floor remains inaccessible without the addition of a second elevator.

LI1 and LI2: MULTIPURPOSE ROOM EXIT RAMP

To achieve access to the auditorium, the AAC suggested a small addition to provide an enclosed ramped corridor to the west of the auditorium. STR has expanded this idea to include access to the stage as well utilizing stairs as well as a platform lift. We propose to demolish the existing Janitor's Office and exterior storage rooms to create this corridor. Both spaces have been relocated as part of the addition. In addition, we are able to provide storage for those who use the stage/auditorium on a regular basis, or for general building storage.

LI3: 2nd FLOOR CORRIDOR RAMP

A short set of stairs shall be removed and a full width corridor ramp shall be installed to provide direct accessible circulation to all areas of the second floor.

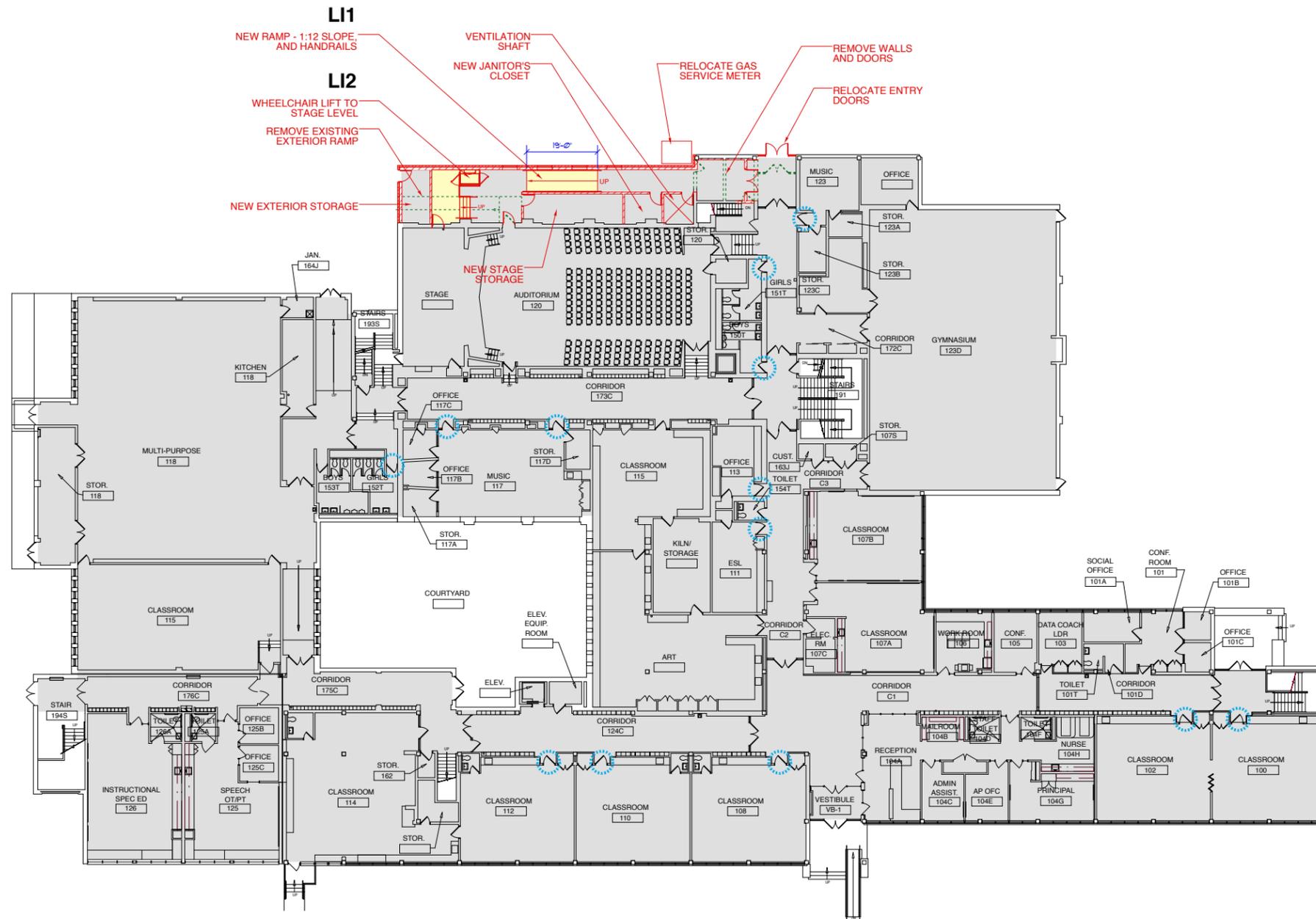
ADDITIONAL COMMENTS

Because this school has an existing elevator for vertical accessibility, the AAC report did not address the issue of accessible door openings, toilet room stalls, or ARA locations. STR recommends, however, that these items be reviewed to ensure the District's goals for accessibility at all facilities is being met.

We were able to observe the door opening conditions at this facility and have marked those doors that are not currently accessible.

END OF LINCOLN

- LEGEND:**
- ITEMS TO BE REMOVED
 - PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



1 FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"

PRELIMINARY

SCOPE DOCUMENT
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PROJECT
D97 ACCESSIBILITY STUDY
LINCOLN ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

| DRAWING DATES | | |
|---------------|----------|----------|
| NUMBER | DATE | COMMENTS |
| 1 | 11/14/13 | |

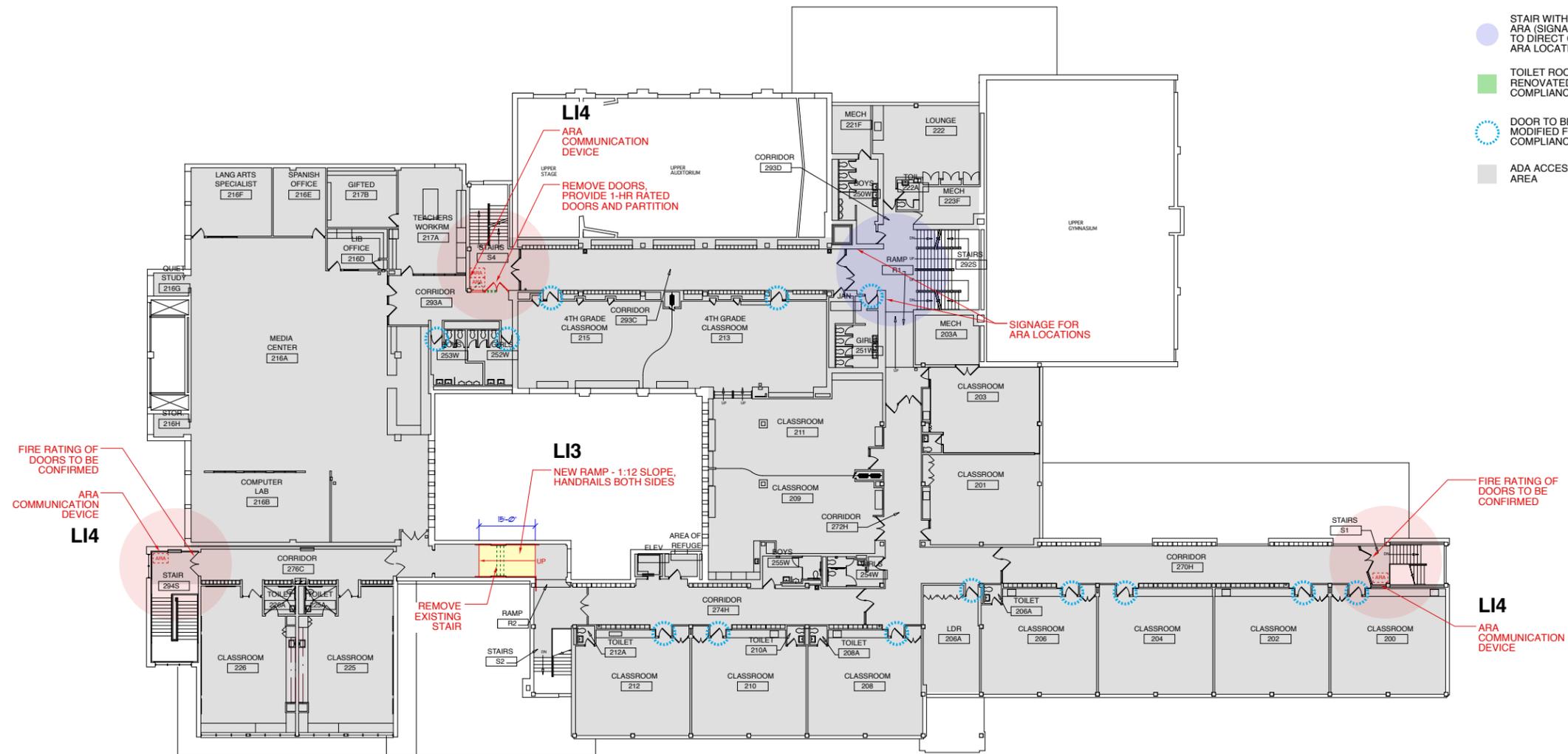
DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER

LI.1

2 IN Actual Size to read at scale

- LEGEND:**
- ITEMS TO BE REMOVED
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PROJECT
D97 ACCESSIBILITY STUDY
LINCOLN ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER
13160

STR PROJECT NUMBER

| DRAWING DATES | | |
|---------------|----------|----------|
| NUMBER | DATE | COMMENTS |
| 1 | 11/14/13 | |

1 SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

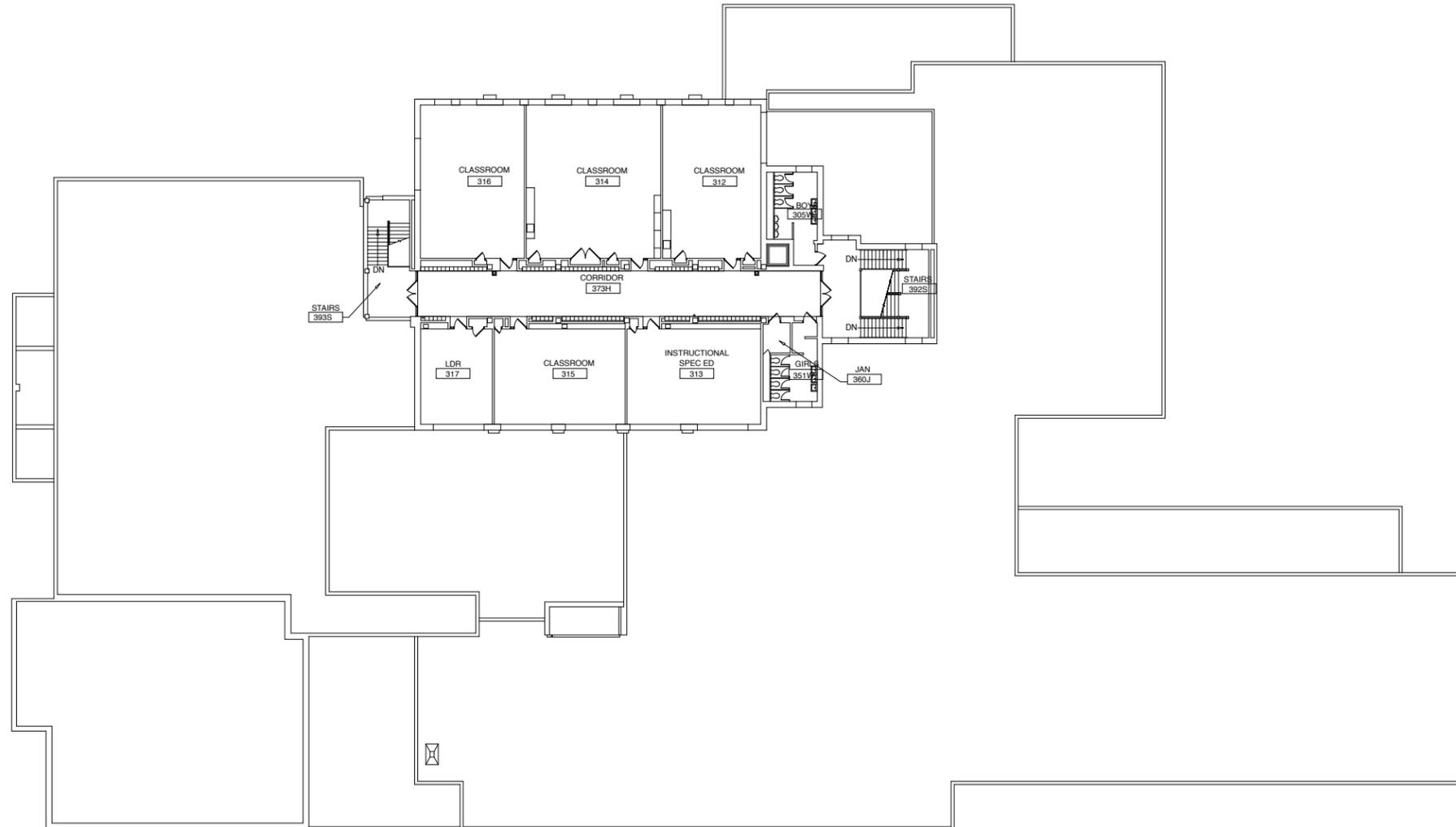


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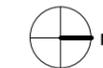
DRAWING TITLE
SECOND FLOOR PLAN

