



## **Town Building Committee for BRS Capital Projects** **Friday, November 3rd 2023 (hybrid meeting)**

### **Meeting Minutes**

The following committee members were present: Sheila McCreven (BOS), Donavon Lofters (BOF), Jeff Hughes (WBOE). The following were also present: Tony Genovese (Town Administrative Officer and Director of Finance), Lynn Piascyk (WBOE Chairman), Vonda Tencza (WSD Superintendent), Donna Coonan (WSD Director of Business Services and Operations), David Stein (SP&A), Enzo Chiarelli (SP&A), Joseph Lenahan and Daniel Chiburis (F&O).

Chairman Sheila McCreven called the meeting to order at 8:38am.

On a motion by Jeff, seconded by Donavon, the committee voted unanimously to approve the previous meeting's minutes.

Sheila welcomed everyone and asked David to begin the presentation of construction document schematics and budget materials related to the roofing portion of the project for the committee's consideration. He noted that this will be a full roof replacement for the areas included in the project, which are past their useful life and now beyond warranty – key requirements for maximizing state reimbursement for the project.

The project plans as presented include safety enhancements such as a ladder between roof elevations, secondary drains, pitching of roof segments to meet current requirements, and the addition of 5" of insulation that will improve energy savings. He also answered several questions from committee members regarding the project plans and cost estimates, noting that the cost of approximately \$1.4mn calculates out to roughly \$37 per square foot, and that the new roof sections will have a 20-year warranty.

On a motion by Jeff, seconded by Donavon, the committee voted unanimously to recommend to the BOS for its consideration the plan and cost estimate materials as presented (attachment A). Upon approval by the BOS, David's team is prepared to submit the project to the state.

David then provided a brief overview of the timeline and stated that the project is on or slightly ahead of schedule and noted that among upcoming key dates he expects to have a contractor onboard by the end of March so work can begin on schedule as the close of the school year approaches.

Joe and Enzo then walked the committee through a detailed overview of current grounds conditions, including an update on 30 areas of concern that had been noted in the 2011 F&O report, as well as 17 additional areas of concern added as of 2023. The committee agreed that next steps for this portion of the project will be for the WBOE team to meet to determine scope and sequence preferences, and then the TBC will meet to receive these recommendations in the form of project plans and cost estimates so these can be considered for forwarding to the BOS for action in tandem with the annual capital budget requests in January 2024.

The committee will set its next meeting date once the WBOE has had a chance to complete its consideration and finalize its recommendations.

On a motion by Jeff, seconded by Donavon, the committee voted unanimously to adjourn its meeting at 9:53am.

Beecher Road Elementary School Partial Roof Replacement							19-Oct-23					
40 beecher Road. Woodbridge, Connecticut 06525							JOB NO:23.108					
Owner: Town of Woodbridge												
OPINION OF PROBABLE CONSTRUCTION COST				EPDM ROOF MEMBRANE		CT STATE PROJECT #						
34,860 (SQURE FEET)												
SECTION NUMBER	WORK CATEGORIES	QTY.	UNIT	MATERIAL COST		LABOR COST		ALLOWANCE	TOTAL \$	CT INELIGIBLE		
				UNIT \$	TOTAL	UNIT \$	TOTAL					
<b>OTHER COSTS</b>												
	STATE PERMIT FEE (.26 PER 1,000)	1	LS				\$390		\$390	\$390		
<b>OTHER SUB-TOTAL</b>								\$390		TOTAL: \$390		
<b>DIVISION TWO</b>												
	DUMPSTERS	15	EA	\$1,000.00	\$15,000				\$15,000	\$0		
	EXISTING ROOF INSULATION	34,860	SF		\$0	\$0.50	\$17,430		\$17,430	\$0		
	DEMO - WOOD BLOCKING	1,400	LF	\$0.00	\$0	\$5.00	\$7,000		\$7,000	\$0		
	CRANE RENTAL (UNIT LIFTING)	1	LS				\$15,000		\$15,000	\$0		
	DEMO - METAL FLASHING	1,800	LF			\$4.00	\$7,200		\$7,200	\$0		
<b>DIVISION TWO SUB-TOTAL</b>								\$61,630		TOTAL: \$0		
<b>DIVISION FIVE</b>												
	METAL FLASHING	1,800	LF	\$15.00	\$27,000	\$9.00	\$16,200		\$43,200	\$0		
	SAW CUTTING FOR REGLETS & METAL	1,000	LF	\$4.45	\$4,450	\$4.00	\$4,000		\$8,450	\$0		
	5% TOTAL DECK REPLACEMENT ALLOWANCE	1	EA				\$10,000	\$	10,000	\$10,000		
<b>DIVISION FIVE SUB-TOTAL</b>								\$61,650		TOTAL: \$10,000		
<b>DIVISION SIX</b>												
	PERIMETER WOOD BLOCKING	6,800	BF	\$3.00	\$20,400	\$2.00			\$20,400	\$0		
	MECH. UNIT WOOD BLOCKING	1,500	BF	\$3.50	\$5,250	\$2.00	\$3,000		\$8,250	\$0		
<b>DIVISION SIX SUB-TOTAL</b>								\$	28,650	TOTAL: \$0		
<b>DIVISION SEVEN</b>												
	BASE LAYER INSULATION (5" THICK)	34,860	SF	\$3.00	\$104,580	\$2.00	\$69,720		\$174,300	\$0		
	TAPERED INSULATION INSULATION (1/4")	34,860	SF	\$3.00	\$104,580	\$3.50	\$122,010		\$226,590	\$0		
	COVERBOARD	34,860	SF	\$1.50	\$52,290	\$2.00	\$69,720		\$122,010	\$0		
	EPDM ROOFING MEMBRANE	34,860	SF	\$3.00	\$104,580	\$3.25	\$113,295		\$217,875	\$0		
	METAL ROOF STAIR	1	LS	\$6,000			\$6,000		\$12,000	\$0		
	VENT STACKS	20	EA	\$25.00	\$500	\$60.00	\$1,200		\$1,700	\$0		
	PITCH POCKET	25	EA	\$25.00	\$625	\$25.00	\$625		\$1,250	\$0		
	WALKWAY PADS	2,500	SF	\$2.00	\$5,000	\$4.00	\$10,000		\$15,000	\$0		
	RAISE EXISTING GAS PIPE/ ELECTRICAL CONDU	1	LS	\$5,000			\$20,000		\$25,000	\$0		
	RAISE EXISTING MECHANICAL UNIT	3	EA	\$5,000	\$15,000	\$15,000	\$45,000		\$60,000	\$0		
	SEALANTS	1	LS	\$2,000			\$2,000		\$4,000	\$0		
	MISC ROOF ACCESSORIES	1	LS	\$2,500			\$2,500		\$5,000	\$0		
	ADHESIVES	1	LS	\$2,500			\$2,500		\$5,000	\$0		
<b>DIVISION SEVEN SUB-TOTAL</b>								\$869,725		TOTAL: \$0		
<b>DIVISION FIFTEEN</b>												
	ROOF DRAIN & SUMP	14	EA	\$400.00	\$5,600	\$300.00	\$4,200		\$9,800	\$0		
	SECONDARY ROOF DRAIN & SUMP	14	EA	\$400.00	\$5,600	\$300.00	\$4,200		\$9,800	\$0		
<b>DIVISION FIFTEEN SUB-TOTAL</b>								\$19,600		TOTAL: \$0		
CONSTRUCTION COST PER SQUARE FOOT = \$37.35												
									SUBTOTAL =	\$1,041,645	TOTAL: \$10,390	
									GEN. CONDITIONS	10.00%	\$104,165	\$831
									OVERHEAD & PROFIT	15.00%	\$156,247	\$1,247
									Subtotal		\$1,302,056	
									<b>CONSTRUCTION TOTAL =</b>	<b>\$1,302,056</b>	TOTAL: \$12,468	
									A/E FEES =	\$61,109	\$488	
									ENVIRONMENTAL FEE	\$0	\$0	
									CONTINGENCY = .5%	\$65,103	\$65,103	
									<b>GRAND TOTAL</b>	<b>\$1,428,268</b>	TOTAL: \$78,058	



**SILVER PETRUCCELLI + ASSOCIATES**

3190 WHITNEY AVENUE HAMDEN CT 06518  
 311 STATE STREET NEW LONDON CT 06320  
 203 230 9007 silverpetrucci.com

PROJECT NAME: \_\_\_\_\_

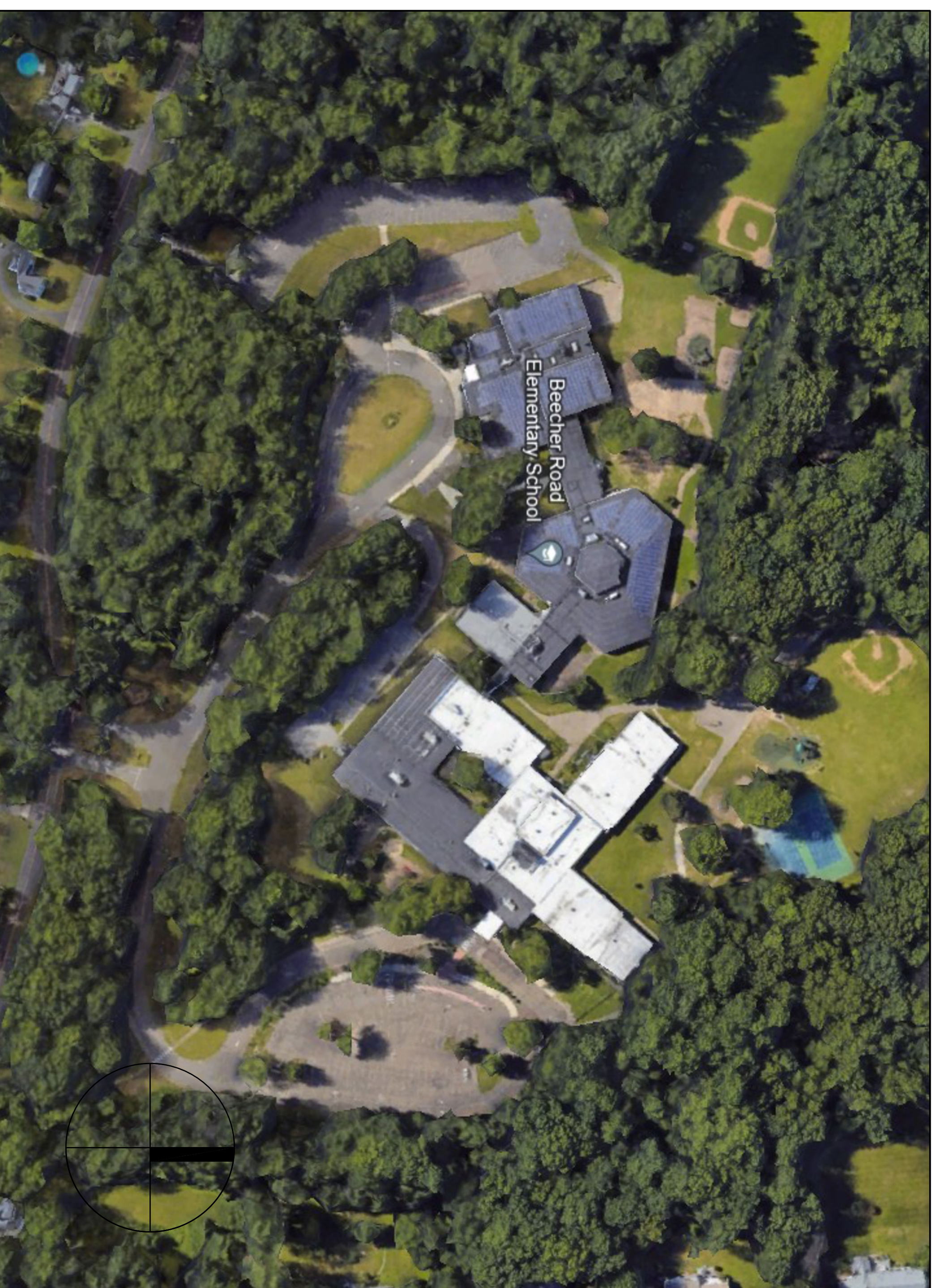
PARTIAL ROOF REPLACEMENT AT:

