

Centennial School District Long Range Facilities Master Plan

School Board Update

February 11, 2026



Agenda

01 Schedule

02 What We've
Done So Far

03 Key Take-Aways

04 Next-Up!
Facility Planning
Workshops

05 Board
Engagements

Schedule

FALL 2025

DATA GATHERING

- ✓ Leadership Interviews
- ✓ Staff Listening Sessions
- ✓ Educational Summit
- ✓ Principal Walk & Talks
- ✓ Educational Evaluations
- ✓ Facility Conditions Reviews

WINTER/SPRING 2026

ENGAGEMENT

Community Listening Sessions

SPRING/FALL 2026

COMMUNITY-BASED FACILITY PLANNING WORKSHOPS

Spring
Workshops 1 - 3
Fall
Workshops 4 - 6

WINTER 2027

PLAN ACCEPTANCE

School Board Review & Vote

SPRING 2028

POTENTIAL BOND MEASURE

What has been happening?

Data Collection, Listening, and Lots of Walking...

- District Leadership Listening Sessions
- All-Staff Listening Sessions by School
- Educational Summit
- Principal Walk and Talks
- Educational Evaluations by School
- Facility Conditions Assessments Review



PLEASANT VALLEY ES



MEADOWS ES



CENTENNIAL MS



CENTENNIAL VIRTUAL ACADEMY (@ CHS)

Educational Summit

Key Take-Aways

Our work should help Centennial create
ASPIRATIONAL LEARNING ENVIRONMENTS

HUMAN-CENTERED

- responsive, caring, safe

EQUITABLE AND INCLUSIVE

- accessible, diverse, culturally aware

EMPOWERING AND GROWTH-ORIENTED

- challenge with support, agency, voice

CREATIVE AND JOYFUL

- imaginative, expressive, meaningful

COMMUNITY-DRIVEN

- connection, collaboration, belonging



Leadership Listening Sessions

Key Take-Aways

- ***Lots of Share Spaces***
 - Transportation/Food Services
 - Classrooms/Support Services
 - Afterschool and School Spaces
 - Pre-Kinder and Big kids
- ***Lack of Privacy***
 - Meeting spaces for small, medium, and large groups
- ***Spaces Needed to Support Staff***
 - Continued Education
 - Training Spaces



All-Staff Listening Sessions

Common Themes

- *Furniture Updates*
 - Flexible, moveable, adjustable
 - Right-sized furniture
- *Building Maintenance*
 - Aged restrooms
 - Doors, doors, doors
- *Interior Environments Improvements*
 - Air Conditioning
 - Daylighting
 - Fresh-air
- *Technology Alignment*
 - Tech that works with support
 - Training



Principal Walk and Talks *Some Examples*

- **Security First**
 - Better exterior lighting: dark areas and lighting fixes
 - Operable windows
- **Common refrain: “*My students would say...*”**
 - Refresh the restrooms
 - Improve our playgrounds
- **Specific Quotes**
 - “Outdoor Learning areas need to have seating”
 - “*Safety is my number 1 priority*”
 - “Need to recognize the dignity of independent movement” (re: *accessibility*)
 - “How do we set up a school in a direction the world is moving?”
 - “Partners are in *non-therapeutic* environments”



Educational Assessment

Sample Site

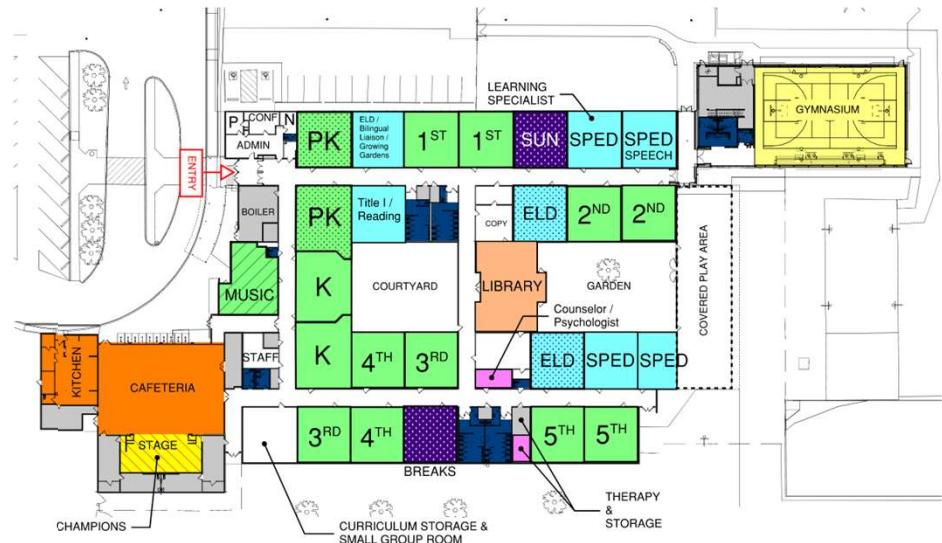
- *Patrick Lynch Elementary School*
 - Site map
 - Program Plan
 - Evaluation Sheet