SHEET NUMBER
LI.2

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



1 THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"



PRELIMINARY

SCOPE DOCUMENT
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PROJECT
D97 ACCESSIBILITY STUDY
 LINCOLN ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

| DRAWING DATES | | |
|---------------|----------|----------|
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| • | 11/14/13 | |

DRAWING TITLE
THIRD FLOOR PLAN

SHEET NUMBER
LI.3

2 IN Actual Size to read at scale

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Lincoln Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------------|---|----------|--------|------------|-----------|-------|
| LI1&2 | Exterior ADA Access Ramp to Auditorium. | | | | | |
| A. | Site Work | | | | | |
| 1 | Relocate incoming gas service | 1 | allow | \$50,000 | \$50,000 | |
| 2 | Remove exterior concrete stairs | 231 | s.f. | \$20.00 | \$4,620 | |
| 3 | Remove wall mounted devices | 2 | hours | \$90.00 | \$180 | |
| 4 | Remove paving | 2,500 | s.f. | \$4.00 | \$10,000 | |
| B. | Selective Demolition | | | | | |
| 1 | Salvage existing storefront entry for re-use | 4 | hours | \$90.00 | \$360 | |
| 2 | Remove soffit & overhand | 21 | l.f. | \$50.00 | \$1,050 | |
| 3 | Remove masonry walls | 33 | l.f. | \$20.00 | \$660 | |
| 4 | Remove doors | 3 | leafs | \$120.00 | \$360 | |
| C. | Protection | | | | | |
| 1 | Barricade and fencing | 200 | l.f. | \$10.00 | \$2,000 | |
| 2 | Maintenance and removal of protection | 40 | hours | \$90.00 | \$3,600 | |
| D. | Excavation and Concrete | | | | | |
| 1 | Clean and compact foot print | 2,500 | s.f. | \$2.00 | \$5,000 | |
| 2 | Excavation for footing | 103 | c.y. | \$20.00 | \$2,062 | |
| 3 | Disposal of debris | 4 | loads | \$500.00 | \$2,000 | |
| 4 | Footing | 13 | c.y. | \$250.00 | \$3,194 | |
| 5 | Foundation 12" thick | 17 | c.y. | \$400.00 | \$6,874 | |
| 6 | Slab on grade | 1,200 | s.f. | \$5.00 | \$6,000 | |
| 7 | Ramp slab | 174 | s.f. | \$8.00 | \$1,392 | |
| 8 | Patch interior SOG will masonry walls removed | 33 | l.f. | \$35.00 | \$1,155 | |
| 9 | Interior foundation for ramp and stage platform | 35 | l.f. | \$125.00 | \$4,375 | |
| 10 | Concrete step to stage platform | 4 | raiser | \$250.00 | \$1,000 | |
| D. | Masonry | | | | | |
| 1 | Infill stairway door & New CMU wall | 1 | allow | \$2,592.00 | \$2,592 | |
| 2 | Exterior brick cavity walls - Bearing | 2,320 | s.f. | \$50.00 | \$116,000 | |
| | a. Allowance for ornamental masonry | 10% | | \$116,000 | \$11,600 | |
| 3 | New 8" CMU walls in addition | 1,050 | s.f. | \$14.00 | \$14,700 | |
| 4 | Cut opening for stage platform door | 1 | allow | \$1,276.00 | \$1,276 | |
| E. | Roof structure | 400 | s.f. | \$30.00 | \$12,000 | |
| F. | Roofing | | | | | |
| 1 | Single ply roof with insulation | 400 | s.f. | \$18.00 | \$7,200 | |
| 2 | Connection to existing building | 67 | l.f. | \$65.00 | \$4,355 | |
| 3 | Repair existing roof and fascia | 1 | allow | \$2,000.00 | \$2,000 | |
| G. | Windows and Doors | | | | | |
| 1 | Reset salvaged storefront & pair of doors | 1 | each | \$1,940.00 | \$1,940 | |
| 2 | New exterior windows | 4 | each | \$836.00 | \$3,344 | |
| 3 | New interior HM door & frame | 3 | each | \$1,200.00 | \$3,600 | |
| 4 | New exterior HM door & frame | 2 | allow | \$1,300.00 | \$2,600 | |
| 5 | New interior pair of doors | 1 | pair | \$2,800.00 | \$2,800 | |
| 6 | Replace existing HM door to Auditorium 120 | 1 | each | \$1,800.00 | \$1,800 | |
| | | | | | | |
| | | | | | | |
| | | | | | | |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Lincoln Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|--|----------|-------|----------------------|--------------|-----------------|
| L13 | Remove Stairs and Provide ADA Ramp at Second Floor Corridor | | | | | |
| A. | Selective Demolition | | | | | |
| 1 | Remove existing handrails | 1 | hours | \$90.00 | \$90 | |
| 2 | Remove existing flooring & demo steps | 1 | allow | \$1,840.00 | \$1,840 | |
| 3 | Remove 1st Floor ceilings & lighting | 261 | s.f. | \$2.00 | \$522 | |
| 4 | Remove floor structure | | | See Structural Below | | |
| 5 | Deposal of material | 2 | loads | \$500.00 | \$1,000 | |
| B. | Protection | | | | | |
| 1 | Barricade and fencing (2nd & 1st Floors) | 32 | l.f. | \$25.00 | \$800 | |
| 1 | Maintenance and removal of protection | 16 | hours | \$85.00 | \$1,360 | |
| C. | Structural work | | | | | |
| 1 | Remove concrete floor structural | 1 | allow | \$3,380.00 | \$3,380 | |
| 2 | Deposal of concrete material | 4 | loads | \$500.00 | \$2,000 | |
| 3 | New steel floor structure | 1 | allow | \$9,360.00 | \$9,360 | |
| 4 | Ramp deck | 261 | s.f. | \$35.00 | \$9,135 | |
| D. | Interior Construction | | | | | |
| 1 | First floor ceiling | 261 | s.f. | \$10.00 | \$2,610 | |
| 2 | Replace wall surfaces at ramp | 504 | s.f. | \$7.00 | \$3,528 | |
| 3 | Hand rails | | | | Not Required | |
| E. | Interior Finishes | | | | | |
| 1 | New flooring | 261 | s.f. | \$5.00 | \$1,305 | |
| 2 | New wall base | 42 | l.f. | \$4.00 | \$168 | |
| 3 | Paint walls | 1,080 | s.f. | \$1.50 | \$1,620 | |
| F. | Electrical | | | | | |
| 1 | Reinstall first floor lighting | 261 | s.f. | \$7.00 | \$1,827 | |
| 2 | Fire alarm and exit devices | 1 | allow | \$1,260.00 | \$1,260 | |
| G. | Allowance for Mechanical & Plumbing conflicts | 261 | s.f. | \$15.00 | \$3,915 | |
| | Subtotal | | | | | \$45,720 |
| | | | | | ===== | |
| | Subtotal Construction | | | | | \$45,720 |
| H. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$45,720 | \$4,572 | |
| 2 | Contractor Overhead & Profit | 8% | | \$50,292 | \$4,023 | |
| 3 | Mobilization, Temp Protection, Non-productive Lab | 15% | | \$54,315 | \$8,147 | |
| | Total Construction Estimated Cost | | | | | \$62,463 |
| | The following items are excluded from this estimate - FF&E Work | | | | | |
| | - Special Consultant Fees - Special hoisting or restricted site access | | | | | |
| | - Legal Fees - Premium time and overtime labor rates | | | | | |
| | - Utility Company Service Fees - Hazardous Waste Handling | | | | | |
| | - A/E or Design Fees - Escalation | | | | | |

LONGFELLOW ELEMENTARY

SUMMARY

The various additions to this building overtime have created a significant challenge in creating a facility that is totally accessible. At each floor, the southwest corner is lower than the rest of the building. Additionally, navigating stairs is necessary to access the west portion of the building at the 2nd and 3rd floors. Due to the rather significant elevation change between levels, ramps are not able to achieve accessibility to the southwest corner.

As alluded to in the AAC proposal, Classroom 113 is only accessed from the extreme southwest stairwell. The only accessible route from the corridor, should an elevator be implemented, is through the Art Room, through the Kiln and into Room 113 and back the same way. It is a code violation to exit from one space through another. We recommend reviewing this condition should an elevator be installed to improve the safety of this egress route.

LO1: VERTICAL ACCESS - ELEVATOR

The AAC report has suggested a multiple stop elevator located between the southwest corner and the main building to access the various levels. This appears to be the only viable location for an elevator to access all levels. We have attempted to locate the elevator in such a way to avoid what appear to be structural members as well as concealed chases; but without existing building documents, we are not able to confirm at this time. However, the third floor will require somewhat extensive relocation of HVAC equipment and piping that is located at the ceiling of the janitor space.

The elevator has 6-stops that utilizes two doors at front and back of the cab to travel between the various levels. So there are 2 stops per floor to access the southwest corner. At the 3rd floor, it is necessary to construct an enclosed ramped corridor at the roof to access the east wing. (Please note that, given the two levels of the existing roof at this area, additional investigation is necessary to determine the constructability of this roof level corridor.)

Potential Option: It is also possible to locate an elevator within the courtyard to access the 3 floors of the main building. With ramps installed at the north and south corridors of the courtyard on the 2nd and 3rd floors, all floors will be accessible with the exception of the southwest corner at each level. A rooftop enclosed corridor will also be required for this option, but on a much smaller scale.

LO2: 2nd FLOOR CORRIDOR RAMPS

A short set of stairs at the north and south corridors of the courtyard at the 2nd floor shall be removed. At the south corridor, we propose a full width ramp. At the north corridor, due to entry door locations, a full width ramp is not possible. Therefore, we are proposing removing a portion of the existing stairs to accommodate a 6ft wide ramp along the south corridor wall. Both ramp locations will require the relocation of lockers.

LO3: AREAS OF RESCUE ASSISTANCE – 2nd and 3rd FLOORS

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd and 3rd floors for this purpose.

LO4: CLASSROOM DOOR ADA RENOVATIONS

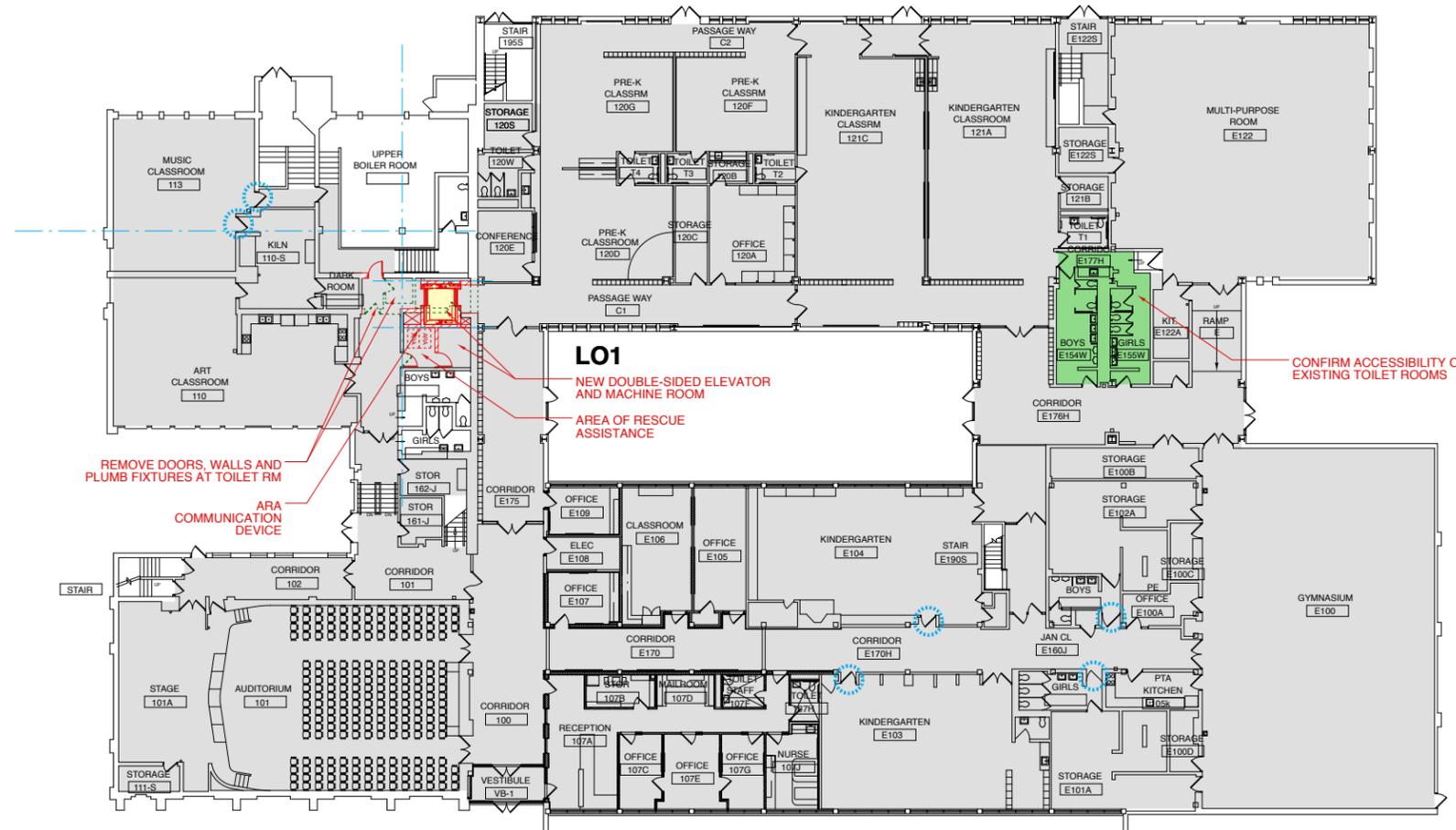
With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