# BEECHER ROAD ELEMENTARY SCHOOL

40 BEECHER ROAD.

WOODBIDGE, CONNECTICUT 06525

PROJECT LOCATION: \_\_\_\_\_



## DRAWING LIST

COVER SHEET

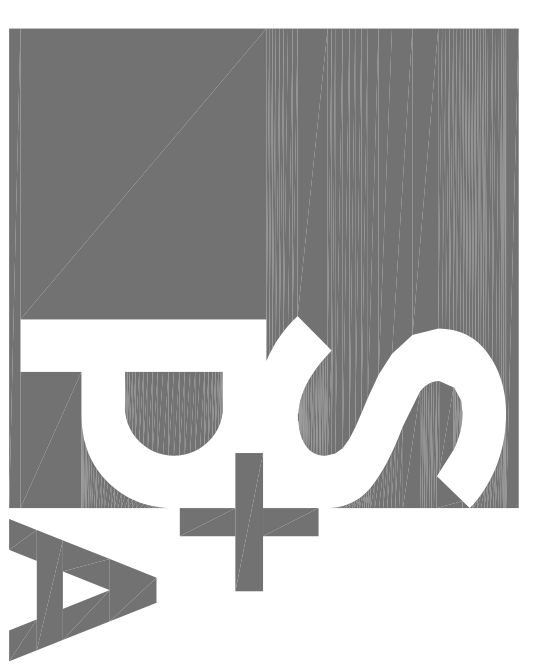
ARCHITECTURAL:

C1 CODE INFORMATION  
A1 OVERALL ROOF PLAN  
A2 ROOF PLAN PART "1"  
A3 ROOF DETAILS

ARCHITECT  
SILVER PETRUCELLI & ASSOC.  
3190 WHITNEY AVENUE, HAMDEN CT 06518  
311 STATE STREET NEW LONDON, CT 06320  
PHONE 203 230 9007 silverpetrucelli.com

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CONSTRUCTION DOCUMENT SUBMISSION: 10/19/2023

**SYMBOL LEGEND**

- PLAN SECTION DETAIL OR ELEVATION - SHEET NUMBER
- INDICATES SLOPE DIRECTION OF SLOPED STRUCTURAL DECK
- TAPERED INSULATION GROMMET SLOPED @ 2 PER FOOT
- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH
- NOT IN CONTRACT SCOPE
- WALKWAY PADS - SEE CONSTRUCTION NOTE #2
- EXISTING ROOF DRAIN TO BE REMOVED - SEE DEMOLITION NOTES.
- NEW ROOF DRAIN TO BE INSTALLED - SEE DETAIL A43
- SECONDARY OVERFLOW ROOF DRAIN - SEE DETAIL B43
- METAL SOPPER w/ COLLECTION BOX - SEE DETAIL C43
- EXISTING VENT STACK - SEE DETAIL E43
- PITCH POCKET - SEE DETAIL F43
- ROOF HATCH - SEE DETAIL G & H43
- SKYLIGHT - SEE DETAIL J43
- NEW METAL STAIRCASE - SEE DETAIL K43
- EXISTING ROOF TOP FAN UNIT - SEE DETAIL L43
- EXISTING MECHANICAL UNIT - SEE DETAIL M43
- EXISTING ROOF TOP MECHANICAL UNIT - SEE DETAIL N43
- EXISTING ROOF TOP FAN UNIT - SEE DETAIL O43
- METAL DOWNSPOUT - SEE CONSTRUCTION NOTE #4
- EXISTING ROOF TOP DUCT WORK - SEE CONSTRUCTION NOTE #5
- EXISTING GAS PIPING - SEE CONSTRUCTION NOTE #6
- EXISTING ELECTRICAL CONDUIT - SEE CONSTRUCTION NOTE #7
- ABANDONED METAL DAMAGE - SEE DEMOLITION NOTE #8
- ABANDONED MECHANICAL CURB - SEE DEMOLITION NOTE #8

**GENERAL NOTES**

1. ALL FLAT ROOFS TO RECEIVE 2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
2. FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
3. ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED EXISTING.
4. ALL WOOD BLOCKING, PL WOOD & WELERS TO BE PRESSURE TREATED (P.T.).
5. ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
6. ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 6" (VERTICAL OR HORIZONTAL).
7. CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/ LEVEL (AFTR DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
8. CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE DAMAGED OR COMPROMISED BY ANY ADDITIONAL COSTS TO OWNERS.
9. CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED SITE AREAS DISTURBED SHALL BE CLEANED & REVEALED. WALKWAY PADS INDICATEDLY TYPED TO REFLECT THE NEW ROOF DECKS TO BE INSTALLED.
10. SETBACKS SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.
11. CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT REMAINS ON THE ROOF SURFACE OF THE BUILDING AND FOR REMOVAL OF ALL DEBRIS TO THE CURB.
12. SMOKE/HEAT OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
13. ALL CHANGES ARE TO BE SCORED @ A MINIMUM OF 2" PER FOOT & COORDINATE CROCKETS AROUND EXISTING STRUCTURE.
14. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & REINSTALLATION OF ALL WALKWAY PADS INCLUDING ANY ELECTRICAL CONDUIT, MECHANICAL UNITS, OR OTHER ITEMS THAT ARE TO REMAIN IN PLACE OR BE EXTENDED OR RELOCATED TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEMS.
15. SMOKE/HEAT OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVES.
16. ALL DRAIN PIPING IS TO BE INSTALLED ABOVE THE CEILING. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
17. NEW ROOF INSULATION TO BE A MINIMUM OF R20 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
18. ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK TO BE REMOVED & REINSTALLED.

**DEMOLITION NOTES**

1. REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" OF RIGID INSULATION DOWN TO EXISTING METAL DECK.
2. REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" BASE LAYER OF POLYISO & 2" TAPERED INSULATION SYSTEM DOWN TO EXISTING METAL DECK.
3. REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
4. REMOVE EXISTING ROOF DRAINS & SUMP.
5. REMOVE & DISPOSE OF EXISTING METAL DAMAGE.
6. REMOVE EXISTING ABANDONED MECHANICAL UNIT CURB PAVCO EXISTING METAL DECK TO MATCH EXISTING. SEE DETAIL Z43

**CONSTRUCTION NOTES**

1. CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT - SEE PROJECT MANUAL.
2. WALKWAY PADS TO BE INSTALLED PER MANUFACTURERS RECOMMENDATION. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION, COORDINATE & FINALIZE EXACT ROUTE W/ OWNER & ARCHITECT.
3. EXISTING ROOF TOP MECHANICAL UNIT - RAISE ENTIRE UNIT MIN. 8" ABOVE HIGH POINT OF NEW ROOF INSULATION. EXTEND ALL DUCTWORK & ELECTRICAL WIRING. SEE DETAIL P43 & PROJECT MANUAL.
4. NEW METAL DOWNSPOUT LOCATION, CONNECT TO EXIST UNDERGROUND PIPING, OR PROVIDE NEW CONCRETE SPLASH BLOCK IF NO UNDERGROUND PIPING EXISTS.
5. EXISTING MECHANICAL UNIT DUCT WORK TO REMAIN. ADOPT ALL STAND-OFFS TO ACCOMMODATE NEW ROOF INSULATION HEIGHT. SEE DETAIL Q43 & PROJECT MANUAL.
6. EXISTING GAS PIPING TO BE DISCONNECTED & RIGID. RAISE EXISTING GAS PIPING AS REQUIRED TO RECONNECT TO EXISTING GAS MAIN. INSTALL ALL EXIST. & NEW GAS PIPING ON NEW PIPE CURBS 24" O.C. PRIME & PAINT ALL EXISTING & NEW GAS PIPING. SEE DETAIL W43 & PROJECT MANUAL.
7. EXISTING ELECTRICAL CONDUIT TO BE DISCONNECTED & RAISED TO ACCOMMODATE NEW ROOF INSULATION HEIGHTS. REMOVE UNNECESSARY CONDUIT & WIRING IN EXIST. COORDINATE NEW ROOFING SYSTEMS TO ACCOMMODATE NEW ROOF HEIGHTS & ADD NEW JUNCTION BOXES AS REQUIRED. SEE DETAIL W43 & PROJECT MANUAL.

**ROOF AREAS**

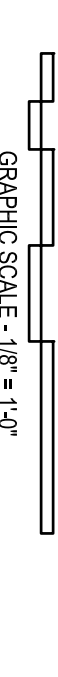
ROOF 'A'	5,480	SF
ROOF 'B'	6,860	SF
ROOF 'C'	21,900	SF
TOTAL ROOF AREAS:	34,860	SF
THIS AREA IS APPROXIMATE. V.I.P.		
THIS AREA IS APPROXIMATE. V.I.P.		
CONNECTED TO ZONE 2B		
CONNECTED TO ZONE 2B		
CRSP REQUIREMENT: 18-30 J40333		

**CODE INFORMATION**

- USE GROUP: E - CLASS 2B
- MINIMUM DESIGN WIND SPEED: 133 MPH
- ULTIMATE DESIGN WIND SPEED: 165 MPH
- NOMINAL DESIGN WIND SPEED: 165 MPH
- FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION HAS CONDUCTED WIND TUNNEL TESTING OF THIS ROOF ASSEMBLY FOR PERFORMER MANUAL PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

**ROOF ASSEMBLY**

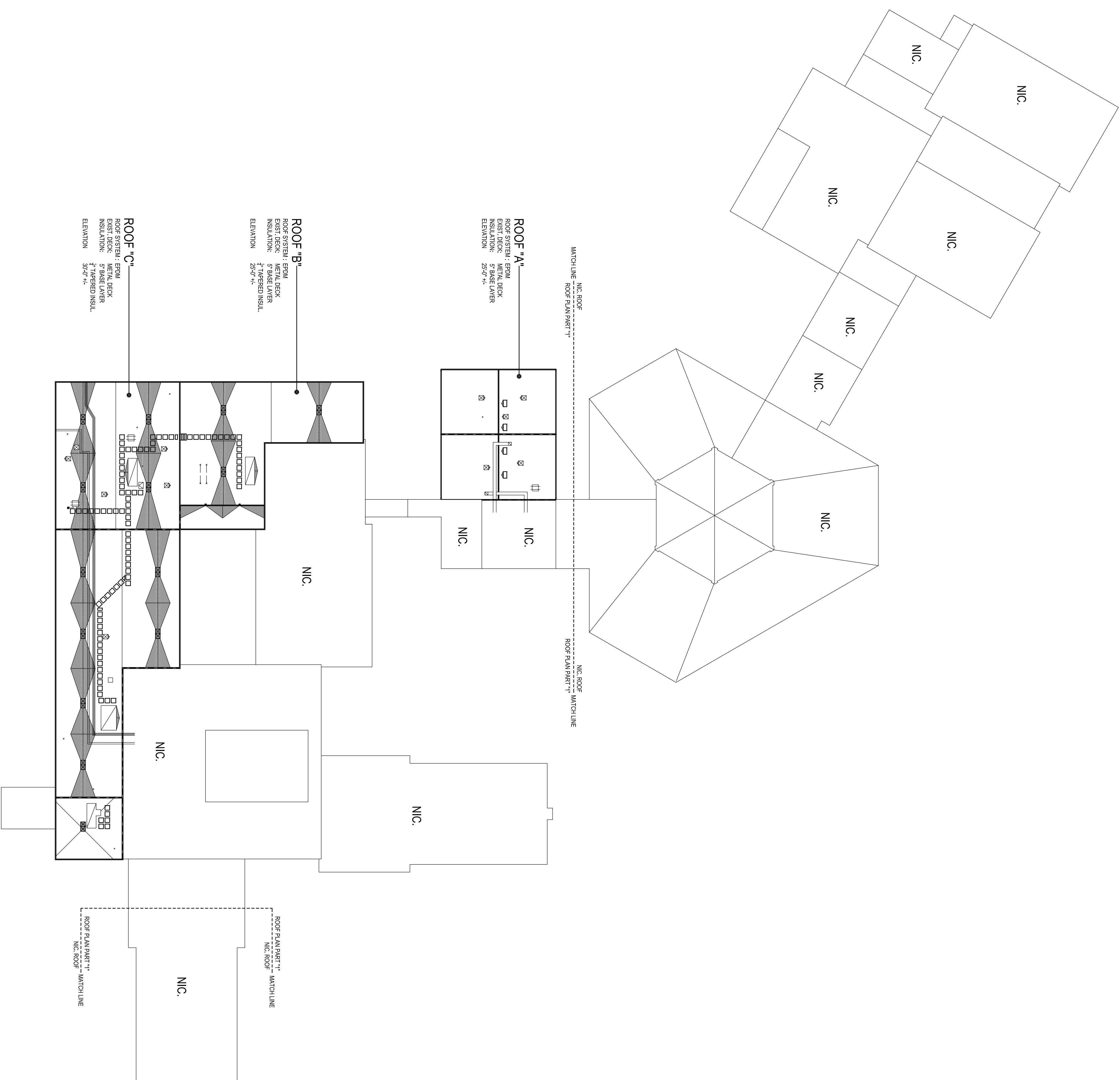
ROOF MEMBRANE	0.33
COVERBOARD	2.20
EXISTING DECK	1.20
INSIDE AIR	0.81
R-VALUE TOTAL	34.54