**Centennial School District
PATRICK LYNCH Elementary School**

DLRGROUP

SCORING:  4 Functions existing
3 Functions with good enough condition to support
2 existing functionality; doesn't support
1 exists; does not function needs to be replaced
0 does not exist, but is needed

BUILDING DATA		Single Level	
Site Area	16.33	Building Area	1,800 SP
Construction Year	1960, Type VB	Additions/History	933, 1952, 1962, 1975, 1980, 1995, 2023, 2024
Other			
Map#	Description	Score	Comments
Considered for overall facility			
SECURITY - BUILDING & SITE			
Building Entry and Sequence	Are there appropriate and clear from the building to the parking? Can you get from building to the door protected from elements?	3	Covered entry and covered porch; some issues with separation from existing mass
Site Access	Patrols/Block entrancs & pick-up space for separation of cars, bus stops, ADA, access for community meetings & events.	2	Single entry to site often backs up into neighborhood with limited on-site parking
Building Security	Secure Vehicle for Building entry, Internal zones of security, and perimeter security.	3	Upgraded entry per summer maintenance project 2025.
Exterior/Interior Doors	Doors are functioning and in good repair. Doors are secured and locked either manually or electronically.	2	Many operational problems noted by staff principal
Site Security	Safe or secure perimeter. Minimum entry points with good visibility & lighting.	3	Incomplete visual block at perimeter w/ adjacent properties.
Wardining	Interior signage present or multiple languages for students, parents & visitors.	1	None-observed.
Internal Supervision	The building has good sightlines and connections to the exterior & to places of assembly. Safe places/rooms to support social and community relations & create a safe environment.	2	Numerous long hallways, enclosed restrooms. Connections between spaces are often closed w/ no interior windows.
Community Connections	Campus provides for community use.	1	Gymnasium is at the back of the site where access is limited. No community entry to building.
		17 total	2.325 Section Average
Considered for overall facility			



Patrick Lynch ES - Sample Program Plan

- 12 Core Classrooms
- 2 Pre-K Rooms
- 9 Classrooms Utilized for Support Programs & Services

Physical Needs Assessment

Warm, Safe, & Dry

- *Currently identified needs list exceeds \$52 million*
- **Next Steps**
 - *Identify Must-Do Work*
 - *Create a “Tier-List” of Target Projects*
 - *Identify “Maintenance” or annual budgeted work*
 - *Correlate Needs list with LRFMP*