LO5: TOILET ROOM ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF LONGFELLOW

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
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REMOVE DOORS, WALLS AND PLUMB FIXTURES AT TOILET RM
 COMMUNICATION DEVICE

LO1
 NEW DOUBLE-SIDED ELEVATOR AND MACHINE ROOM
 AREA OF RESCUE ASSISTANCE

CONFIRM ACCESSIBILITY OF EXISTING TOILET ROOMS

1 FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"



PRELIMINARY

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PROJECT
D97 ACCESSIBILITY STUDY
LONGFELLOW ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER
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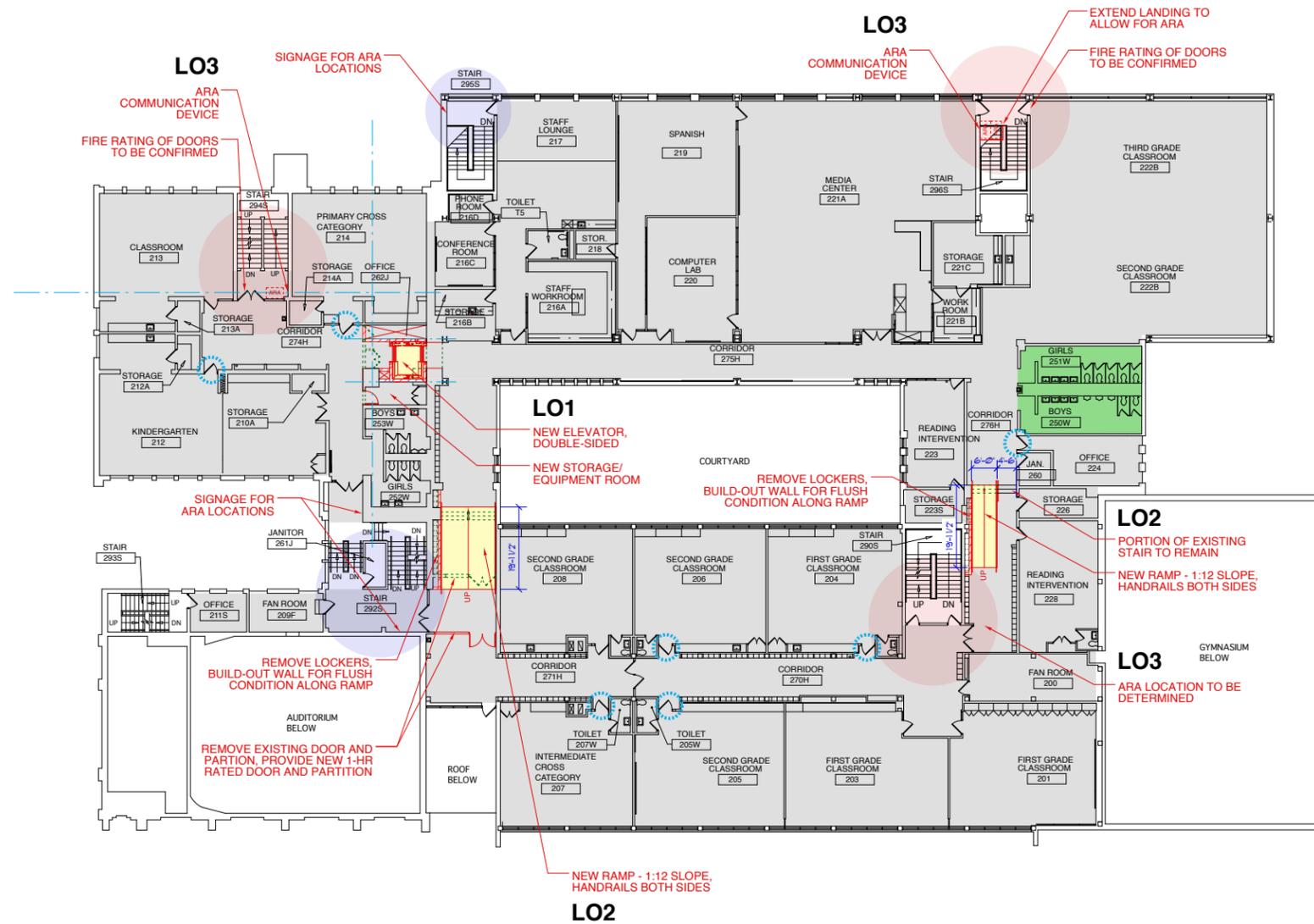
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| NUMBER | DATE | COMMENTS |
| 1 | 11/14/13 | |

DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER
LO.1

2 IN Actual Size to read at scale

- LEGEND:**
- ITEMS TO BE REMOVED
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1 SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

PRELIMINARY

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LONGFELLOW ELEMENTARY

OAK PARK SCHOOL
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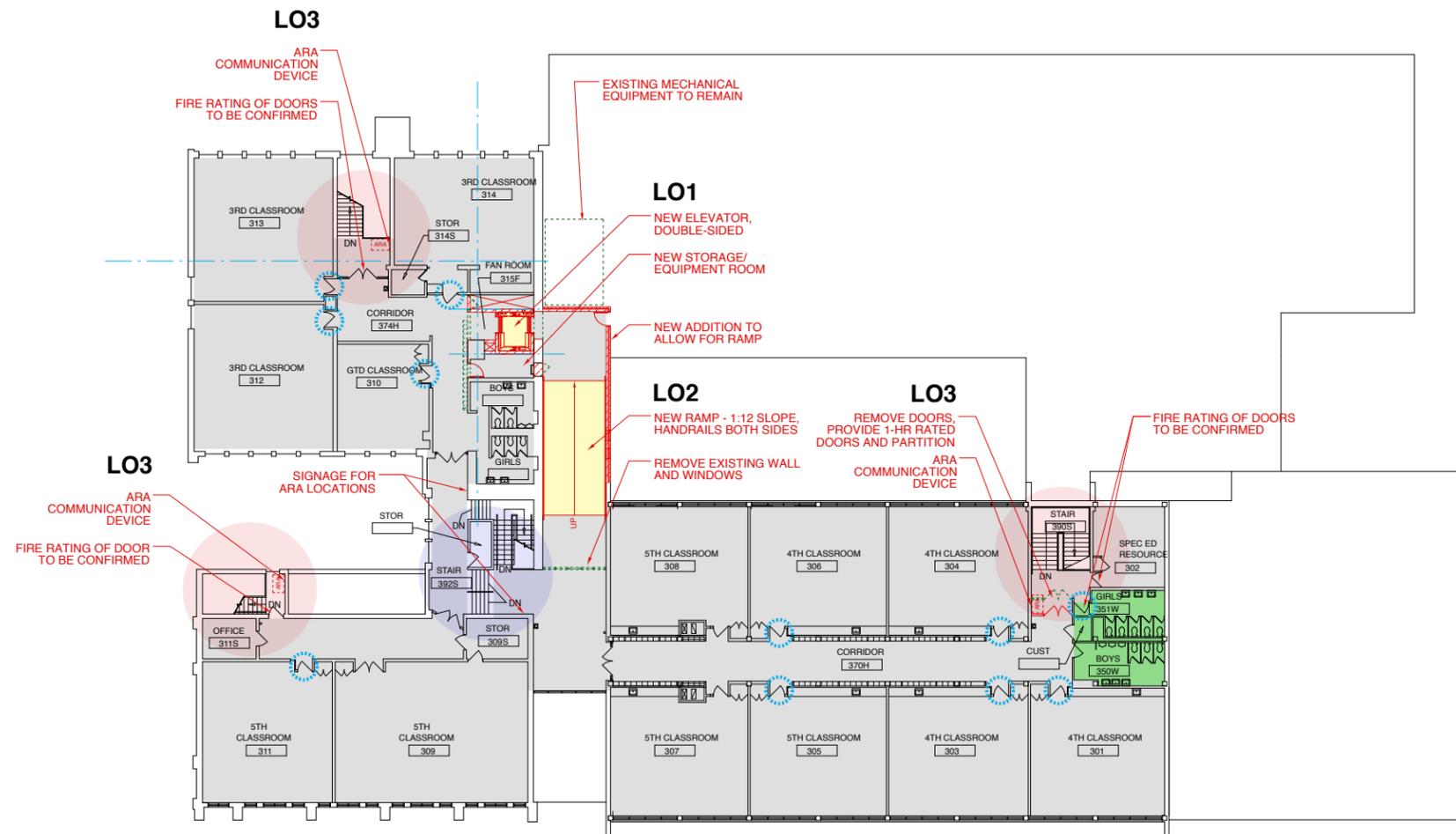
DRAWING TITLE
SECOND FLOOR PLAN

SHEET NUMBER

LO.2

2 IN Actual Size to read at scale

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
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1 THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"



PRELIMINARY

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DRAWING TITLE
THIRD FLOOR PLAN