GRAPHIC SCALE - 1" = 4'

**A1 OVERALL ROOF PLAN**

1/32"=1'-0"

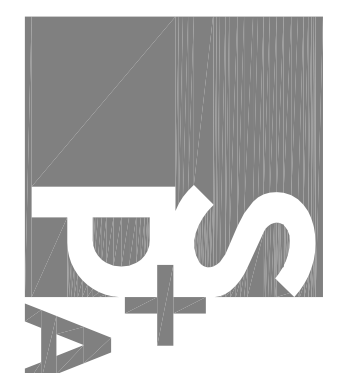


**ROOF 'A'**  
ROOF SYSTEM: BRAN  
EXIST. DECK: METAL DECK  
INSULATION: 2" TAPERED INSUL.  
ELEVATION: 25'-0" +/-

**ROOF 'B'**  
ROOF SYSTEM: BRAN  
EXIST. DECK: METAL DECK  
INSULATION: 2" TAPERED INSUL.  
ELEVATION: 25'-0" +/-

**ROOF 'C'**  
ROOF SYSTEM: BRAN  
EXIST. DECK: METAL DECK  
INSULATION: 2" TAPERED INSUL.  
ELEVATION: 25'-0" +/-

PARTIAL ROOF REPLACEMENT AT:  
**BEECHER ROAD ELEMENTARY SCHOOL**  
40 BEECHER ROAD,  
WOODBIDGE, CONNECTICUT 06825



SILVER PETRUCELLI + ASSOCIATES  
3190 WHITNEY AVENUE HANDEN CT 06518  
311 STATE STREET NEW LONDON CT 06320  
203 230 9007  
silverpetrucci.com

Number:	Description:	Date:	Revised By:

**OVERALL ROOF PLAN**

DATE: 1/15/2023  
SCALE: 1/32"=1'-0"  
DRAWN BY: KLINSEY  
PROJECT NUMBER: 23 108

**A1**



**SYMBOL LEGEND**

- PLAN SECTION DETAIL OR ELEVATION - SHEET NUMBER
- INDICATES SLOPE DIRECTION OR SLOPED STRUCTURAL DECK
- TAPERED INSULATION GROMMET SLOPED @ 2 PER FOOT
- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH
- NOT IN CONTRACT SCOPE
- WALKWAY PADS. SEE CONSTRUCTION NOTE #2
- EXISTING ROOF BRAN TO BE REMOVED. SEE DEMOLITION NOTES.
- NEW ROOF BRAN TO BE INSTALLED. SEE DETAIL A43
- SECONDARY OVER/LOW ROOF DRAIN. SEE DETAIL B143
- METAL SOPER w/ COLLECTION BOX. SEE DETAIL C143
- EXISTING VENT STACK. SEE DETAIL E143
- PITCH POCKET. SEE DETAIL F143
- ROOF HATCH. SEE DETAIL G & H143
- SKYLIGHT. SEE DETAIL J143
- NEW METAL STAIRCASE. SEE DETAIL K143
- EXISTING ROOF TOP FAN UNIT. SEE DETAIL L143
- EXISTING MECHANICAL UNIT. SEE DETAIL M143
- EXISTING ROOF TOP MECHANICAL UNIT. SEE DETAIL N143
- EXISTING ROOF TOP MECHANICAL UNIT. SEE CONSTRUCTION NOTE #3
- METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #4
- EXISTING ROOF TOP DUCT WORK. SEE CONSTRUCTION NOTE #5
- EXISTING GAS PIPING. SEE CONSTRUCTION NOTE #6
- EXISTING ELECTRICAL CONDUIT. SEE CONSTRUCTION NOTE #7
- ABANDONED METAL DAMAGE. SEE DEMOLITION NOTE #8
- ABANDONED MECHANICAL CURB. SEE DEMOLITION NOTE #9

**GENERAL NOTES**

1. ALL FLAT ROOFS TO RECEIVE 2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
2. FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
3. ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED EXISTING.
4. ALL WOOD BLOCKING, PLYWOOD & WELERS TO BE PRESSURE TREATED (P.T.)
5. ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
6. ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 6" (VERTICAL OR HORIZONTAL)
7. CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/ LEVEL (AFTR DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
8. CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERFERING MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE DAMAGED OR COMPROMISED BY ANY ADDITIONAL WORK.
9. CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED SITE AREAS DISTURBED SHALL BE CLEANED & REGRADED. WALKWAY AREAS INDICATEDLY TYPED TO REMAIN SHALL BE REPAIRED TO ORIGINAL FINISHES.
10. SETBACKS SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.
11. CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT REMAINS ON THE ROOF SURFACE OR IS DEPOSITED ON ADJACENT AREAS.
12. SMOKE/HEAT OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
13. ALL CHANGES ARE TO BE SCORED @ A MINIMUM OF 2" PER FOOT & COMPONENTS AROUND EXISTING PIPING SHALL BE REINFORCED TO 2 PER FOOT.
14. CONTRACTOR IS TO REMOVE ALL EXISTING ROOFING MATERIALS & REINFORCE ALL WALLS INCLUDING ANY EXISTING ROOFING MATERIALS & REINFORCE ALL EXISTING ROOFING MATERIALS & REINFORCE ALL EXISTING ROOFING MATERIALS & REINFORCE ALL EXISTING ROOFING MATERIALS.
15. SMOKE/HEAT OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVES.
16. ALL DRAIN PIPING IS TO BE INSTALLED ABOVE THE CEILING. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
17. NEW ROOF INSULATION TO BE A MINIMUM OF R24 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
18. ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK TO BE REMOVED & REINSTALLED.

**DEMOLITION NOTES**

1. REMOVE EXISTING ROOFING MEMBRANE, 1-1/2" OF RIGID INSULATION DOWN TO EXISTING METAL DECK.
2. REMOVE EXISTING ASPHALT MEMBRANE, 1-1/2" BASE LAYER OF POLYISO & 2" TAPERED INSULATION SYSTEM DOWN TO EXISTING METAL DECK.
3. REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
4. REMOVE EXISTING ROOF DRAINS & SUMP.
5. REMOVE & DISPOSE OF EXISTING METAL DAMAGE.
6. REMOVE EXISTING ABANDONED MECHANICAL UNIT CURBS PACTO EXISTING METAL DECK TO MATCH EXISTING. SEE DETAIL Z143

**CONSTRUCTION NOTES**

1. CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL.
2. WALKWAY PADS TO BE INSTALLED PER MANUFACTURERS RECOMMENDATION. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION. COMPONENTS & FINISHES EXACT ROUTE W/ OWNER'S ARCHITECT.
3. EXISTING ROOF TOP MECHANICAL UNIT. RAISE ENTIRE UNIT MIN. 8" ABOVE HIGH POINT OF NEW ROOF INSULATION. EXTEND ALL DUCTWORK & ELECTRICAL WIRINGS. SEE DETAIL M143 & PROJECT MANUAL.
4. NEW METAL DOWNSPOUT LOCATION. CONNECT TO EXIST UNDERGROUND PIPING, OR PROVIDE NEW CONCRETE SPLASH BLOCK IF NO UNDERGROUND PIPING EXISTS.
5. EXISTING MECHANICAL UNIT DUCT WORK TO REMAIN. ADJUST ALL STAND-OFFS TO ACCOMMODATE NEW ROOF INSULATION HEIGHT. SEE DETAIL O143 & PROJECT MANUAL.
6. EXISTING GAS PIPING TO BE DISCONNECTED & RAISED. RAISE EXISTING GAS PIPING AS REQUIRED TO RECONNECT TO EXISTING GAS MAIN. INSTALL ALL EXIST. & NEW GAS PIPING ON NEW PIPE CURBS 24" O.C. PRIME & PAINT ALL EXISTING & NEW GAS PIPING. SEE DETAIL W143 & PROJECT MANUAL.
7. EXISTING ELECTRICAL CONDUIT TO BE DISCONNECTED & RAISED TO ACCOMMODATE NEW ROOF INSULATION HEIGHTS. REMOVE WIRE CONDUIT & DISPOSE OF. INSTALL NEW CONDUIT & WIRING IN EXIST. CONDITIONS TO ACCOMMODATE NEW ROOF HEIGHTS & ADD NEW JUNCTION BOXES AS REQUIRED. SEE DETAIL W143 & PROJECT MANUAL.