Centennial School District		rywells to be jetted and restored	\$55,000
OSCN / TAP Grant Observations (2024/25)		100% new	
Revised 2-3-26 (prior to district voting)		\$585,000	\$20,000
		\$1,250,000	370,000
SITES		\$200,000	\$90,000
Centennial HS & Stadium		\$8,575,000	\$10,000
Exterior Doors		\$170,000	\$2,550,000
Stadium exterior doors and frames are all rusted and deteriorated		\$30,000	360,000
About 30% of the built-up roofing is ready for replacement; this should include the stadium roof		\$4,870,000	\$60,000
Roofs		\$25,000	\$50,000
Concrete slats at exterior entry points and at stadium need patched and coated due to minor breakage and deterioration		\$3,000	\$60,000
Stairs		\$170,000	\$15,000
Furnishings		\$220,000	\$320,000
Stadium benches need replaced due to deteriorated conditions		\$170,000	\$15,000
There are concrete tilt walls at the back side that need to be grouted/repaired, and painted or sealed.		\$80,000	\$35,000
Siding		\$460,000	\$15,000
Windows		\$65,000	\$15,000
About 30% of the carpet and 20% of the VCT needs to be pulled and replaced. Most common areas done in the 2000 bond.		\$650,000	\$15,000
Floors		\$60,000	\$15,000
Lay-in ceiling tiles stained in multiple locations - needing a lot of replacement tiles. There are some areas in the rear wings that appear to need seismic bracing		\$300,000	\$15,000
Ceilings		\$140,000	\$15,000
Drives need pulled and replaced, most parking lots ok with some strategic replacement; many walks have heaving sections needing pulled and replaced. Integral storm systems to be reset at these locations and flushed to prevent further ponding. Sub-grade appears ok in most cases.		\$1,465,000	\$15,000
Parking / Paving		\$160,000	\$220,000
Storm Systems		\$25,000	\$220,000
Basement Walls		\$270,000	\$220,000
			\$235,000
The boilers are unreliable and air handlers at the end of useful life. Most in-room units were previously serviced. The centralized plant needs replacement. There are sections of sanitary piping around the kitchen and adjacent restrooms that is failing and needs replacement. Much of this is in tunnels. The electrical service and branch paneling is outdated and needs replacement		\$2,200,000	\$28,000
Mech/Elec/Plumb		\$260,000	\$610,000
Site Water Supply		\$925,000	\$90,000
The lighting does not meet the district standard for LED and should be replaced		\$430,000	\$90,000
Lighting		\$700,000	\$90,000
Most of the lighting does not meet the district standard for LED and should be replaced		\$380,000	\$90,000
Casework		\$150,000	\$90,000
Modest casework needs (10%) due to some delamination and broken components		\$3,910,000	\$120,000
			\$185,000
SITE TOTAL RECOMMENDED BUDGET		\$13,588,000	185,000
Centennial MS			
Some doors w/frames are separating and rusting out toward rear and end wings of school - full replacement of 20% doors/frames		\$125,000	\$1,220,000
Exterior Doors		\$35,000	789,000
Roofs		\$2,900,000	732,000
About 50% of the built-up roofing is ready for replacement			321,000
Stairs			
Furnishings		\$330,000	
			\$2,825,000
Siding		\$300,000	\$120,000
All composite siding (most notably on front of school) is split, swollen, and pulling away; minor damage to aluminum siding in courtyard		\$20,000	\$3,510,000
Windows		\$75,000	2028-2030
Multiple windows in classroom wings fogged, seals failing; many are just single pane		\$35,000	is (above),
Floors		\$540,000	little at OHM
About 50% of carpet and 50% of VCT have visible damage		\$580,000	
Ceilings		\$35,000	
About 20% of lay-in ceiling tiles are stained or sagging or broken			
Multiple areas showing delamination at front and rear lot with minor cracks at drives. Remove and replace pavement at parking and sealcoat drives.			
Parking / Paving		\$600,000	
Some back-up at paved areas. Drywells were jetted, so may require drywell replacement.		\$180,000	\$410,000
Storm Systems		\$395,000	\$75,000
			\$910,000
Exterior Doors		\$25,000	\$360,000
Some doors w/frames are separating and rusting out toward rear of school - full replacement of 20% doors/frames		\$40,000	\$480,000
Parking / Paving			
Replace/replacement to not (including) sub-grade			

Facilities Planning/Advisory Committee



Workshop 1

03.05.2026

- *Introduction*
- *Data Review*
- *Visioning & Goal Setting*



Workshop 2

04.02.2026

- *Leading with Equity*
- *How Students Learn Best*
- *Future-forward Education*



Workshop 3

04.30.2026

- *Big Ideas Brainstorming*



Workshop 4

10.01.2026 tentative

- *Scenario Planning*



Workshop 5

11.05.2026

- *Master Plan Options*
- *Prioritization*



Workshop 6

12.03.2026

- *Master Plan Refinement*
- *Confirmation*

Next up!

The Facility Planning Committee shall include parent and staff representatives from every school, personally invited under-representative affinity group members, district staff, and other representatives of various community stake-holder groups.

Next Board Engagement

Summer 2026 – Board Work Session

Objective: *Update on Process and Findings, Facilities Advisory Committee Work, and Emerging Outcomes*



Thank you!