SHEET NUMBER
LO.3

2 IN Actual Size to read at scale
 1 IN
 0 IN

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Longfellow Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|--|----------|--------|------------|-----------|-------|
| LO1 | Install a Elevator Addition for ADA Access | | | | | |
| A. | Demolition | | | | | |
| 1 | a. Remove doors | 8 | each | \$180.00 | \$1,440 | |
| 2 | b. Remove partitions | 68 | l.f. | \$15.00 | \$1,020 | |
| 3 | c. Remove lockers | 20 | each | \$100.00 | \$2,000 | |
| 4 | d. Remove plumbing fixtures & cap lines | | | | None | |
| 5 | e. Remove ceiling and lighting | 900 | s.f. | \$2.00 | \$1,800 | |
| 6 | f Strip flooring (assume VCT) | 900 | s.f. | \$1.00 | \$900 | |
| 7 | g. Remove casework 2nd floor | | | | None | |
| 8 | i. Remove HVAC & electrical | 900 | s.f. | \$5.00 | \$4,500 | |
| B. | Elevator pit & shaft | | | | | |
| 1 | Cut SOG in and pour shaft footing | 1 | allow | \$4,600.00 | \$4,600 | |
| 2 | 8" CMU shaft walls for 1st to 3rd floor | 1,710 | s.f. | \$12.00 | \$20,520 | |
| | a. Lintels and support clips | 3 | levels | \$500.00 | \$1,500 | |
| | b. Install elevator door frames | 3 | levels | \$184.00 | \$552 | |
| 3 | Remove structural floor for elevator shaft opening and frame opening | 3 | each | \$8,320.00 | \$24,960 | |
| 4 | Cut opening in 24' masonry walls | 3 | each | \$4,008.00 | \$12,024 | |
| 5 | Infill old roof access door opening | 1 | each | \$1,972.00 | \$1,972 | |
| C. | Elevator Penthouse / Override | | | | | |
| 1 | Strip roofing for access to structure | 1 | allow | \$1,280.00 | \$1,280 | |
| 2 | Frame and remove roof structure for penthouse | 1 | allow | \$8,320.00 | \$8,320 | |
| 3 | Penthouse walls and roof framing | 1 | allow | \$5,840.00 | \$5,840 | |
| 4 | Penthouse roof | 1 | allow | \$3,080.00 | \$3,080 | |
| D. | Custom elevator allowance | 1 | each | \$120,000 | \$120,000 | |
| E. | Interior Construction | | | | | |
| 1 | Drywall walls at elevator lobby | 900 | s.f. | \$6.00 | \$5,400 | |
| 2 | Drywall ceiling in elevator lobby | 900 | s.f. | \$12.00 | \$10,800 | |
| | a. Soffit at ceiling joints - allowance | 36 | l.f. | \$40.00 | \$1,440 | |
| 3 | Miscellaneous metal ladder & threshold | 1 | allow | \$1,200.00 | \$1,200 | |
| 4 | SWCD doors & HM frames | 5 | each | \$1,200.00 | \$6,000 | |
| F. | Interior Finishes | | | | | |
| 1 | Flooring allowance | 900 | s.f. | \$8.00 | \$7,200 | |
| | a. Patch & level floor | 900 | s.f. | \$2.00 | \$1,800 | |
| 2 | Paint drywall | 3 | floors | \$1,640.00 | \$4,920 | |
| 3 | Paint ceiling | 900 | s.f. | \$1.75 | \$1,575 | |
| G. | HVAC Modification | | | | | |
| 1 | Heating & exhaust for elevator equipment room | 1 | allow | \$4,000.00 | \$4,000 | |
| 2 | Modify existing cabinet heater in shaft | 1 | allow | \$1,220.00 | \$1,220 | |
| 3 | Elevator shaft exhaust | 1 | allow | \$1,500.00 | \$1,500 | |
| 4 | Modify existing system - allowance | 900 | s.f. | \$25.00 | \$22,500 | |
| | | | | | | |
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SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Longfellow Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|-----|--|----------|-------|------------|-----------|-----------|
| H. | Electrical | | | | | |
| 1 | Power to elevator | | | | | |
| | a. Modify existing switchgear or MDP | 1 | allow | \$20,000 | \$20,000 | |
| | b. New panels | 1 | allow | \$8,000.00 | \$8,000 | |
| | c. Final connections, trim out, and testing | 1 | allow | \$2,000.00 | \$2,000 | |
| 2 | Revise lighting for elevator lobby | 900 | s.f. | 8.00 | \$7,200 | |
| 3 | Remove lighting and electrical device in shaft | 1 | allow | 380.00 | \$380 | |
| 4 | Lighting and convenience power in equipment room | 1 | each | 1,260.00 | \$1,260 | |
| I. | Fire Alarm & Communication Connections | 1 | allow | \$2,720.00 | \$2,720 | |
| J. | Roof Top Corridor and Ramp | | | | | |
| 1 | Strip existing roofing | 1,000 | s.f. | \$4.00 | \$4,000 | |
| 2 | Reinforce roof structure | 1,000 | s.f. | \$25.00 | \$25,000 | |
| | a. Remove 2nd floor ceiling to expose structure | 1,000 | s.f. | \$2.00 | \$2,000 | |
| | b. Reinstall ceiling and lighting | 1,000 | s.f. | \$12.00 | \$12,000 | |
| 3 | Remove wall and windows | 1 | allow | \$1,280.00 | \$1,280 | |
| 4 | Exterior wall allowance | 1,200 | s.f. | \$50.00 | \$60,000 | |
| 5 | Window allowance | 2 | each | \$2,000.00 | \$4,000 | |
| 6 | Roof access door | 1 | allow | \$1,200.00 | \$1,200 | |
| 7 | Roof structure | 1,000 | s.f. | \$25.00 | \$25,000 | |
| 8 | Roof | 1,000 | s.f. | \$18.00 | \$18,000 | |
| 9 | Ramp structure | 1,000 | s.f. | \$35.00 | \$35,000 | |
| 10 | Connections to existing | 90 | l.f. | \$150.00 | \$13,500 | |
| 11 | Interior finishes | | | | | |
| | a. Ceiling | 1,000 | s.f. | \$3.75 | \$3,750 | |
| | b. Flooring | 1,000 | s.f. | \$6.00 | \$6,000 | |
| | c. Clean brick walls | 1,350 | s.f. | \$1.25 | \$1,688 | |
| | d. Paint walls | 720 | s.f. | \$1.00 | \$720 | |
| 12 | HVAC System - allowance | 1,000 | s.f. | \$28.00 | \$28,000 | |
| 13 | Plumbing | | | | | |
| | Roof drainage | 1,000 | s.f. | \$8.00 | \$8,000 | |
| 14 | Electrical | | | | | |
| | a. Lighting | 1,000 | s.f. | \$8.00 | \$8,000 | |
| | b. Power and Outlets | 1,000 | s.f. | \$6.00 | \$6,000 | |
| | c. Fire Alarm & Communication Connections | 1,000 | s.f. | \$3.00 | \$3,000 | |
| | Subtotal | | | | | \$593,561 |
| J. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$593,561 | \$59,356 | |
| 2 | Contractor Overhead & Profit | 8% | | \$652,917 | \$52,233 | |
| 3 | Contingency | 15% | | \$705,150 | \$105,772 | |
| | Total Construction Estimated Cost | | | | | \$810,922 |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Longfellow Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|---|----------|--|------------|--------|-------|
| LO4 | Reconfigure Room Entries to be IAC Compliant | | | | | |
| 1 | Remove Door, Frame, Hardware | | each | 180.00 | \$0 | |
| 2 | Dismantle millwork | | each | 720.00 | \$0 | |
| 3 | Remove ceiling and flooring | | each | 180.00 | \$0 | |
| 4 | Rebuild CMU wall for door recess | | allow | 2,260.00 | \$0 | |
| 5 | Rebuild millwork for larger door recess | | allow | 2,940.00 | \$0 | |
| 6 | New B-labeled, ADA Door, Frame, Hardware | | each | 1,500.00 | \$0 | |
| 7 | Paint CMU Walls, & frame | | allow | 540.00 | \$0 | |
| 8 | Relocate light switch & other items | | allow | 960.00 | \$0 | |
| 9 | Modify floor and ceiling for large recess | | allow | 1,940.00 | \$0 | |
| 10 | Relocate sink in Room 106, | | allow | 3,500.00 | \$0 | |
| | Subtotal | | | | | \$0 |
| 11 | General Requirements | | | | | |
| | a. General Conditions | 10% | | \$0 | \$0 | |
| | b. Contractor Overhead & Profit | 8% | | \$0 | \$0 | |
| | c. Mobilization, Temp Protection, Non-productive La | 15% | | \$0 | \$0 | |
| | Total Construction Estimated Cost | | | | | \$0 |
| LO5 | Reconfigure Toilet Room to add IAC Toilet Stall | | | | | |
| 1 | Remove Toilet partitions | | each | 90.00 | \$0 | |
| 2 | Remove Water Closets / Valves | | each | 90.00 | \$0 | |
| 3 | Demo Wall | | s.f. | 5.00 | \$0 | |
| 4 | Cap Plumbing | | each | 90.00 | \$0 | |
| 5 | Furnish and Install HC Water Closet / Valve | | each | 1,200.00 | \$0 | |
| 6 | Furnish and Install CMU | | s.f. | 25.00 | \$0 | |
| 7 | Furnish and Install Wall Tile | | s.f. | 12.00 | \$0 | |
| 8 | Furnish and Install 36" Grab Bar | | each | 72.00 | \$0 | |
| 9 | Furnish and Install 42" Grab Bar | | each | 75.00 | \$0 | |
| 10 | Miscellaneous paint and touch up | | each | 115.00 | \$0 | |
| 11 | Clean Up | | allow | 260.00 | \$0 | |
| | Subtotal | | | | | \$0 |
| 12 | General Requirements | | | | | |
| | a. General Conditions | 10% | | \$0 | \$0 | |
| | b. Contractor Overhead & Profit | 8% | | \$0 | \$0 | |
| | c. Mobilization, Temp Protection, Non-productive La | 15% | | \$0 | \$0 | |
| | Total Construction Estimated Cost | | | | | \$0 |
| | The following items are excluded from this estimate - FF&E Work | | | | | |
| | - Special Consultant Fees | | - Special hoisting or restricted site access | | | |
| | - Legal Fees | | - Premium time and overtime labor rates | | | |
| | - Utility Company Service Fees | | - Hazardous Waste Handling | | | |
| | - A/E or Design Fees | | - Escalation | | | |

SUMMARY

The AAC Proposal identified the Stage as being in accessible. The Multi-Purpose Room does not have an accessible egress exit, and the 2nd and 3rd floors are not accessible. STR has proposed an alternate location for this exit ramp.

MA1: STAGE ACCESS

Currently there is no accessible route to the elevated stage. As the AAC suggests, a wheelchair platform lift may be implemented to achieve accessibility. We have proposed renovating the storage room to the east of the stage for this purpose.

MA2: MULTIPURPOSE ROOM

Currently there is no accessible means of egress from the Multi-Purpose room to the exterior. STR has provided two options to resolve this issue.

- Option 1: Provide a ramp along the south wall of the Multi-Purpose room to the south exit.
The ramp is the entire width of the stair and provides a somewhat circuitous route for all users needing to exit through this door.
- Option 2: Remove a portion of the north exit stairs and provide a ramp along the north wall of the Multi-Purpose room.
This location will trigger the relocation of the current serving line.

MA3: VERTICAL ACCESS - ELEVATOR

STR has proposed the elevator be located within the building adjacent to the center west stairwell. This location reduces the disruption to occupied space associated with an exterior tower; however, there are still items to be coordinated:

- Basement: The elevator is located above the Boiler Room. While we propose a hole-less hydraulic elevator (without a piston), we will still need a 4-foot clear pit. The area below the shaft holds an antiquated air-handling unit serving the auditorium. This equipment is beyond its useful life. We propose to replace this equipment and locate away from the elevator above, as there is open area in the Boiler Room. Thus, we will have space below the elevator to construct a 4ft clear pit suspended in the Boiler Room.
- 1st floor: Relocate Girls Toilet Room. We propose gutting the existing girls toilet room and shower associated with the original locker room into one large accessible girls toilet room.
- 2nd floor: Relocate Janitor's Closet. We propose a location across the corridor.
- 2nd floor: Adjust the entry door and north wall of Girls Toilet room for ADA required clearances
- 3rd floor: Relocate Janitor's Closet. We propose a location across the corridor.

- 3rd floor: Adjust the entry door and north wall of Girls Toilet room for ADA required clearances

The addition of an elevator, however, renders the 2nd and 3rd floors accessible.

MA4: AREAS OF RESCUE ASSISTANCE – 2nd and 3rd FLOORS

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd and 3rd floors for this purpose.

MA5: CLASSROOM DOOR ADA RENOVATIONS

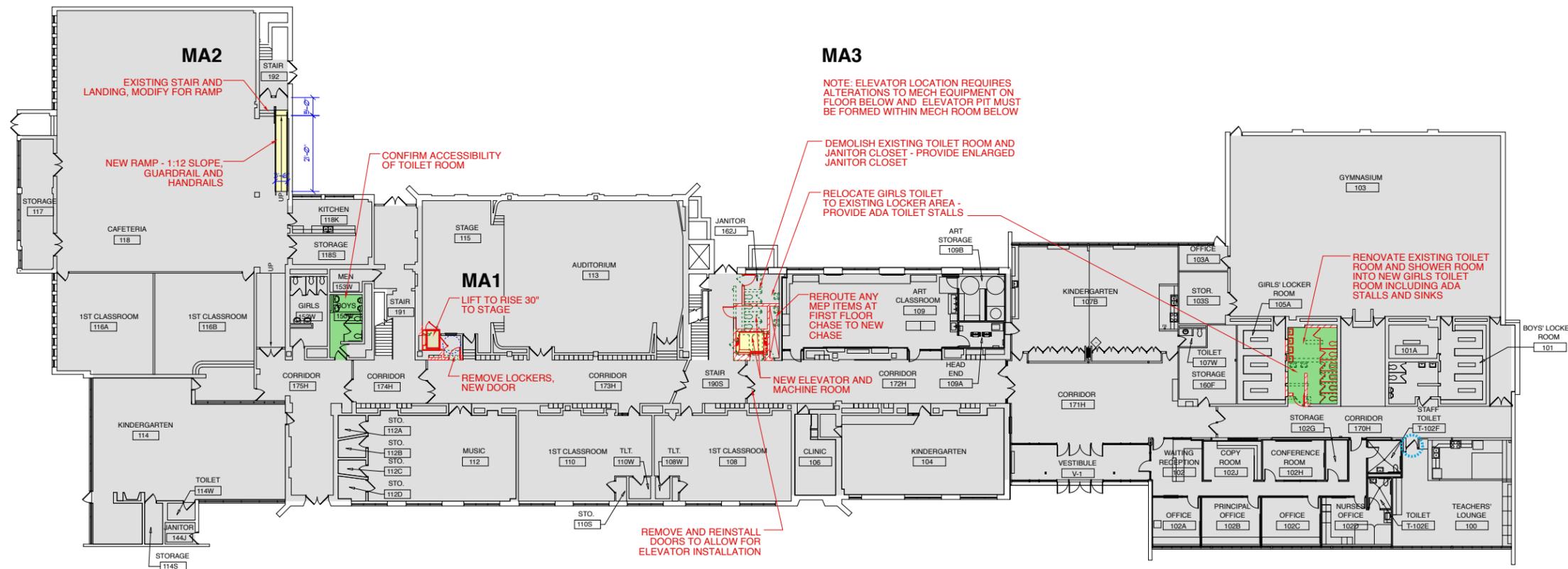
With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

MA6: TOILET ROOM ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF MANN

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



PRELIMINARY

SCOPE DOCUMENT
This drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Construction Documents, on the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.

© 2013 STR PARTNERS LLC
PROJECT
D97 ACCESSIBILITY STUDY
MANN ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

| DRAWING DATES | | |
|---------------|----------|----------|
| NUMBER | DATE | COMMENTS |
| • | | |
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| • | 11/14/13 | |

DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER

MA.1

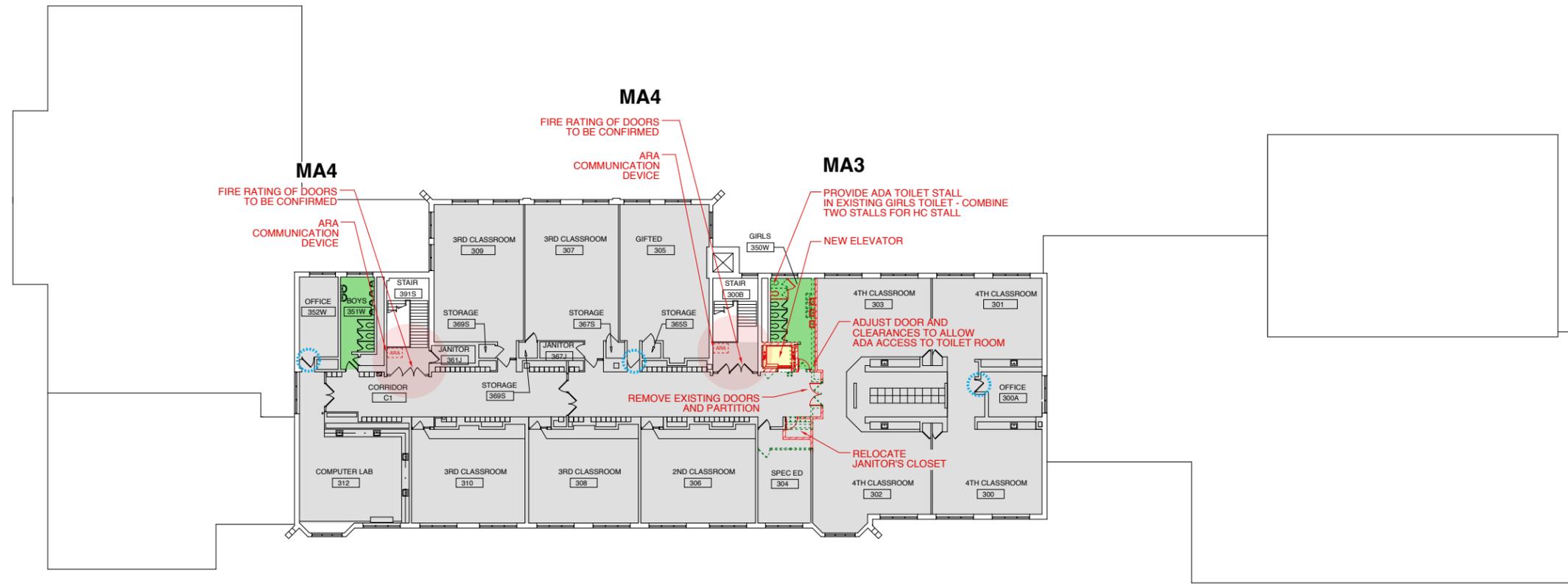
1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 IN Actual Size to read at scale
1 IN
0 IN

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA

PRELIMINARY



1 THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"



SCOPE DOCUMENT
 This drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Construction Documents, on the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.