**ROOF AREAS**

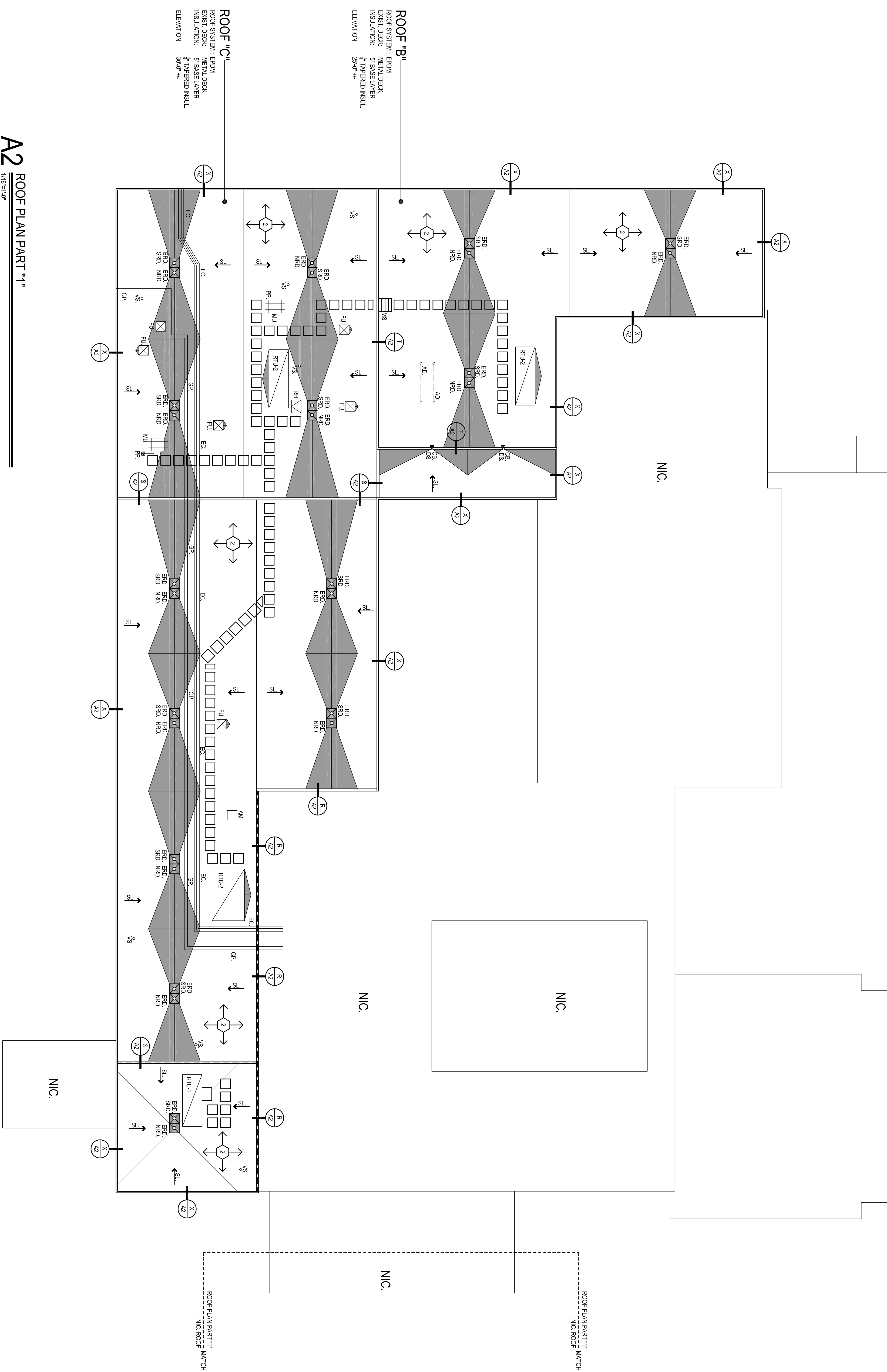
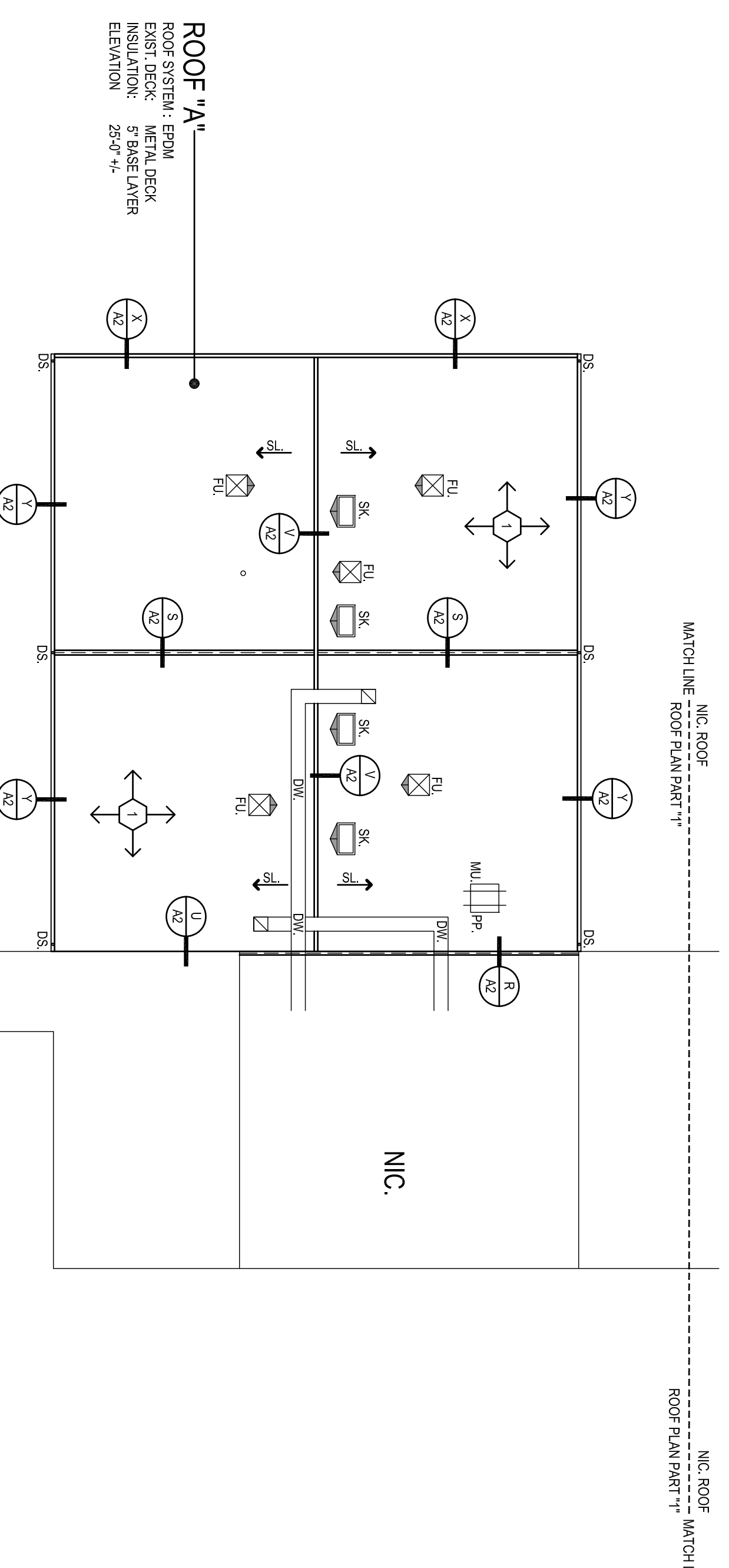
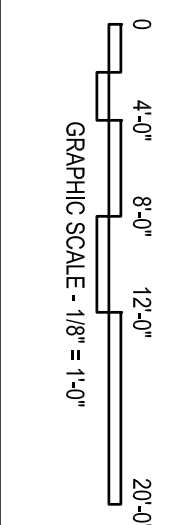
ROOF "A"	6,980	SF
ROOF "B"	21,190	SF
TOTAL ROOF AREAS:	28,170	SF
THIS AREA IS APPROXIMATE. V111		
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CONNECTIVITY ZONE: 2B		
CRSIC REQUIREMENT: 18-29 JU0333		

**CODE INFORMATION**

- USE GROUP: E CLASS 2B
- ROOFING SYSTEM: 18-29 JU0333
- ULTIMATE DESIGN WIND SPEED: 135 MPH
- NOMINAL DESIGN WIND SPEED: 105 MPH
- FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FMR) ROOF ASSEMBLY
- CONSTRUCTION: WIND UPLIFT REQUIREMENT
- PROPERTY LOSS PREVENTION DATA SHEETS

**ROOF ASSEMBLY**

ROOF MEMBRANE	0.33
COVERBOARD	2.29
EXISTING DECK	1.23
INSIDE AIR	0.81
RAVALLIE TOTAL	34.24



**A2 ROOF PLAN PART "11"**

Project Name:  
**PARTIAL ROOF REPLACEMENT AT:  
 BEECHER ROAD ELEMENTARY SCHOOL**  
 40 BEECHER ROAD,  
 WOODBRIDGE, CONNECTICUT 06525

SILVER PETRUCELLI + ASSOCIATES  
 3190 WHITNEY AVENUE HAMDEN CT 06518  
 311 STATE STREET NEW LONDON CT 06320  
 203 230 9007  
 silverpetrucci.com

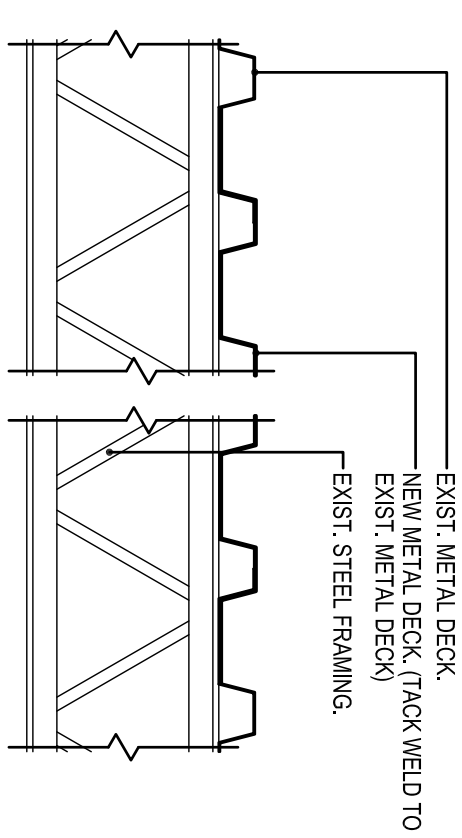
Number:	Drawings:	Date:	Revised By:

Project Name:  
**ROOF PLAN PART "11"**

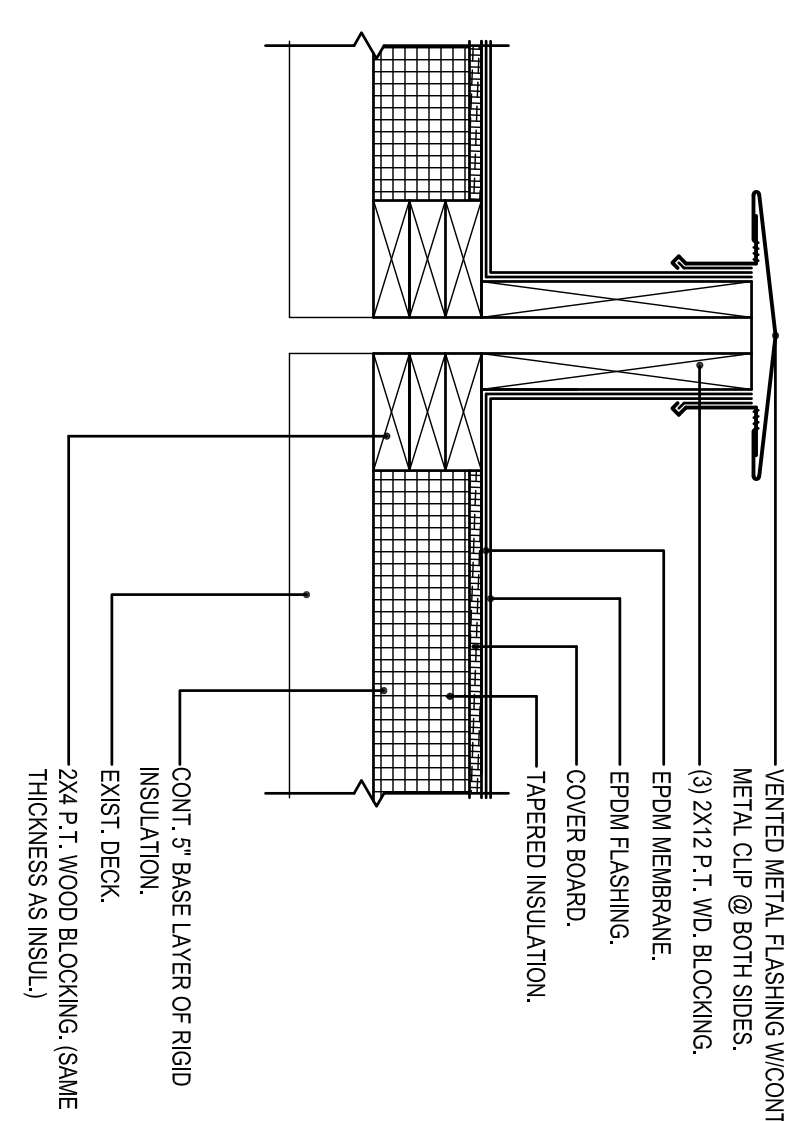
Scale:  
 1/8" = 1'-0"

Drawn By:  
 KLINSEY

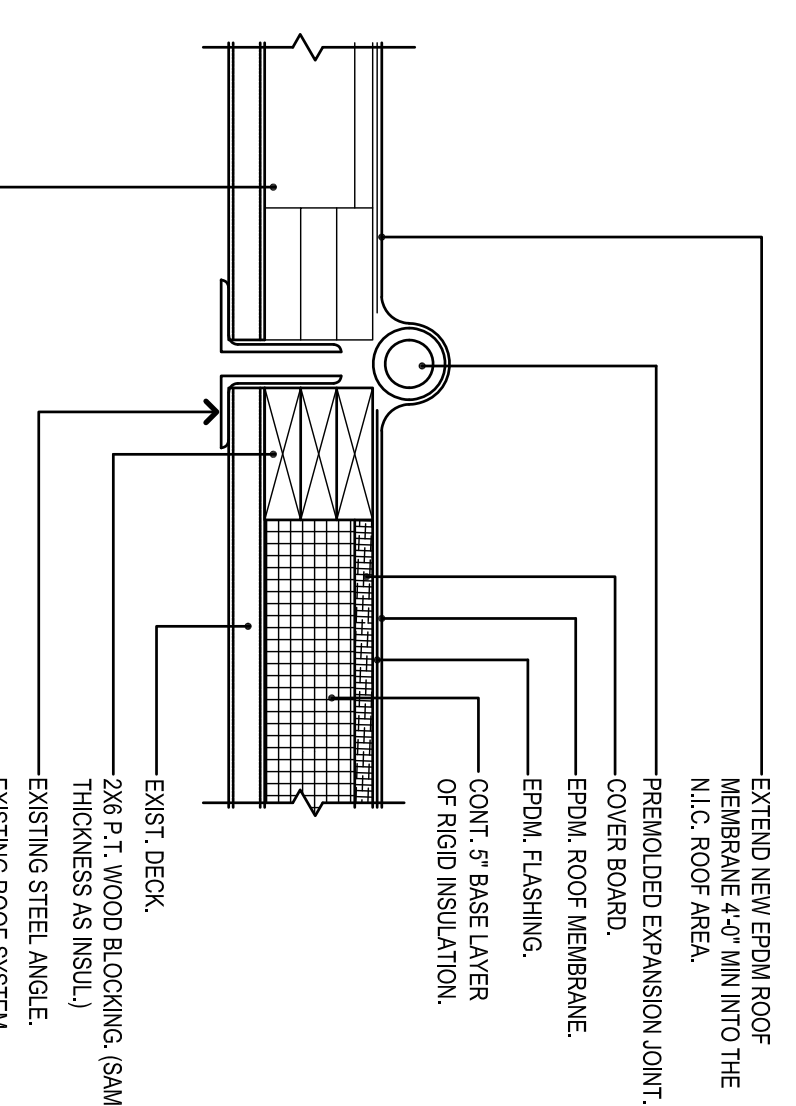
Project Number:  
 23 108



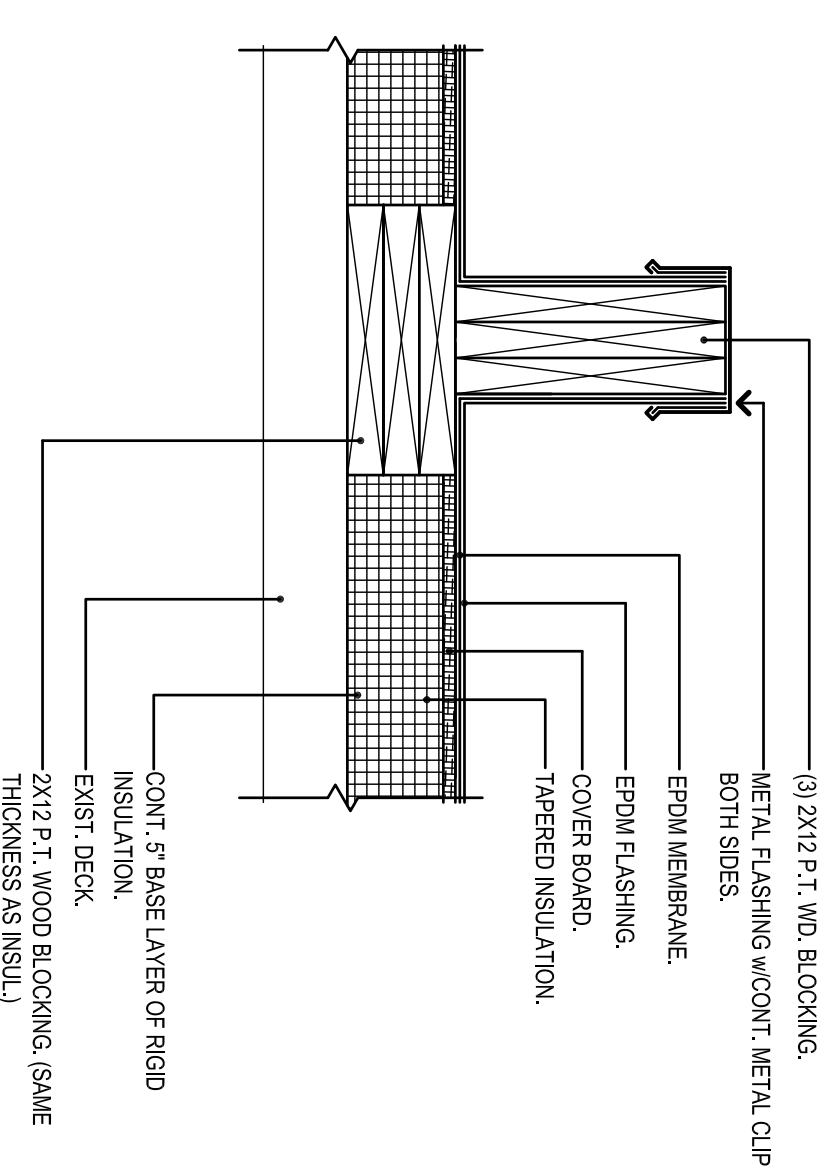
**Z METAL DECK REPAIR**  
1:1/2"=1'-0"



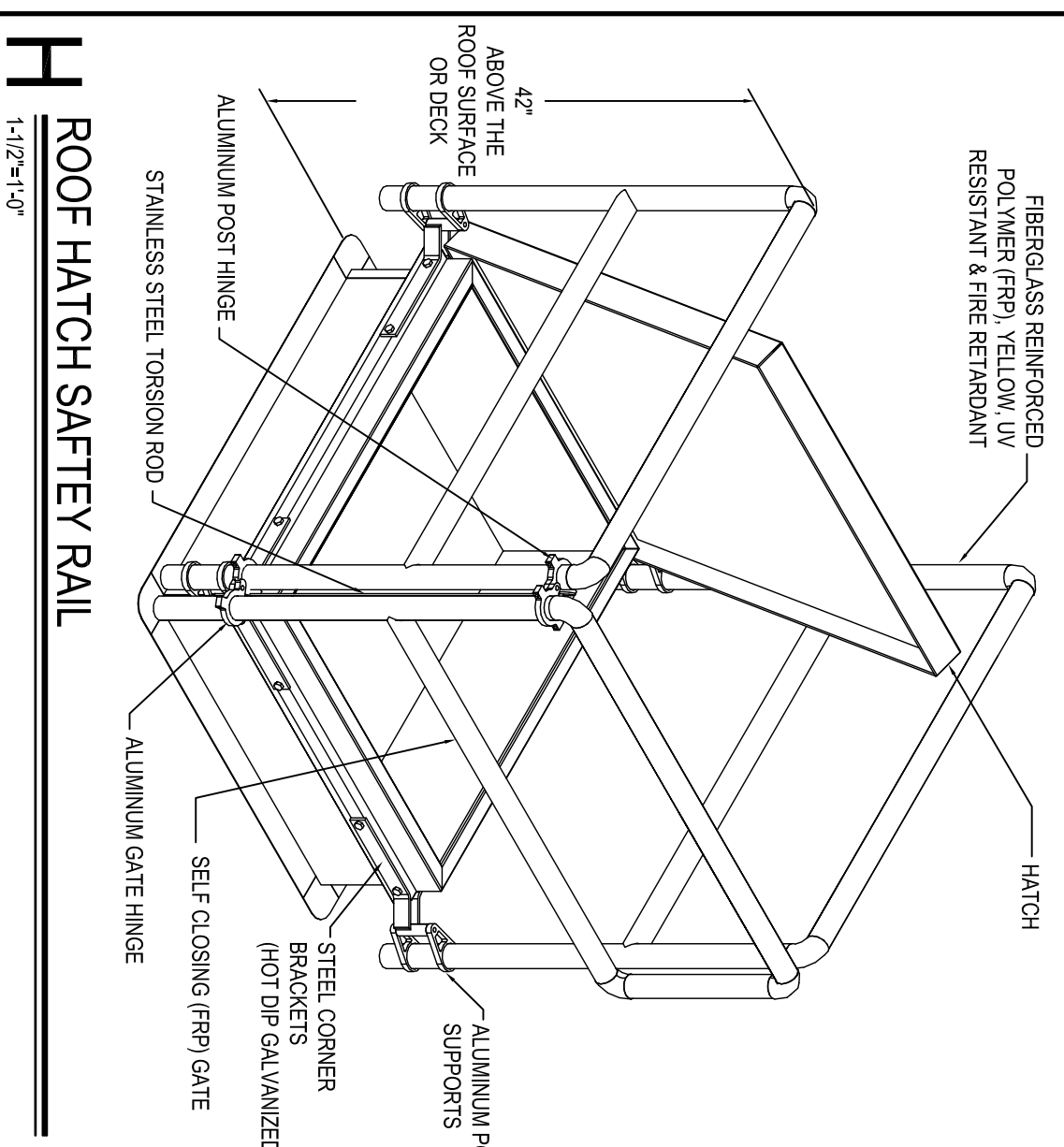
**V RIDGE**  
1:1/2"=1'-0"



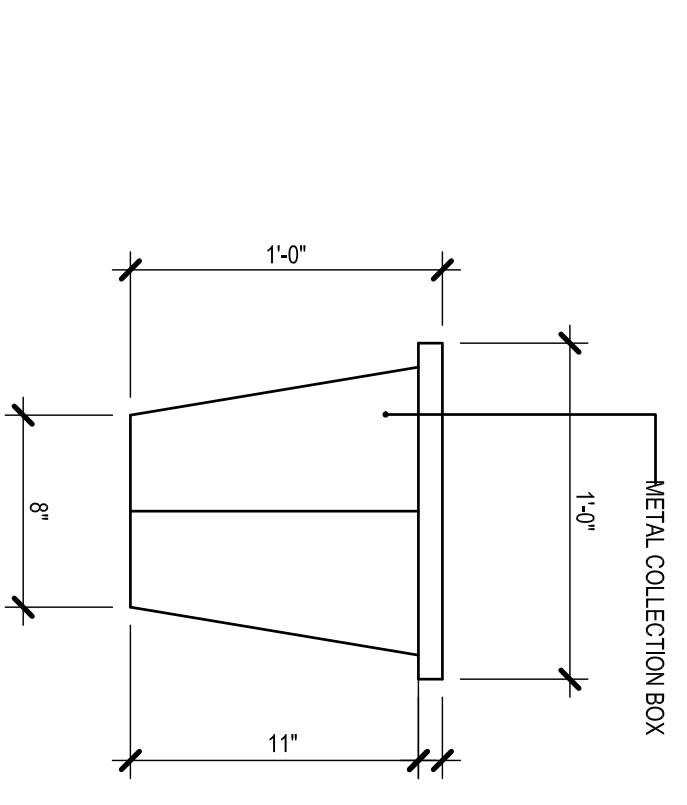
**R EXPANSION JOINT**  
1:1/2"=1'-0"



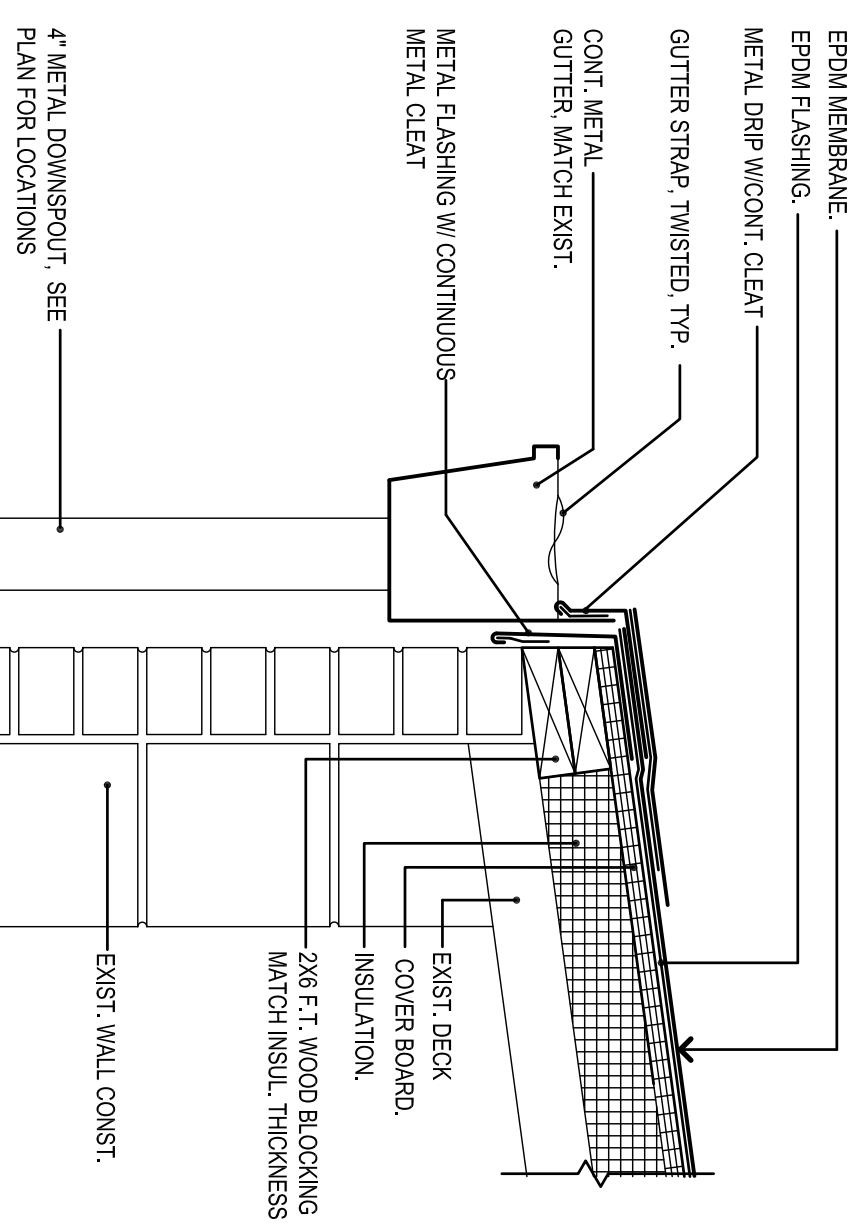
**M MECHANICAL UNIT**  
1:1/2"=1'-0"