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PROJECT
D97 ACCESSIBILITY STUDY
MANN ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

| DRAWING DATES | | |
|---------------|----------|----------|
| NUMBER | DATE | COMMENTS |
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| • | 11/14/13 | |

DRAWING TITLE
THIRD FLOOR PLAN

SHEET NUMBER
MA.3

2 IN Actual Size to read at scale
 1 IN
 0 IN

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Mann Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|--|----------|-------|------------|----------|-----------------|
| MA1 | Install a Stage Wheel Chair Lift in existing Closet | | | | | |
| A. | Demolition | | | | | |
| 1 | Remove lockers | 100 | l.f. | 12.00 | \$1,200 | |
| 2 | Remove terrazzo wall base | 1 | allow | 1,200.00 | \$1,200 | |
| 3 | Strip plaster and mural | 1 | allow | 960.00 | \$960 | |
| 4 | Strip interior finishes in closet | 1 | allow | 960.00 | \$960 | |
| 5 | Remove closet door & frame | 1 | allow | 285.00 | \$285 | |
| 6 | Remove hallway wall for new corridor access | 1 | allow | 960.00 | \$960 | |
| 7 | Remove wall at stage elevation | 1 | allow | 960.00 | \$960 | |
| 8 | Remove structural deck* in closet to lower floor to corridor elevation | 1 | allow | 1,720.00 | \$1,720 | |
| | *Assume stage deck and closet floor are wood framed structures. | | | | | |
| 9 | Disposal of debris | 16 | hours | 85.00 | \$1,360 | |
| 10 | Dumpster | 2 | each | 500.00 | | |
| B. | Modify stage & closet floor structure for Lift | | | | | |
| 1 | Carpentry | 32 | hours | 92.00 | \$2,944 | |
| 2 | Material allowance | 1 | allow | 800.00 | \$800 | |
| C. | Lift - DME Symmetry Lift | 1 | each | 23,000.00 | \$23,000 | |
| D. | Interior Construction | | | | | |
| 1 | New corridor SCWD door & HM frame | 1 | allow | 1,200.00 | \$1,200 | |
| 2 | Rebuild corridor wall | 1 | allow | 3,280.00 | \$3,280 | |
| 3 | Rebuild stage wall at Lift opening | 1 | allow | 1,720.00 | \$1,720 | |
| 4 | New flooring | | | | | |
| | a. Grind and reshape terrazzo base in corridor | 1 | allow | 670.00 | \$670 | |
| | b. Flooring in closet | 1 | allow | 460.00 | \$460 | |
| 5 | New drywall sheathing in closet | 480 | s.f. | 5.00 | \$2,400 | |
| 6 | New ACT ceiling in closet | 1 | allow | 460.00 | \$460 | |
| E. | Interior Finishes | | | | | |
| 1 | Paint walls | 1 | allow | 860.00 | \$860 | |
| 2 | Restore mural | 1 | allow | 1,820.00 | \$1,820 | |
| 3 | Signage allowance | 2 | allow | 560.00 | \$1,120 | |
| 4 | Paint door frame | 1 | each | 85.00 | \$85 | |
| F. | Electrical | | | | | |
| 1 | Lighting and switching | 1 | allow | 880.00 | \$880 | |
| 2 | Power to wheel chair lift | | | | | |
| | a. Conduit and wire | 100 | l.f. | 12.00 | \$1,200 | |
| | b. New breaker in existing panel | 1 | allow | 1,200.00 | \$1,200 | |
| | c. Final connections, trim out, and testing | 1 | allow | 960.00 | \$960 | |
| | Subtotal | | | | | \$54,664 |
| G. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$54,664 | \$5,466 | |
| 2 | Contractor Overhead & Profit | 8% | | \$60,130 | \$4,810 | |
| 3 | Contingency | 15% | | \$64,941 | \$9,741 | |
| | Total Construction Estimated Cost | | | | | \$74,682 |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Mann Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|--|----------|--------|------------|-----------|-------|
| MA3 | Install a Elevator Addition for ADA Access | | | | | |
| 2 | First Floor Demo | | | | | |
| | a. Remove doors | 3 | each | \$180.00 | \$540 | |
| | b. Remove CMU partitions | 79 | l.f. | \$15.00 | \$1,185 | |
| | c. Remove toilet stall and accessories | 1 | allow | \$1,180.00 | \$1,180 | |
| | d. Remove plumbing fixtures & cap lines | 8 | each | \$184.00 | \$1,472 | |
| | e. Remove ceiling and lighting | 700 | s.f. | \$2.00 | \$1,400 | |
| | f. Strip flooring (assume VCT) | 700 | s.f. | \$1.00 | \$700 | |
| | g. Remove corridor doors and partition | 1 | allow | \$1,640.00 | \$1,640 | |
| | h. Remove plumbing IN-in | 1 | allow | \$936.00 | \$936 | |
| | i. Remove HVAC & electrical | 1 | allow | \$1,736.00 | \$1,736 | |
| | j. Allowance for demo in ?Closet & shaft? | 1 | allow | \$3,540.00 | \$3,540 | |
| 3 | Basement Demolition | | | | | |
| | a. Remove Mechanical equipment in basement | 1 | allow | \$13,200 | \$13,200 | |
| | b. Demo walls, ceiling, flooring, etc. | 700 | s.f. | \$20.00 | \$14,000 | |
| | c. Relocate mechanical equipment | | | | NIC | |
| | d. Relocate electrical equipment & panels | | | | NIC | |
| 4 | Remove debris from Building | 40 | m.h. | \$92.00 | \$3,680 | |
| 5 | Dumpsters | 15 | each | \$500.00 | \$7,500 | |
| B. | Elevator pit & shaft | | | | | |
| 1 | Cut SOG in basement and pour shaft footing | 1 | allow | \$4,680.00 | \$4,680 | |
| 2 | 8" CMU shaft walls for basement to 3rd floor | 2,100 | s.f. | \$18.00 | \$37,800 | |
| | a. Lintels and support clips | 4 | levels | \$500.00 | \$2,000 | |
| | b. Install elevator door frames | 3 | levels | \$184.00 | \$552 | |
| 3 | Remove structural floor for elevator shaft opening and frame opening | 3 | each | \$8,320.00 | \$24,960 | |
| C. | Elevator Penthouse / Override | | | | | |
| 1 | Strip roofing for access to structure | 1 | allow | \$1,280.00 | \$1,280 | |
| 2 | Frame and remove roof structure for penthouse | 1 | allow | \$8,320.00 | \$8,320 | |
| 3 | Penthouse walls and roof framing | 1 | allow | \$5,840.00 | \$5,840 | |
| 4 | Penthouse roof | 1 | allow | \$3,080.00 | \$3,080 | |
| D. | Custom elevator allowance | 1 | each | \$100,000 | \$100,000 | |
| E. | Interior Construction | | | | | |
| 1 | High density drywall partitions | | | | | |
| | a. Drywall furring on walls at elevator lobby | 300 | s.f. | \$6.00 | \$1,800 | |
| | b. Drywall on metal studs & sound bats. | 2,940 | s.f. | \$10.00 | \$29,400 | |
| | c. Allowance for basement partitions | 1 | allow | \$4,944.00 | \$4,944 | |
| 2 | Drywall ceiling | 2,100 | s.f. | \$12.00 | \$25,200 | |
| | a. Soffit at ceiling joints | 36 | l.f. | \$40.00 | \$1,440 | |
| 3 | Film over existing windows | | each | \$3,000.00 | \$0 | |
| 4 | Re-install casework in Library 201 | 1 | allow | \$836.00 | \$836 | |
| 5 | Miscellaneous metal ladder & threshold | 1 | allow | \$1,200.00 | \$1,200 | |
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SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Mann Elementary School