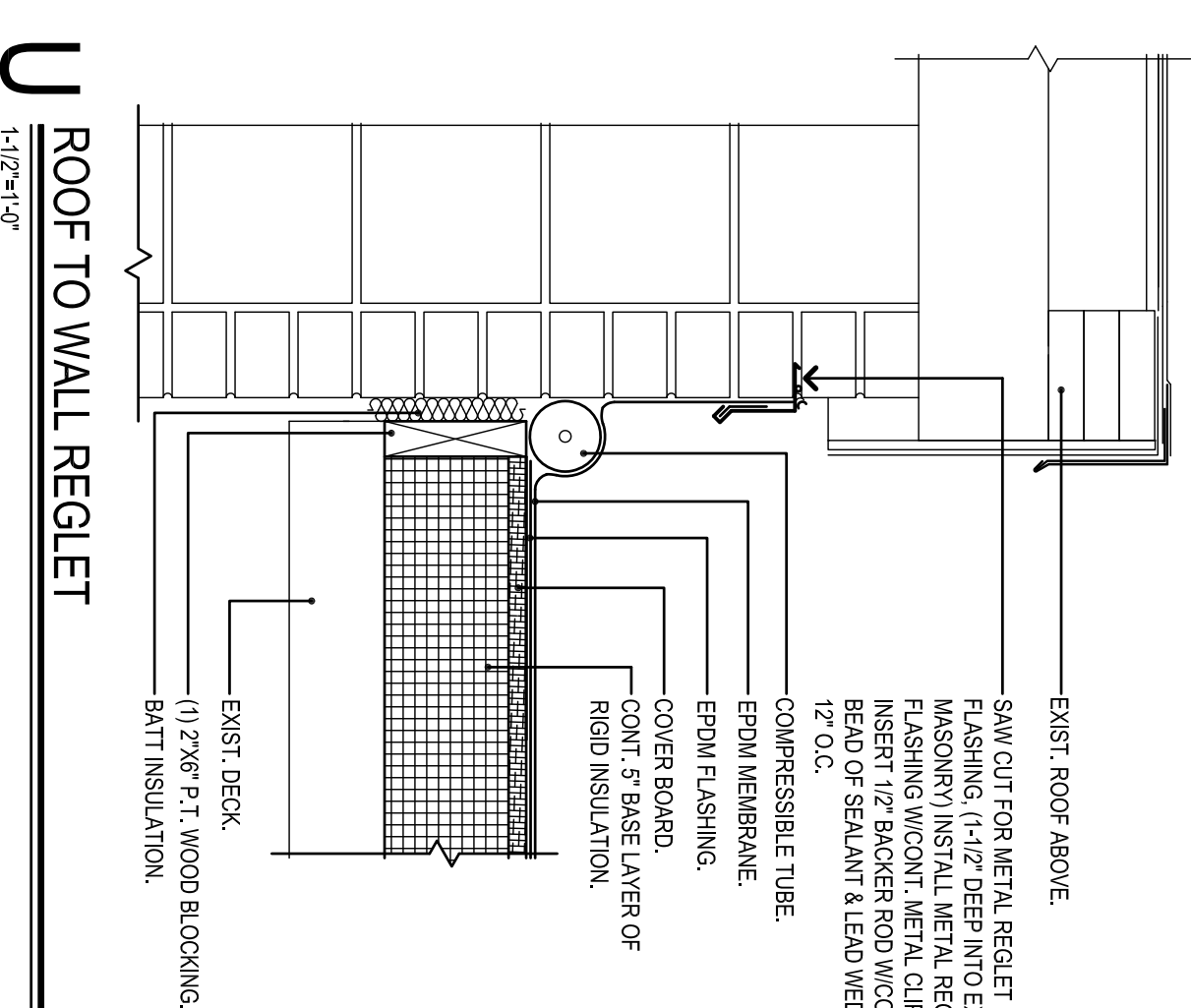
**H ROOF HATCH SAFETY RAIL**  
1:1/2"=1'-0"



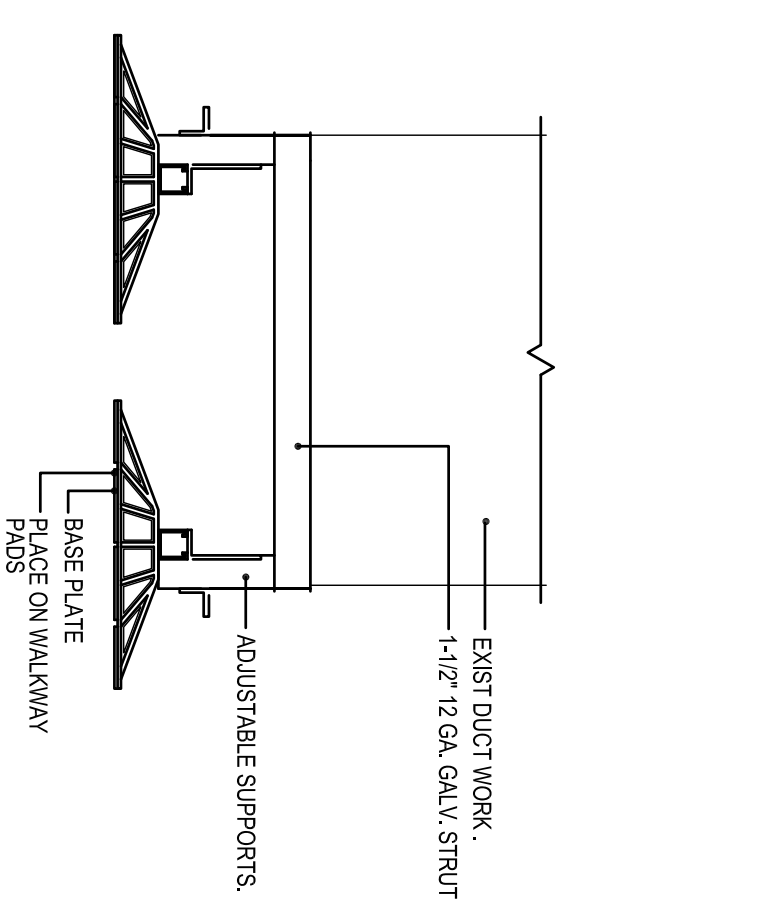
**D COLLECTION BOX**  
1:1/2"=1'-0"



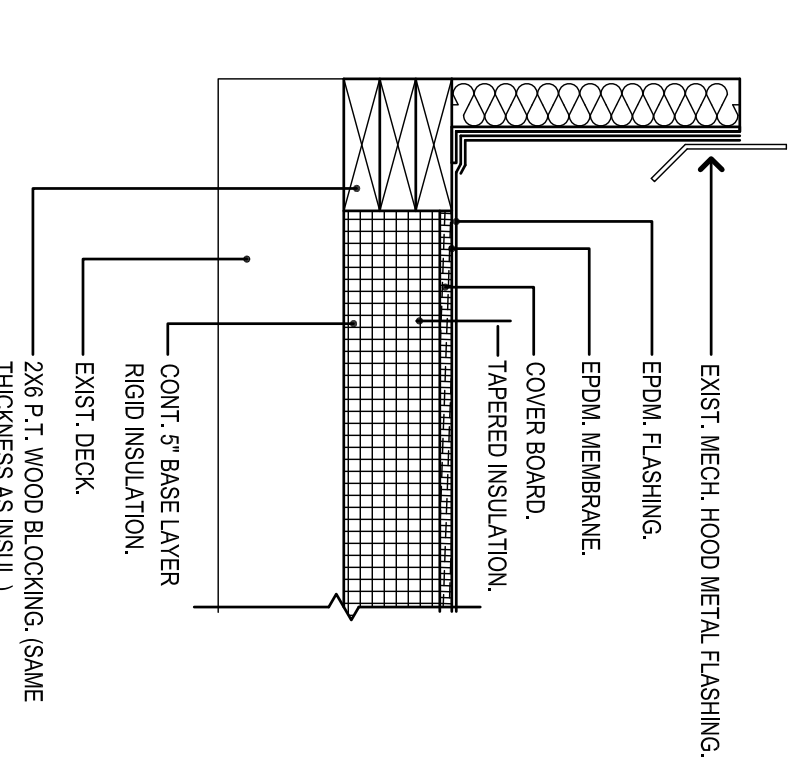
**Y ROOF TO WALL**  
1:1/2"=1'-0"



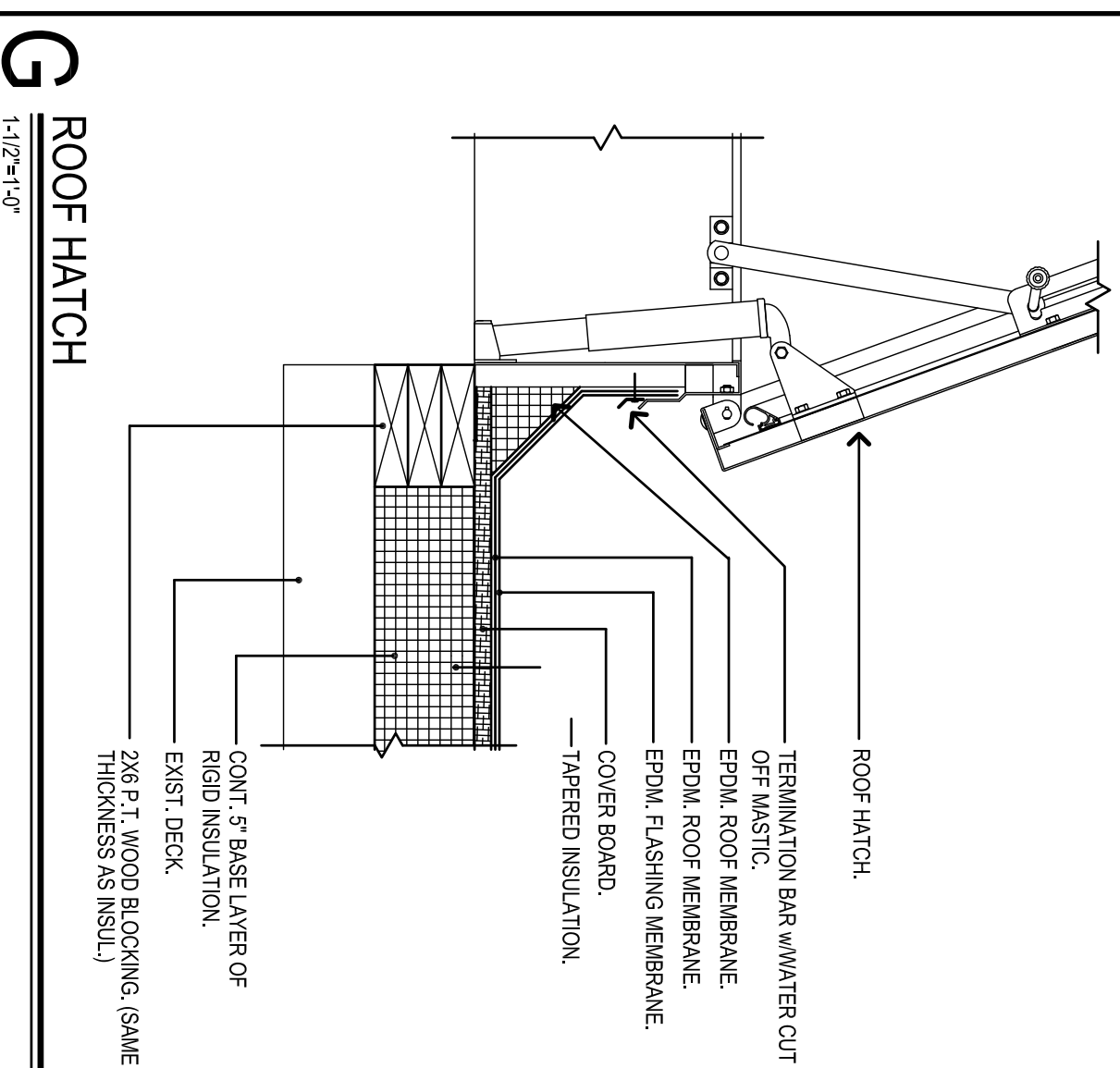
**U ROOF TO WALL REGLET**  
1:1/2"=1'-0"