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350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
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November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|---|----------|-----------|------------|--------------------|-------|
| MA3 | Install a Elevator Addition for ADA Access | | | | | |
| F. | Interior Finishes | | | | | |
| 1 | Allowance to replace flooring | 2,100 | s.f. | \$8.00 | \$16,800 | |
| | a. Patch & level floors in toilet rooms | 3 | allow | \$920.00 | \$2,760 | |
| 2 | Paint drywall | 3,920 | s.f. | \$1.00 | \$3,920 | |
| 3 | Paint ceiling | 2,100 | s.f. | \$1.75 | \$3,675 | |
| G. | Plumbing | | | | | |
| 1 | Fixtures with rough-in | | | | | |
| | a. Janitor slop sinks | 3 | each | \$1,500.00 | \$4,500 | |
| | b. ADA toilet | 2 | each | \$1,200.00 | \$2,400 | |
| | d. Standard toilet | | | | Existing to remain | |
| | e. Wall hung lavatories | 6 | each | \$900.00 | \$5,400 | |
| 2 | Plumbing allowance - waste vent, & water | | | | | |
| | a. Labor - 2 plumber for 4 days | 64 | hours | \$92.00 | \$5,888 | |
| | b. Piping & equipment allowance | 1 | allow | \$3,000.00 | \$3,000 | |
| | c. Allowance for basement plumbing | | | | NIC | |
| 6 | Toilet partition & accessories | | | | | |
| | a. ADA stall | 1 | allow | \$1,200.00 | \$1,200 | |
| | b. Standard stalls | 5 | each | \$800.00 | \$4,000 | |
| | c. Accessories allowance | 1 | allow | \$4,000.00 | \$4,000 | |
| H. | HVAC Modification | | | | | |
| 1 | Heating & exhaust for elevator equipment room | 1 | allow | \$4,000.00 | \$4,000 | |
| 2 | Janitor closet exhausts | 3 | allow | \$1,236.00 | \$3,708 | |
| 3 | Elevator shaft exhaust | 1 | allow | \$1,500.00 | \$1,500 | |
| 4 | Modify toilet room HVAC for new layout | 3 | locations | \$1,972.00 | \$5,916 | |
| 5 | Modify basement HVAC | | | | NIC | |
| I. | Electrical | | | | | |
| 1 | Power to elevator | | | | | |
| | a. Modify existing switchgear or MDP | 1 | allow | \$20,000 | \$20,000 | |
| | b. New panels | 1 | allow | \$8,000.00 | \$8,000 | |
| | c. Final connections, trim out, and testing | 1 | allow | \$2,000.00 | \$2,000 | |
| 2 | Revise lighting | 2,100 | s.f. | \$8.00 | \$16,800 | |
| 3 | Revised power for JC and toilet rooms | 2,100 | s.f. | \$6.00 | \$12,600 | |
| 4 | Remove lighting and electrical device in shaft | 1 | allow | 380.00 | \$380 | |
| 4 | Lighting and convenience power in equipment room | 1 | each | 1,260.00 | \$1,260 | |
| J. | Fire Alarm & Communication Connections | 1 | allow | \$2,720.00 | \$2,720 | |
| | a. Elevator allowance | 1 | allow | \$2,720.00 | \$2,720 | |
| | b. FA in toilet and corridors | 2,100 | s.f. | \$4.00 | \$8,400 | |
| K. | Modify Shower Room 105A to Girls Toilet | | | | | |
| 1 | Demo allowance | 345 | s.f. | \$20.00 | \$6,900 | |
| 2 | New partition | 1,140 | s.f. | \$12.00 | \$13,680 | |
| 3 | SCWD with HM frame | 1 | allow | \$1,200.00 | \$1,200 | |
| 4 | Drywall ceiling with paint | 345 | s.f. | \$14.00 | \$4,830 | |
| | | | | | | |
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| | | | | | | |
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SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Mann Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|--|----------|-------|------------|---------|-----------------|
| MA4 | Create Four Areas of Rescue Assistance on the Second and Third Floors | | | | | |
| A. | Demolition and Prep | | | | | |
| 1 | Temporary barricades | 1 | allow | \$500.00 | \$500 | |
| 2 | Remove Existing Ceiling | 48 | s.f. | \$2.00 | \$96 | |
| 5 | Remove debris from Building | 4 | m.h. | \$90.00 | \$360 | |
| 6 | Dumpsters | 1 | each | \$500.00 | \$500 | |
| 7 | Clean up & house keeping | 1 | allow | \$360.00 | \$360 | |
| | Subtotal - Demolition & Prep | | | | | \$1,816 |
| B. | Interior Construction | | | | | |
| 1 | HM Frame / HM Door / Hardware | 1 | each | \$1,500.00 | \$1,500 | |
| 2 | HM Frame / Pair HM Door / Hardware | 1 | each | \$2,800.00 | \$2,800 | |
| 6 | GWB Ceiling on Metal Stud Support | 180 | s.f. | \$12.00 | \$2,160 | |
| 7 | Plaster Finish on GWB Ceiling | 48 | s.f. | \$3.00 | \$144 | |
| 8 | 6" x 9" Signs | 5 | each | \$50.00 | \$250 | |
| | Subtotal - Interior Construction | | | | | \$6,854 |
| C. | Painting and Finishes | | | | | |
| 1 | Paint GWB Soffit | 0 | l.f. | \$15.00 | \$0 | |
| 2 | Paint Ceiling | 100 | s.f. | \$1.25 | \$125 | |
| 3 | Paint HM Frame | 1 | each | \$45.00 | \$45 | |
| 4 | Paint HM Pair Frame | 1 | each | \$60.00 | \$60 | |
| | Subtotal - Painting | | | | | \$230 |
| D. | HVAC | | | | | |
| 1 | Adjust Ductwork | | s.f. | \$12.00 | \$0 | |
| 2 | Diffuser | | each | \$175.00 | \$0 | |
| | Subtotal - HVAC | | | | | \$0 |
| E. | Electrical | | | | | |
| 1 | Lighting | | | | None | |
| 2 | Fire Alarm | | | | None | |
| 3 | Two Way Communications "Box" | 4 | each | \$500.00 | \$2,000 | |
| 4 | Tie Into Existing Two Way System in Building | 4 | each | \$1,500.00 | \$6,000 | |
| 5 | Low Voltage Power to Door Hold Opens | | | | None | |
| 6 | New lighting and ceiling mounted items | 1 | allow | \$500.00 | \$500 | |
| | Subtotal - Electrical | | | | | \$8,500 |
| F. | Fire Protection | | | | | |
| | | | | | None | \$0 |
| | Subtotal Total Estimated Budget | | | | | \$17,400 |
| G. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$17,400 | \$1,740 | |
| 2 | Contractor Overhead & Profit | 8% | | \$19,140 | \$1,531 | |
| 3 | Mobilization, Temp Protection, Non-productive Lab | 15% | | \$20,671 | \$3,101 | |
| | Total Construction Estimated Cost | | | | | \$23,772 |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Mann Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|--|----------|-------|------------|--------|-------|
| MA5 | Reconfigure Room Entries to be IAN Compliant | | | | | |
| 1 | Remove Door, Frame, Hardware | | each | 180.00 | \$0 | |
| 2 | Dismantle millwork | | each | 720.00 | \$0 | |
| 3 | Remove ceiling and flooring | | each | 180.00 | \$0 | |
| 4 | Rebuild CMU wall for door recess | | allow | 2,260.00 | \$0 | |
| 5 | Rebuild millwork for larger door recess | | allow | 2,940.00 | \$0 | |
| 6 | New B-labeled, ADA Door, Frame, Hardware | | each | 1,500.00 | \$0 | |
| 7 | Paint CMU Walls, & frame | | allow | 540.00 | \$0 | |
| 8 | Relocate light switch & other items | | allow | 960.00 | \$0 | |
| 9 | Modify floor and ceiling for large recess | | allow | 1,940.00 | \$0 | |
| 10 | Relocate sink in Room 106, | | allow | 3,500.00 | \$0 | |
| | Subtotal | | | | | \$0 |
| 11 | General Requirements | | | | | |
| | a. General Conditions | 10% | | \$0 | \$0 | |
| | b. Contractor Overhead & Profit | 8% | | \$0 | \$0 | |
| | c. Mobilization, Temp Protection, Non-productive La | 15% | | \$0 | \$0 | |
| | Total Construction Estimated Cost | | | | | \$0 |
| MA6 | Reconfigure Toilet Room to add IAN Toilet Stall | | | | | |
| 1 | Remove Toilet partitions | | each | 90.00 | \$0 | |
| 2 | Remove Water Closets / Valves | | each | 90.00 | \$0 | |
| 3 | Demo Wall | | s.f. | 5.00 | \$0 | |
| 4 | Cap Plumbing | | each | 90.00 | \$0 | |
| 5 | Furnish and Install HC Water Closet / Valve | | each | 1,200.00 | \$0 | |
| 6 | Furnish and Install CMU | | s.f. | 25.00 | \$0 | |
| 7 | Furnish and Install Wall Tile | | s.f. | 12.00 | \$0 | |
| 8 | Furnish and Install 36" Grab Bar | | each | 72.00 | \$0 | |
| 9 | Furnish and Install 42" Grab Bar | | each | 75.00 | \$0 | |
| 10 | Miscellaneous paint and touch up | | each | 115.00 | \$0 | |
| 11 | Clean Up | | allow | 260.00 | \$0 | |
| | Subtotal | | | | | \$0 |
| 12 | General Requirements | | | | | |
| | a. General Conditions | 10% | | \$0 | \$0 | |
| | b. Contractor Overhead & Profit | 8% | | \$0 | \$0 | |
| | c. Mobilization, Temp Protection, Non-productive La | 15% | | \$0 | \$0 | |
| | Total Construction Estimated Cost | | | | | \$0 |

SUMMARY

The AAC Proposal identified the following spaces as inaccessible from inside the building: Multipurpose Room, Auditorium, Stage, Art Room, and Music Room.

WH1: MULTIPURPOSE ROOM

Currently there is no accessible entrance to or exit from the Multi-Purpose room. STR has provided two options to resolve this issue.

Option 1: Reclaim the west hall for circulation in lieu of storage and Janitor office.
Remove the stairs in the west hall.
Provide a ramp along the north wall of the Multi-Purpose room that turns into the west hall.
Provide rated doors at the north and south end of the west hall.
Janitor's Closet will need to be relocated.

Option 2: Construct a small addition providing a new enclosed corridor ramp connecting the Multi-Purpose Room to the southwest stair and corridor.
Include a new door to the exterior at top of ramp.

STR did not investigate providing a platform lift to enter this space as it does not address the issue of an accessible egress exit from the space. Additionally, raising the floor level proved to be a challenge on many levels due to the location of power outlets, HVAC equipment, plumbing at the kitchen that would also need to be raised, etc. Therefore, we are recommending one of the two above options

WH2: VERTICAL ACCESS - ELEVATOR

STR reviewed the plan for an elevator location. We feel that the southeast corner of the center courtyard is a viable solution as it is at the main entry, does not affect the current use of any spaces, and with the addition of ramps at the 1st and 2nd floors (refer to WH3), this location will render all levels accessible. Additionally, this location does not obstruct windows into instruction space on any level.

WH3: HORIZONTAL ACCESS - RAMPS AT 1ST AND 2ND FLOORS

1st Floor

Ramp: We propose to install a ramp within the existing corridor over the existing stairs to provide access to the Art and Music classrooms and the Auditorium.

2nd Floor

Ramp

North: Due to the location of the stairs in this corridor, the stairs will need to be removed, the floor structure supported at each end, and a ramp installed to connect the two levels.

2nd Floor

Ramp

South: Due to the location of the stairs in this corridor, the stairs will need to be removed, the floor structure supported at each end, and a ramp installed to connect the two levels. This construction will require the relocation of lockers if deemed necessary.

WH4: AREAS OF RESCUE ASSISTANCE – 2nd and 3rd FLOORS

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd and 3rd floors for this purpose.

WH5: CLASSROOM DOOR ADA RENOVATIONS

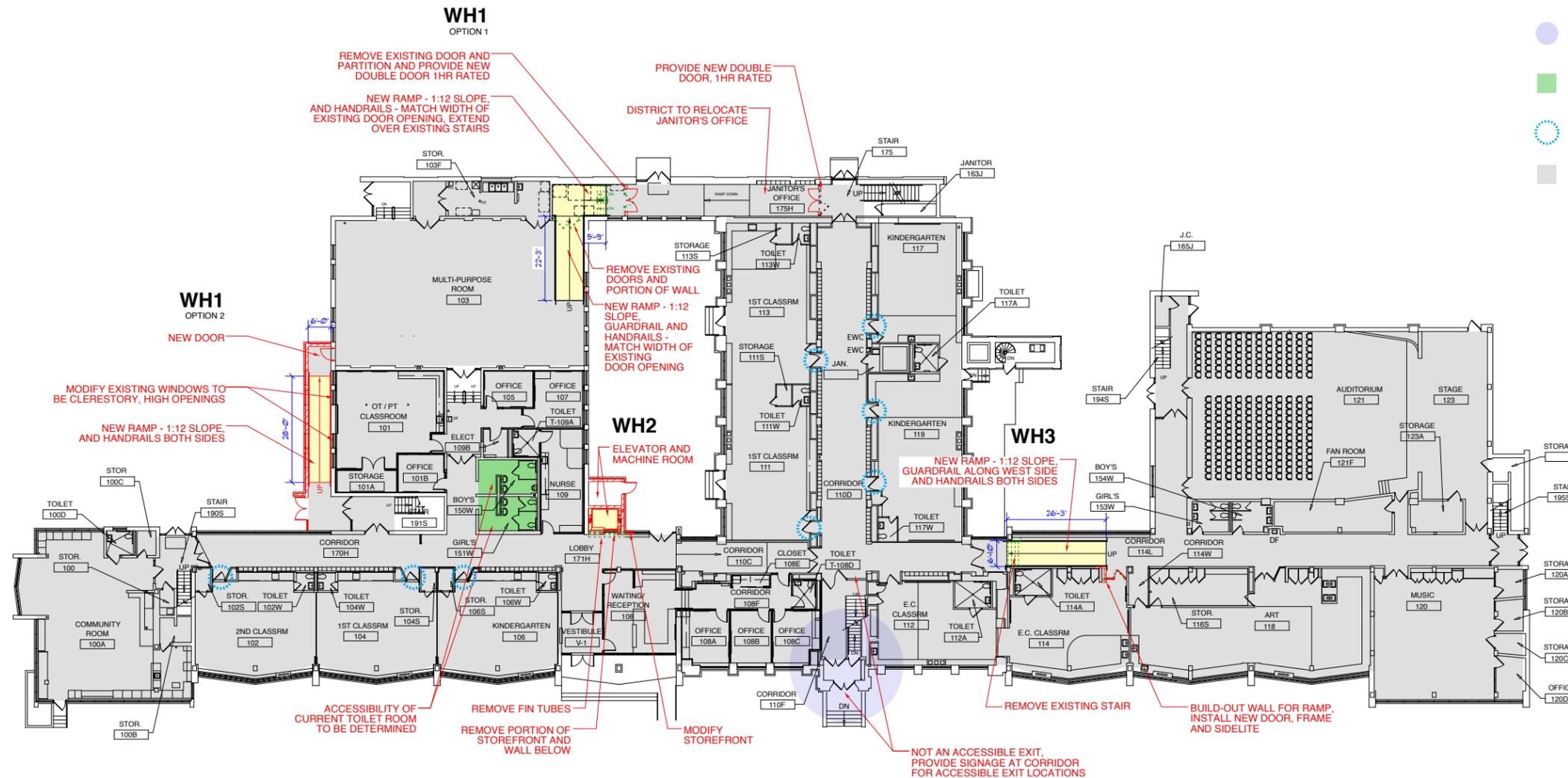
With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

WH6: TOILET ROOM ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF WHITTIER

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

SCOPE DOCUMENT
This drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Construction Documents, on the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.
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PROJECT
D97 ACCESSIBILITY STUDY
WHITTIER ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER
13160

STR PROJECT NUMBER

| DRAWING DATES | | |
|---------------|----------|----------|
| NUMBER | DATE | COMMENTS |
| 1 | 11/14/13 | |

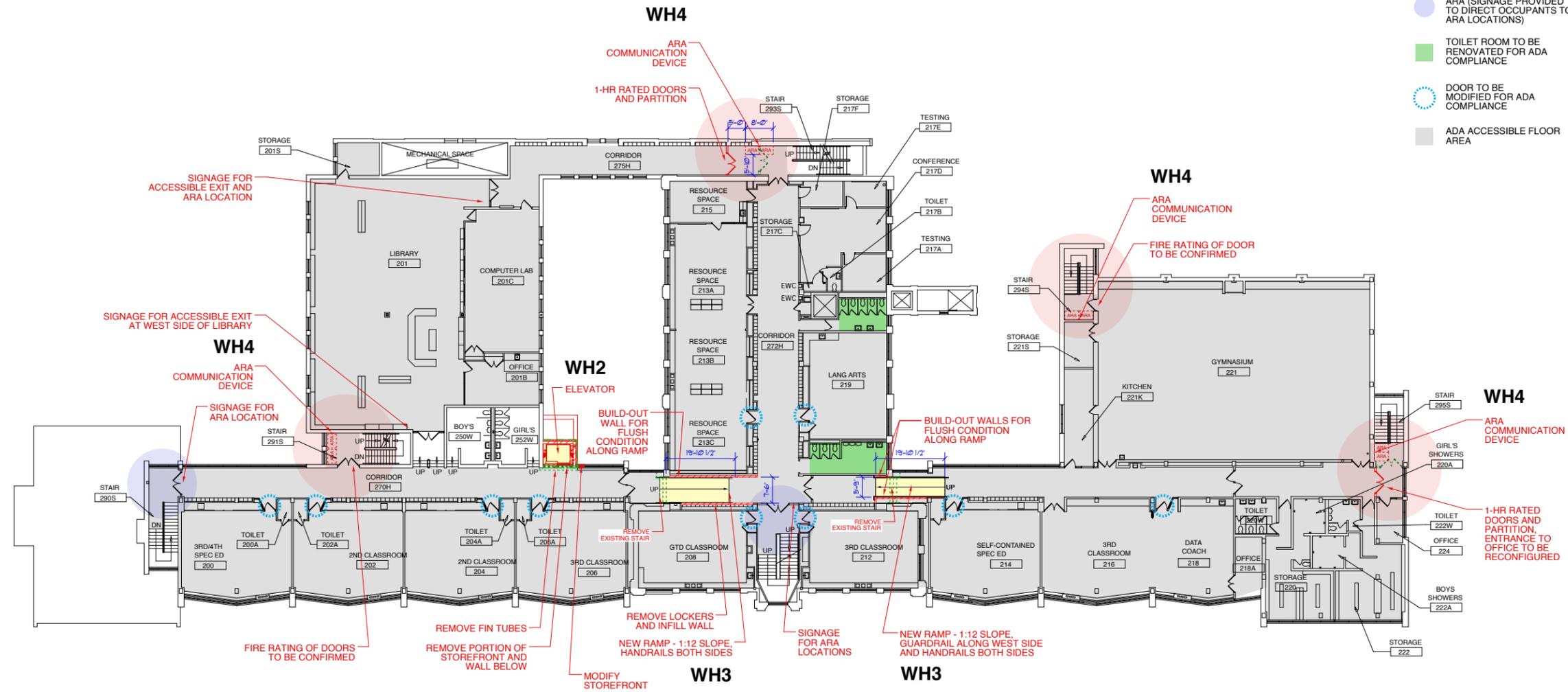
DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER
WH.1

PRELIMINARY

2 IN Actual Size to read at scale
1 IN
0 IN

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



PRELIMINARY

SCOPE DOCUMENT
 This drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Construction Documents, on the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.

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PROJECT
D97 ACCESSIBILITY STUDY
WHITTIER ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER
13160

STR PROJECT NUMBER

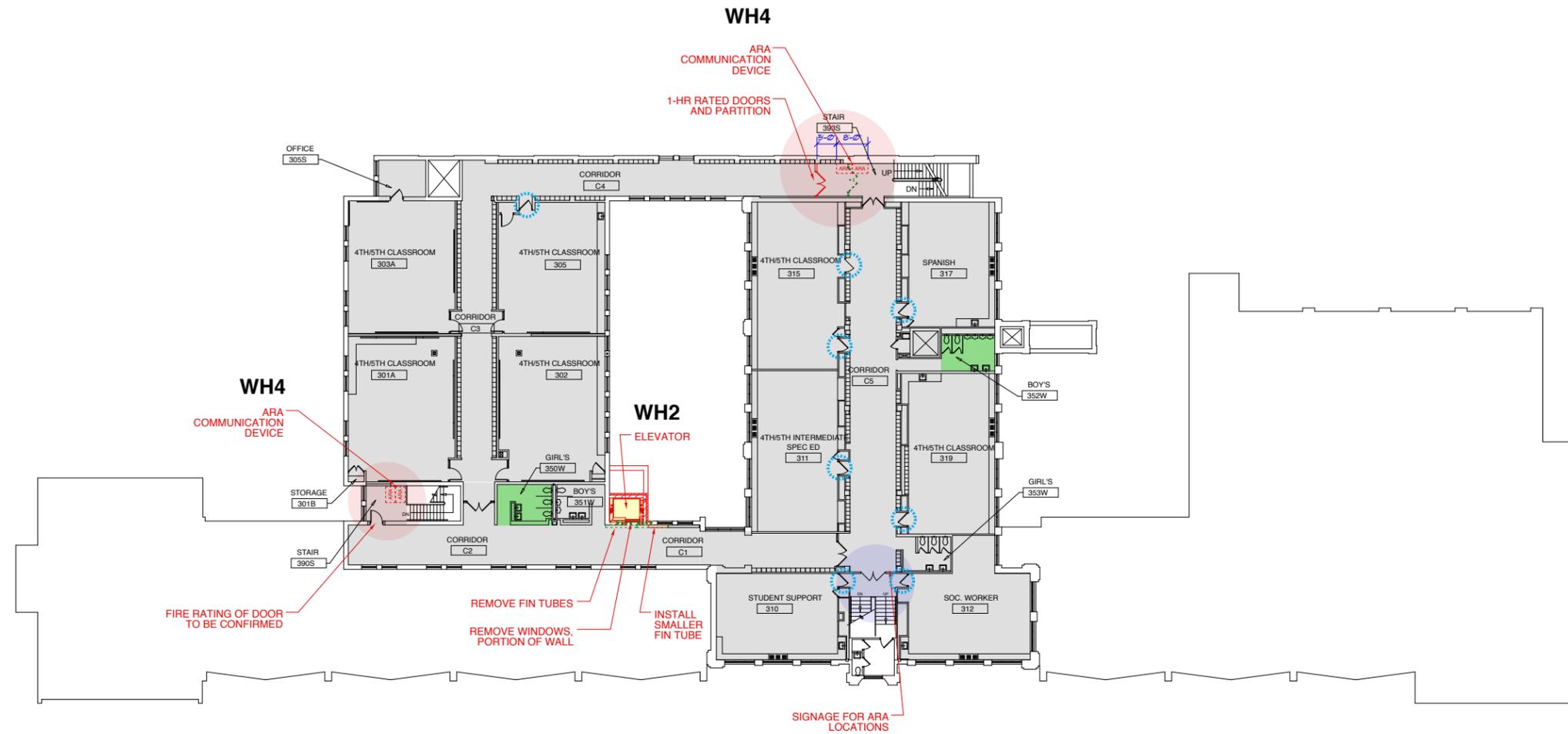
| NUMBER | DATE | COMMENTS |
|--------|----------|----------|
| 1 | 11/14/13 | |

DRAWING TITLE
SECOND FLOOR PLAN

SHEET NUMBER
WH.2

2 IN Actual Size to read at scale

- LEGEND:**
- ITEMS TO BE REMOVED
 - //// PROPOSED WORK
 - NEW ELEVATOR OR RAMP
 - AREA OF RESCUE ASSISTANCE (ARA)
 - STAIR WITH PROPOSED ARA
 - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
 - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
 - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
 - ADA ACCESSIBLE FLOOR AREA



1 THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"



PRELIMINARY

SCOPE DOCUMENT
 This drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Construction Documents, on the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.