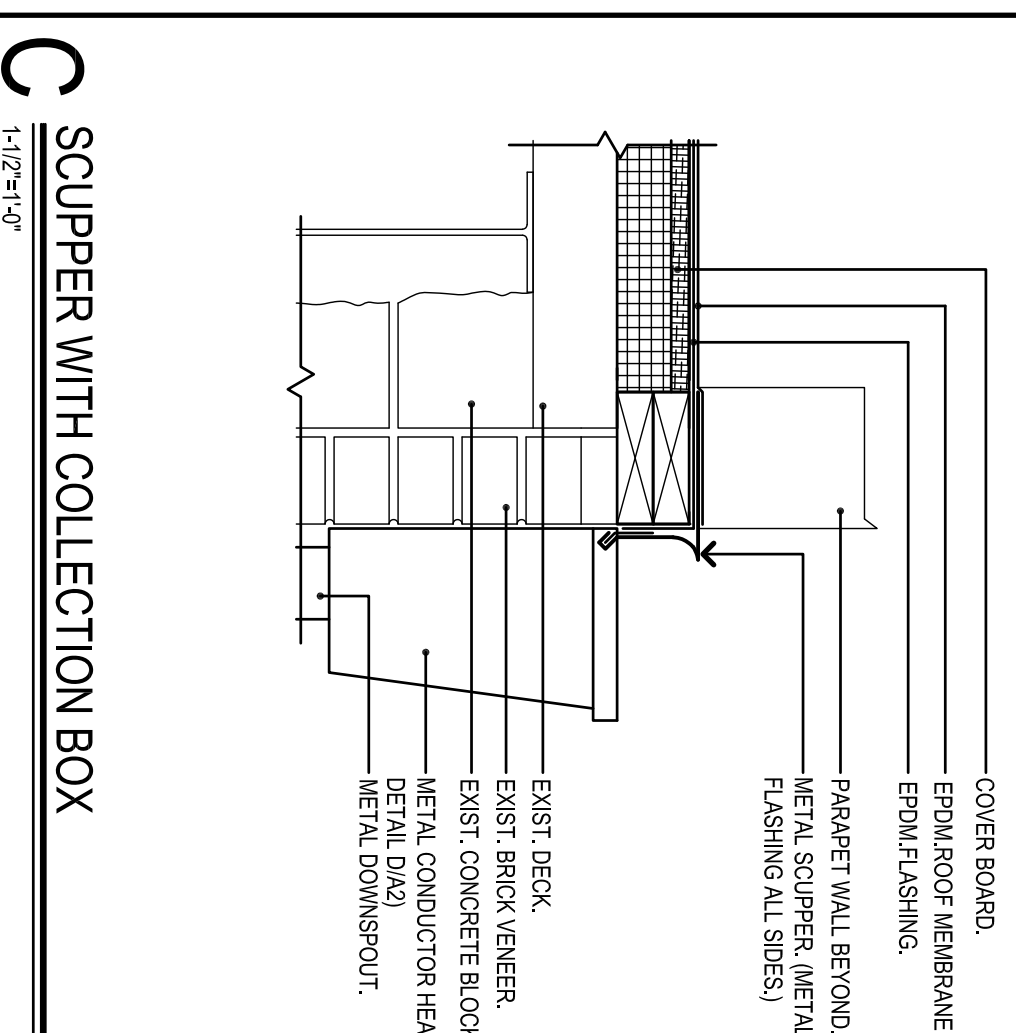
**Q DUCT WORK SUPPORT**  
1:1/2"=1'-0"



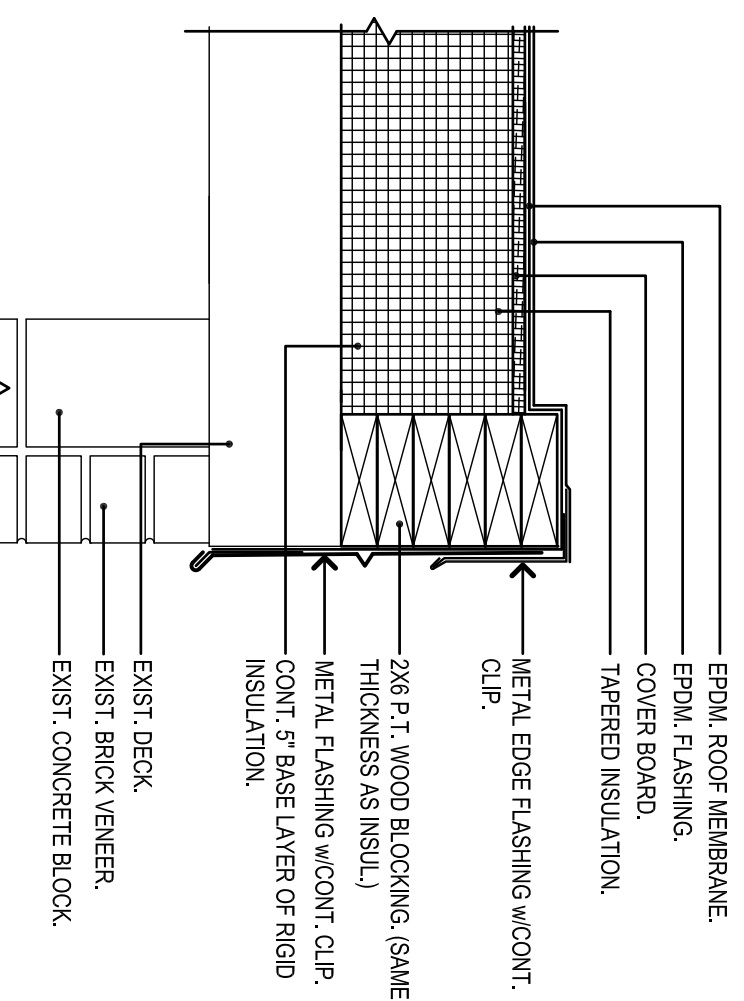
**L ROOF FAN UNIT**  
1:1/2"=1'-0"



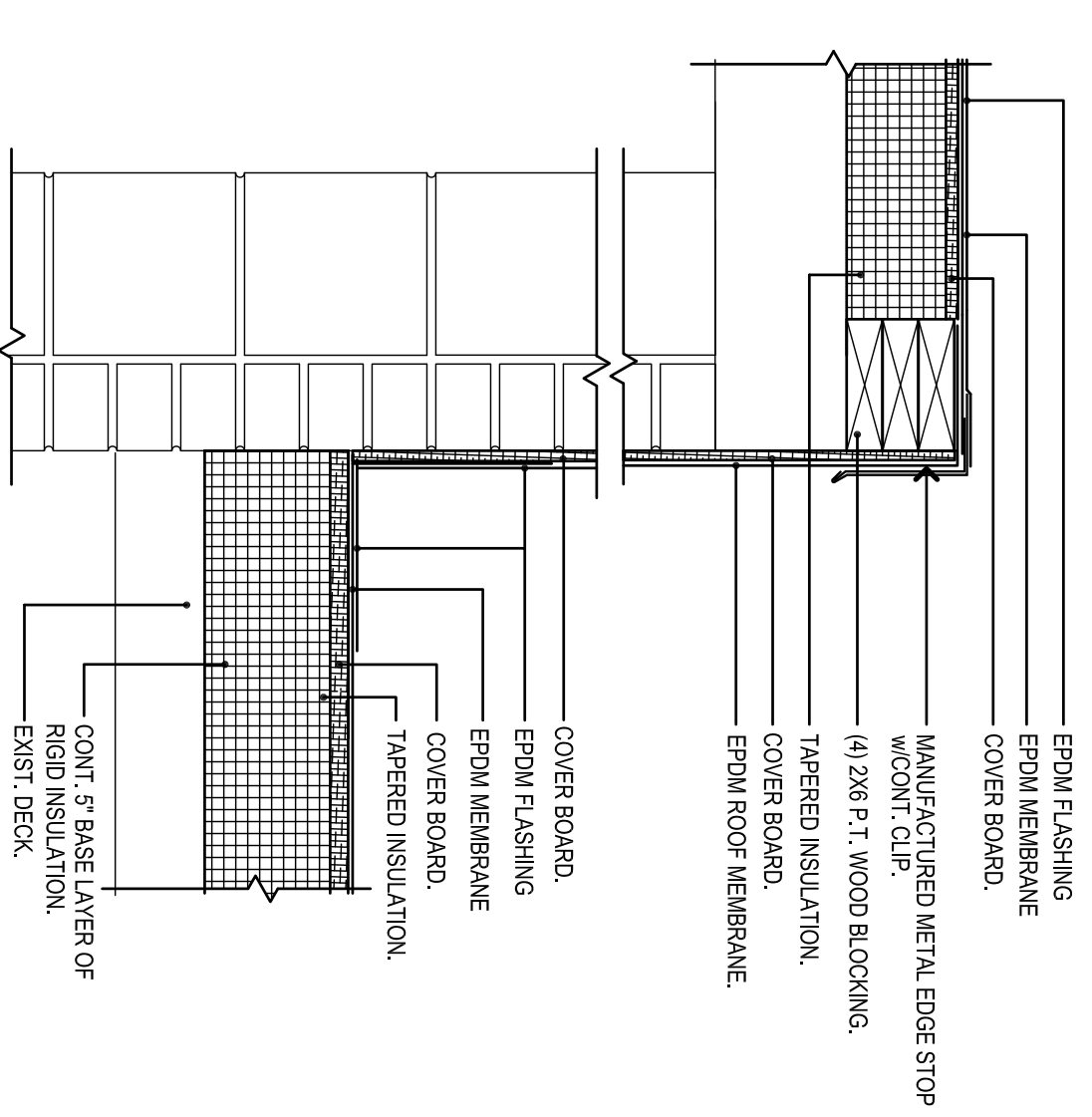
**G ROOF HATCH**  
1:1/2"=1'-0"