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PROJECT
D97 ACCESSIBILITY STUDY
WHITTIER ELEMENTARY

OAK PARK SCHOOL
DISTRICT 97

CLIENT PROJECT NUMBER

STR PROJECT NUMBER
13160

| DRAWING DATES | | |
|---------------|----------|----------|
| NUMBER | DATE | COMMENTS |
| 1 | 11/14/13 | |

DRAWING TITLE
THIRD FLOOR PLAN

SHEET NUMBER
WH.3

2 IN Actual Size to read at scale

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Whittier Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|---|----------|---------|------------|----------|-----------------|
| WH1 | Option One Interior ADA Access Ramp to Multipurpose Room | | | | | |
| A. | Selective Demolition | | | | | |
| 1 | Remove wall mounted devices | 2 | hours | \$90.00 | \$180 | |
| 2 | Prep stair and floor for new ramp | 1 | allow | \$936.00 | \$936 | |
| 3 | Remove partitions | 25 | l.f. | \$20.00 | \$500 | |
| 4 | Remove doors | 4 | leafs | \$120.00 | \$480 | |
| B. | Protection | | | | | |
| 1 | Barricade and fencing | 50 | l.f. | \$25.00 | \$1,250 | |
| 1 | Maintenance and removal of protection | 16 | hours | \$90.00 | \$1,440 | |
| C. | Concrete Ramp and Landing | | | | | |
| 1 | Ramp slab with formcore fill | 290 | s.f. | \$35.00 | \$10,150 | |
| 2 | Exposed ramp wall | | | | | |
| | a. Ramp | 21 | s.f. | \$75.00 | \$1,575 | |
| | b. Epoxy dowels into existing Slab | 11 | each | \$150.00 | \$1,650 | |
| D. | Interior Construction | | | | | |
| 1 | Rated drywall partitions | 240 | s.f. | \$8.00 | \$1,920 | |
| 2 | Pair of rated doors and frames | 2 | each | \$3,500.00 | \$7,000 | |
| 3 | Patch dis-jointed walls | 2 | locatio | \$820.00 | \$1,640 | |
| 4 | Patch & repair ceiling at rated walls | 16 | l.f. | \$20.00 | \$320 | |
| E. | Miscellaneous Metals | | | | | |
| 1 | Free standing | 21 | l.f. | \$200.00 | \$4,200 | |
| 2 | Wall mounted | 30 | l.f. | \$75.00 | \$2,250 | |
| F. | Painting | | | | | |
| 1 | Allowance for painting rails | 1 | allow | \$640.00 | \$640 | |
| 2 | Clean existing brick walls | 1,422 | s.f. | \$1.00 | \$1,422 | |
| 3 | Paint HM door and frame | 2 | each | \$120.00 | \$240 | |
| G. | Electrical | | | | | |
| 1 | Exit sign | 2 | each | \$500.00 | \$1,000 | |
| 2 | Revised lighting | | | | None | |
| 3 | FA devices (pulls, horn & strobes) | 1 | allow | \$1,260.00 | \$1,260 | |
| | Subtotal Construction | | | | | \$40,053 |
| H. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$40,053 | \$4,005 | |
| 2 | Contractor Overhead & Profit | 8% | | \$44,058 | \$3,525 | |
| 3 | Contingency | 15% | | \$47,583 | \$7,137 | |
| | Total Construction Estimated Cost | | | | | \$54,720 |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Whittier Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|---|----------|-----------|------------|----------------------|-------|
| WH2 | Install a Elevator Addition for ADA Access | | | | | |
| A. | Demolition | | | | | |
| 1 | Remove courtyard landscaping | 1 | allow | \$460.00 | \$460 | |
| 2 | Remove curtain wall glazing | 3 | allow | \$820.00 | \$2,460 | |
| 3 | Remove wall mounted lights, speakers, & devices | 1 | allow | \$480.00 | \$480 | |
| 4 | Masonry demolition | | | | See Masonry Below | |
| 5 | Interior Demo | | | | | |
| | a. Remove wood siding and window sills | 3 | locations | \$180.00 | \$540 | |
| | b. Remove ceiling tile | 3 | locations | \$180.00 | \$540 | |
| | c. Strip flooring at elevator threshold | 3 | locations | \$90.00 | \$270 | |
| 6 | Remove fin tube | | | | See Mechancial Below | |
| 7 | Remove debris from Building | 4 | m.h. | \$92.00 | \$368 | |
| 11 | Dumpsters | 2 | each | \$500.00 | \$1,000 | |
| B. | Elevator pit & concrete work | | | | | |
| 1 | Excavation for pit & footing | 74 | c.y. | \$25.00 | \$1,859 | |
| 2 | Elevator pit allowance | 1 | allow | \$8,000.00 | \$8,000 | |
| 3 | Equipment room & vestibule foundation | 33 | l.f. | \$275.00 | \$9,075 | |
| 4 | Waterproofing allowance | 198 | s.f. | \$6.00 | \$1,188 | |
| 5 | Backfill | 37 | c.y. | \$25.00 | \$930 | |
| C. | Masonry | | | | | |
| 1 | Create openomg in exterior brick wall | | | | | |
| | a. Scaffolding | 3 | floor | \$920.00 | \$2,760 | |
| | b.Remove bricks and tooth jambs | 3 | floor | \$1,640.00 | \$4,920 | |
| | c. Modify existing parapets for new addition | 1 | allow | \$1,640.00 | \$1,640 | |
| 2 | Elevator shaft | | | | | |
| | a. 8" CMU shaft partition | 150 | s.f. | \$14.00 | \$2,100 | |
| | b. Brick cavity wall at Equipment Rm & Vestibule | 525 | s.f. | \$50.00 | \$26,250 | |
| | c. Brick cavity wall at Lobbies & shaft | 945 | s.f. | \$50.00 | \$47,250 | |
| | f. Modify parapet | 15 | l.f. | \$100.00 | \$1,500 | |
| | g. Override penthouse allowance | 150 | s.f. | \$50.00 | \$7,500 | |
| D. | Structural for elevator lobbies | | | | | |
| 1 | Slab on grade for shaft and Equip. room | 170 | s.f. | \$8.00 | \$1,360 | |
| 3 | Equipment room & shaft roof decks | 150 | s.f. | \$35.00 | \$5,250 | |
| 4 | Structural deck connection to existing building | 4 | each | \$1,500.00 | \$6,000 | |
| F. | Roofing | | | | | |
| 1 | Built up roofing and insulation | 150 | s.f. | \$25.00 | \$3,750 | |
| 2 | Flashing & connection to existing | 50 | l.f. | \$65.00 | \$3,250 | |
| G. | Custom elevator allowance | 1 | each | \$100,000 | \$100,000 | |
| H. | Exterior doors and windows | | | | | |
| 1 | Exterior HM door at Equipment Room | 1 | allow | \$1,200 | \$1,200 | |
| 2 | Modify the existing window systems | 3 | locations | \$2,520 | \$7,560 | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
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| | | | | | | |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Whittier Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|---|----------|-----------|------------|----------|------------------|
| WH2 | Install a Elevator Addition for ADA Access | | | | | |
| I. | Interior Construction | | | | | |
| 1 | Miscellaneous Metels | | | | | |
| | a. Miscellaneous metal ladder & threshold | 1 | allow | \$1,200.00 | \$1,200 | |
| 2 | Drywall Partitions | | | | | |
| | a. Miscellaneous patching | 1 | allow | \$920.00 | \$920 | |
| 3 | ACT Ceiling | | | | | |
| | a. Re-install ACT ceiling at 2nd & 3rd floor | 2 | each | \$230.00 | \$460 | |
| | b. Re-work window well at 1st floor | 1 | allow | \$1,940.00 | \$1,940 | |
| J. | Interior Finishes | | | | | |
| 1 | Flooring | | | | | |
| | a. VCT floor repairs | 3 | locations | \$560.00 | \$1,680 | |
| | b. Elevator flooring | 1 | allow | \$500.00 | \$500 | |
| | c. 4" wall base | 30 | l.f. | \$3.50 | \$105 | |
| | f. Sealed concrete floor in equipment room | 55 | s.f. | \$1.50 | \$83 | |
| 2 | Painting | | | | | |
| | a. Paint CMU | 360 | s.f. | \$1.20 | \$432 | |
| | b. Paint - touch up and chalking | 1 | allow | \$920.00 | \$920 | |
| | c. Paint ceiling & window well at 1st floor | 1 | allow | \$920.00 | \$920 | |
| K. | HVAC Modification | | | | | |
| 1 | Heating & exhaust for elevator equipment room | 1 | allow | \$4,000.00 | \$4,000 | |
| 2 | Elevator shaft exhaust | 1 | allow | \$1,500.00 | \$1,500 | |
| 3 | Modify 2nd & 3rd floor fin tube & covers | 2 | each | \$3,080.00 | \$6,160 | |
| 4 | Modify 1st floor fin tube & covers at curtain walls | 1 | each | \$3,840.00 | \$3,840 | |
| L. | Electrical | | | | | |
| 1 | Power to elevator | | | | | |
| | a. Modify existing switchgear or MDP | 1 | allow | \$20,000 | \$20,000 | |
| | b. New panels | 1 | allow | \$8,000.00 | \$8,000 | |
| | c. Final connections, trim out, and testing | 1 | allow | \$2,000.00 | \$2,000 | |
| 2 | Revise lighting for elevator lobby | 3 | each | 1,640.00 | \$4,920 | |
| 3 | Lighting and electrical device in shaft | 1 | allow | 500.00 | \$500 | |
| 4 | Lighting and convenience power in equipment room | 1 | each | 1,260.00 | \$1,260 | |
| M. | Fire Alarm & Communication Connections | 1 | allow | \$3,680.00 | \$3,680 | |
| 1 | Security cameras | | | | NIC | |
| 2 | Exterior speaker | | | | None | |
| | Subtotal | | | | | \$314,479 |
| N. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$314,479 | \$31,448 | |
| 2 | Contractor Overhead & Profit | 8% | | \$345,927 | \$27,674 | |
| 3 | Contingency | 15% | | \$373,602 | \$56,040 | |
| | Total Construction Estimated Cost | | | | | \$429,642 |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Whittier Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|--|----------|-------|----------------------|----------|------------------|
| WH3 | Remove Two Stairs and Provide Two ADA Ramp at Second Floor Corridor | | | | | |
| A. | Selective Demolition | | | | | |
| 1 | Remove existing handrails | 2 | hours | \$90.00 | \$180 | |
| 2 | Remove existing flooring & demo steps | 2 | allow | \$1,840.00 | \$3,680 | |
| 3 | Remove 1st Floor ceilings & lighting Corridor 110C | 350 | s.f. | \$2.00 | \$700 | |
| 4 | Remove floor structure | | | See Structural Below | | |
| 5 | Deposal of material | 4 | loads | \$500.00 | \$2,000 | |
| B. | Protection | | | | | |
| 1 | Barricade and fencing (2nd & 1st Floors) | 32 | l.f. | \$25.00 | \$800 | |
| 1 | Maintenance and removal of protection | 16 | hours | \$85.00 | \$1,360 | |
| C. | Structural work | | | | | |
| 1 | Remove concrete floor structural | 2 | allow | \$3,380.00 | \$6,760 | |
| 2 | Deposal of concrete material | 8 | loads | \$500.00 | \$4,000 | |
| 3 | New steel floor structure | 2 | allow | \$9,360.00 | \$18,720 | |
| 4 | Ramp deck | 350 | s.f. | \$35.00 | \$12,250 | |
| D. | Interior Construction | | | | | |
| 1 | First floor ceiling | 350 | s.f. | \$10.00 | \$3,500 | |
| 2 | New wood paneling partitions at ramps | 1,050 | s.f. | \$12.00 | \$12,600 | |
| 2 | Exposed wall surfaces at ramp side | 23 | s.f. | \$12.00 | \$270 | |
| 3 | Hand rails | | | | | |
| | a. Wall mounted | 72 | l.f. | \$75.00 | \$5,400 | |
| | b.. Free standing | 17 | l.f. | \$275.00 | \$4,675 | |
| E. | Interior Finishes | | | | | |
| 1 | New flooring | 350 | s.f. | \$5.00 | \$1,750 | |
| 2 | New wall base | 85 | l.f. | \$4.00 | \$340 | |
| 3 | Stain walls | 700 | s.f. | \$2.50 | \$1,750 | |
| F. | Electrical | | | | | |
| 1 | Reinstall first floor lighting | 350 | s.f. | \$7.00 | \$2,450 | |
| 2 | Fire alarm and exit devices | 1 | allow | \$1,260.00 | \$1,260 | |
| G. | Allowance for Mechanical & Plumbing conflicts | | | | | |
| | | 350 | s.f. | \$25.00 | \$8,750 | |
| | Subtotal | | | | | \$93,195 |
| | | | | | ===== | |
| | Subtotal Construction | | | | | \$93,195 |
| H. | General Requirements | | | | | |
| 1 | General Conditions | 10% | | \$93,195 | \$9,320 | |
| 2 | Contractor Overhead & Profit | 8% | | \$102,515 | \$8,201 | |
| 3 | Mobilization, Temp Protection, Non-productive Lab | 15% | | \$110,716 | \$16,607 | |
| | Total Construction Estimated Cost | | | | | \$127,323 |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Whittier Elementary School

Preliminary

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|-----|--|----------|-------|------------|--------------------|-----------------|
| WH4 | Create Six Areas of Rescue Assistance at Second and Third Floor Stairwells | | | | | |
| A. | Demolition and Prep | | | | | |
| 1 | Temporary barricades | 30 | l.f. | \$25.00 | \$750 | |
| 2 | Remove Existing Ceiling | 120 | s.f. | \$2.00 | \$240 | |
| 3 | Remove hallway partition & pair | 3 | allow | \$920.00 | \$2,760 | |
| 4 | Remove lockers | 4 | each | \$45.00 | \$180 | |
| 5 | Remove debris from Building | 8 | m.h. | \$92.00 | \$736 | |
| 6 | Dumpsters | 2 | each | \$500.00 | \$1,000 | |
| 7 | Clean up & house keeping | 1 | allow | \$360.00 | \$360 | |
| B. | Interior Construction | | | | | |
| 1 | Rated Hallway HM Frame / Pair HM Door / Hardware | 3 | pair | \$2,800.00 | \$8,400 | |
| 2 | Rated hallway partition | 450 | s.f. | \$10.00 | \$4,500 | |
| 3 | Repair wall at dis-jointed partitions | 3 | allow | \$920.00 | \$2,760 | |
| 4 | Infill locker recesses | 90 | s.f. | \$7.00 | \$630 | |
| 5 | Repair ceiling at removed walls | 120 | s.f. | \$12.00 | \$1,440 | |
| 6 | 6" x 9" Signs | 10 | each | \$50.00 | \$500 | |
| C. | Painting and Finishes | | | | | |
| 1 | Paint walls | 540 | s.f. | \$1.00 | \$540 | |
| 2 | Paint Ceiling | 120 | s.f. | \$2.00 | \$240 | |
| 4 | Paint HM Pair Frame | 3 | each | \$120.00 | \$360 | |
| 4 | Repair flooring | 3 | allow | \$1,220.00 | \$3,660 | |
| D. | HVAC | | | | | |
| E. | Plumbing | | | | | |
| F. | Electrical | | | | | |
| 1 | Modify existing Lighting & exit signs | 6 | allow | \$1,360.00 | \$8,160 | |
| 2 | Fire Alarm | | | | Existing to Remain | |
| 3 | Two Way Communications "Box" | 6 | each | \$500.00 | \$3,000 | |
| 4 | Tie Into Existing Two Way System in Building | 6 | each | \$1,500.00 | \$9,000 | |
| 5 | Low Voltage Power to Door Hold Opens | 3 | each | \$2,500.00 | \$7,500 | |
| 6 | Connect hold opens to FA | 3 | each | \$2,500.00 | \$7,500 | |
| G. | Fire Protection | | | | | |
| | Subtotal Total Estimated Budget | | | | | \$64,216 |
| H. | General Requirements | | | | | |
| 1 | General Conditions | 15% | | \$64,216 | \$9,632 | |
| 2 | Contractor Overhead and Profit | 8% | | \$73,848 | \$5,908 | |
| 3 | Contingency | 10% | | \$79,756 | \$7,976 | |
| | Total Estimated Budget | | | | | \$87,732 |

SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations
Whittier Elementary School

STR CONSULTING

350 West Ontario Street, Suite 200
Chicago, Illinois 60654

Preliminary

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

| No. | Description | Quantity | Unit | Unit Price | Amount | Total |
|------------|---|----------|---------|------------|----------|-------|
| WH1 | Option Two - Addition with Exterior ADA Access Ramp to Multipurpose Room | | | | | |
| A. | Selective Demolition | | | | | |
| 1 | Remove wall mounted devices | 2 | hours | \$90.00 | \$180 | |
| 2 | Remove paving | 800 | s.f. | \$8.00 | \$6,400 | |
| 3 | Salvage existing window for re-use in Addition | 4 | each | \$205.00 | \$820 | |
| 4 | Remove doors | 4 | leafs | \$120.00 | \$480 | |
| B. | Protection | | | | | |
| 1 | Barricade and fencing | 800 | l.f. | \$10.00 | \$8,000 | |
| 2 | Maintenance and removal of protection | 40 | hours | \$90.00 | \$3,600 | |
| C. | Excavation and Concrete | | | | | |
| 1 | Clean and compact foot print | 600 | s.f. | \$2.00 | \$1,200 | |
| 2 | Excavation for footing | 57 | c.y. | \$20.00 | \$1,138 | |
| 3 | Disposal of debris | 3 | loads | \$500.00 | \$1,500 | |
| 4 | Footing | 7 | c.y. | \$250.00 | \$1,806 | |
| 5 | Foundation 12" thick | 10 | c.y. | \$400.00 | \$3,852 | |
| 6 | Slab on grade | 400 | s.f. | \$5.00 | \$2,000 | |
| 7 | Ramp slab | 174 | s.f. | \$8.00 | \$1,392 | |
| D. | Masonry | | | | | |
| 1 | Cut door opening to Multipurpose 103 | 1 | allow | \$1,656.00 | \$1,656 | |
| 2 | Exterior brick cavity walls - Bearing | 1,300 | s.f. | \$50.00 | \$65,000 | |
| | Modify existing windows opening for ramp | 4 | each | \$920.00 | \$3,680 | |
| 3 | Patch and trim existing masonry walls | 1 | allow | \$1,656.00 | \$1,656 | |
| E. | Roof structure | 400 | s.f. | \$30.00 | \$12,000 | |
| F. | Roofing | | | | | |
| 1 | Single ply roof with insulation | 400 | s.f. | \$18.00 | \$7,200 | |
| 2 | Connection to existing building | 67 | l.f. | \$65.00 | \$4,355 | |
| G. | Windows and Doors | | | | | |
| 1 | Exterior storefront pair of entry door with sidelights | 1 | each | \$4,500.00 | \$4,500 | |
| 2 | Re-install existing exterior windows | 4 | each | \$836.00 | \$3,344 | |
| 3 | HM door & frame to Room 103 | 1 | each | \$1,200.00 | \$1,200 | |
| 4 | Modify windows in Corridor 170H for connection | 1 | allow | \$3,840.00 | \$3,840 | |
| 5 | Allowance for interior windows in Classroom 101 | 4 | each | \$840.00 | \$3,360 | |
| H. | Interior Construction | | | | | |
| 1 | Rated drywall partitions | | | | None | |
| 2 | Sills and trim at exterior window | 4 | each | \$480.00 | \$1,920 | |
| 3 | Repair jamb opening at new door to 103 | 1 | locatio | \$460.00 | \$460 | |
| 4 | Patch & repair old window wall in Room 101 | 4 | each | \$480.00 | \$1,920 | |
| 5 | 2x4 ACT ceiling | 400 | s.f. | \$3.75 | \$1,500 | |
| I. | Miscellaneous Metals | | | | | |
| 1 | Free standing | | | | None | |
| 2 | Wall mounted | 60 | l.f. | \$75.00 | \$4,500 | |
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