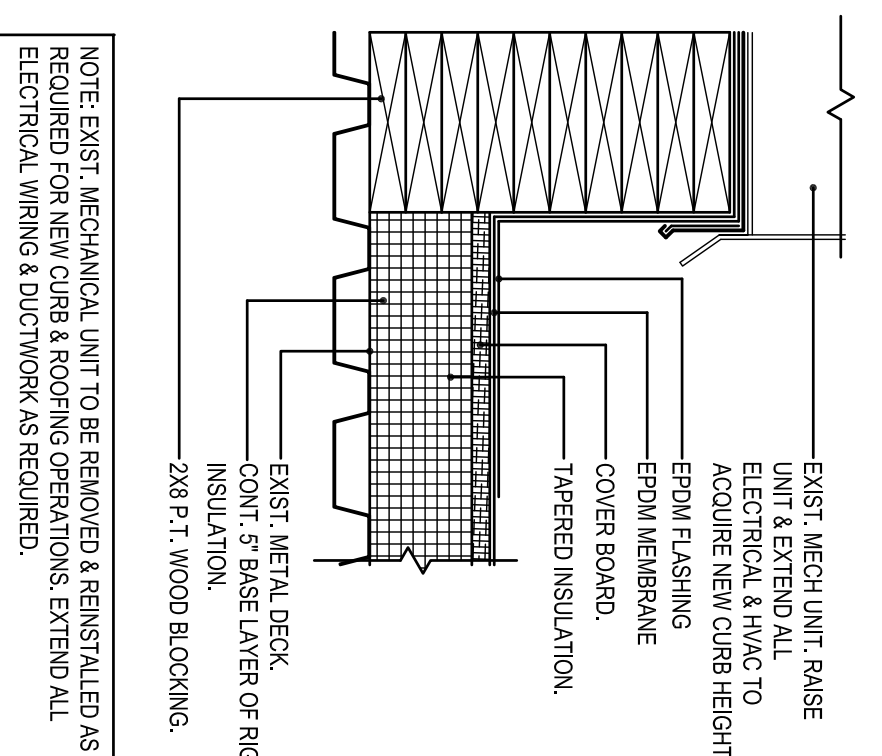
**C SCUPPER WITH COLLECTION BOX**  
1:1/2"=1'-0"



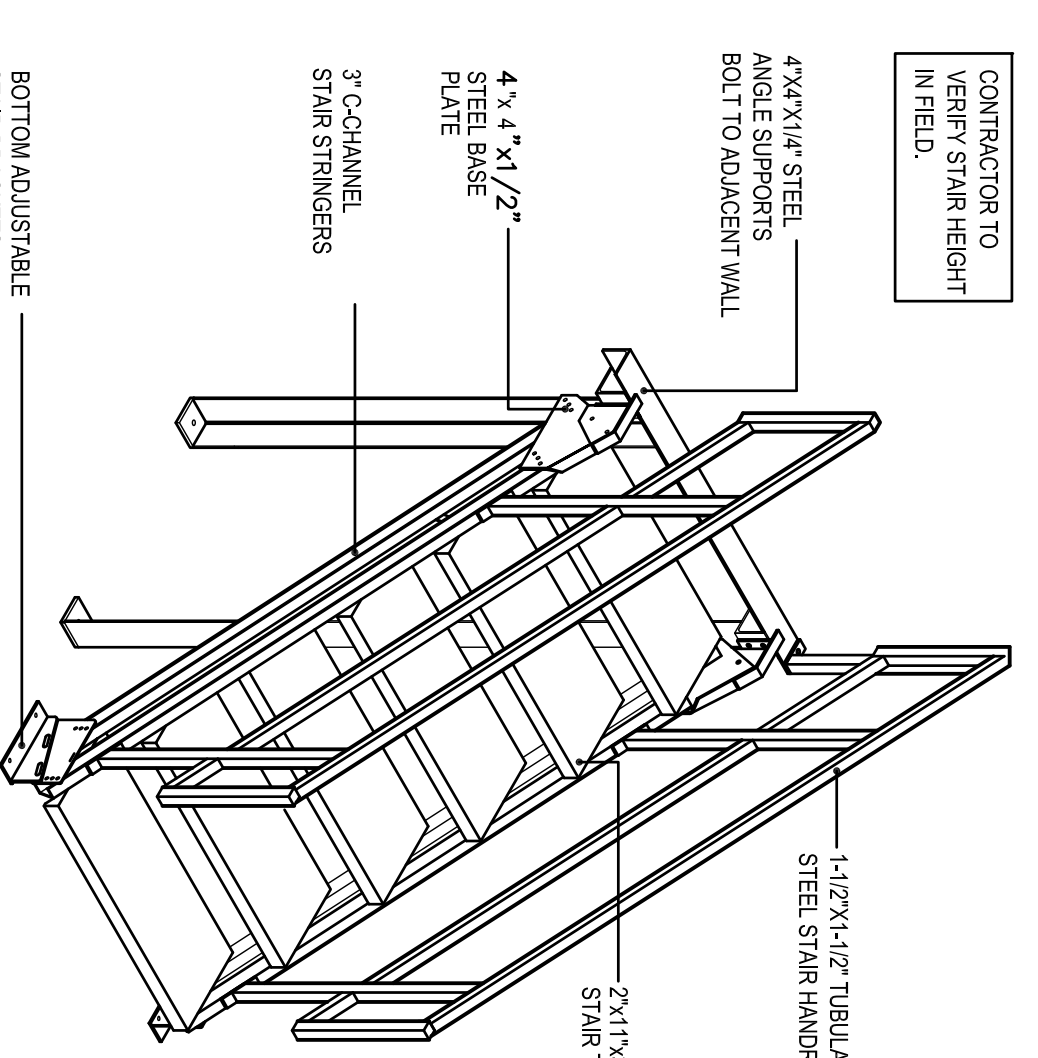
**X ROOF EDGE**  
1:1/2"=1'-0"



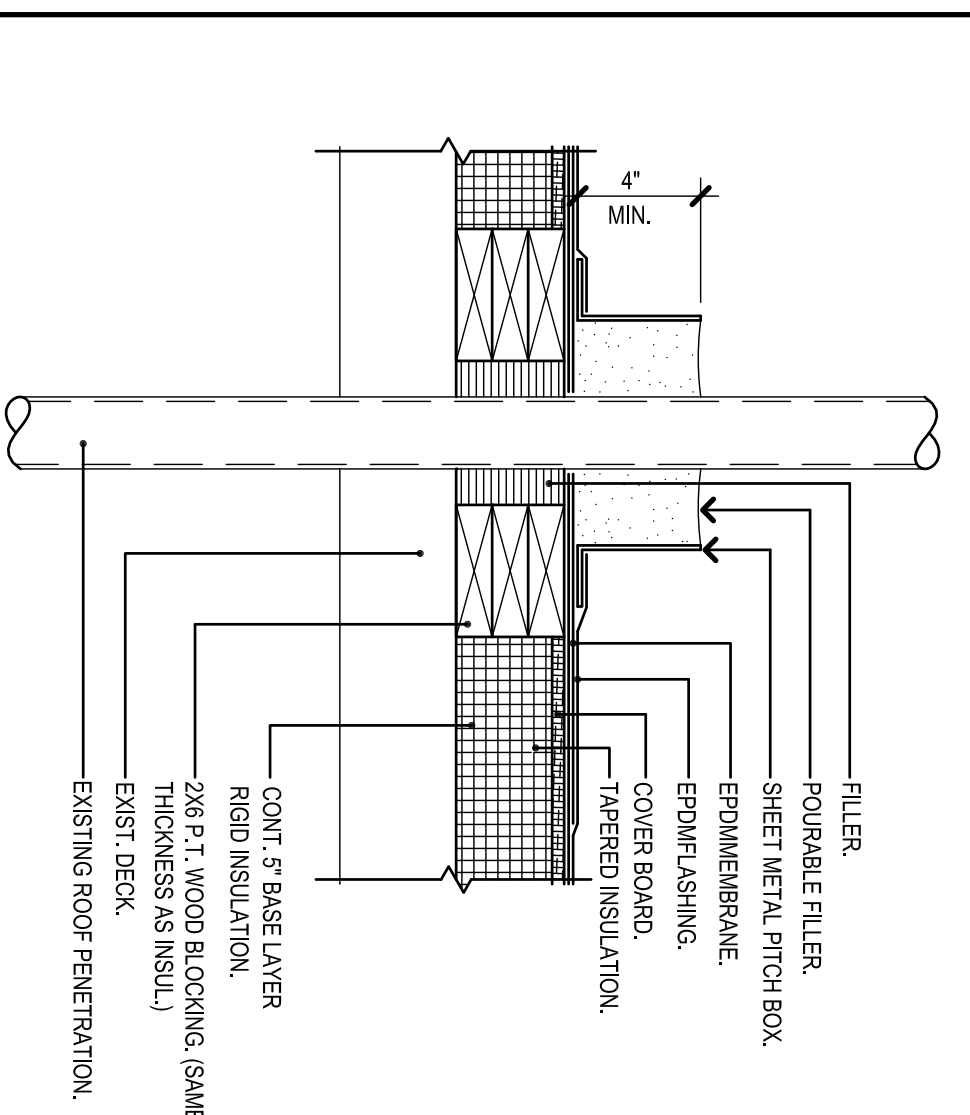
**T ROOF TO WALL**  
1:1/2"=1'-0"



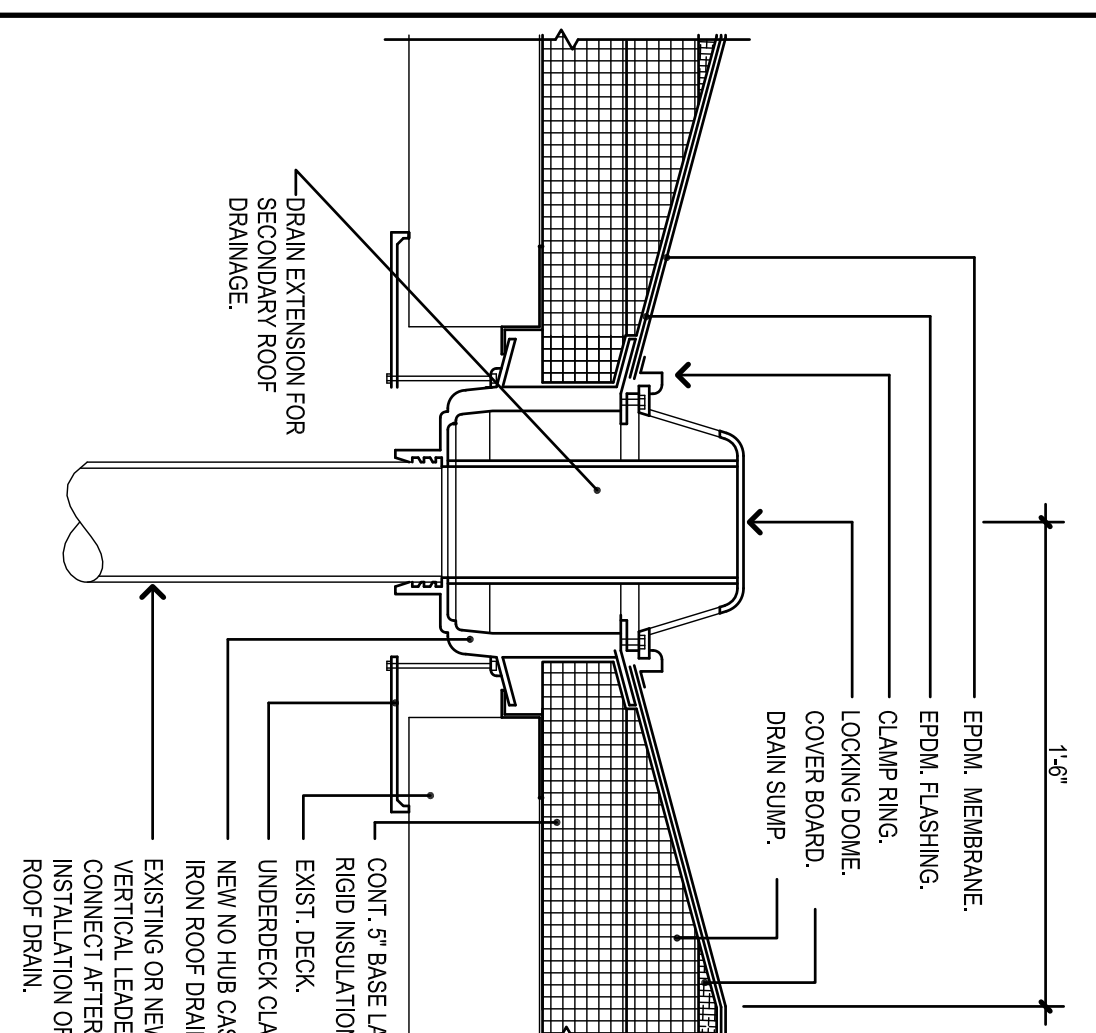
**P ROOF TOP MECHANICAL UNIT - 2**  
1:1/2"=1'-0"



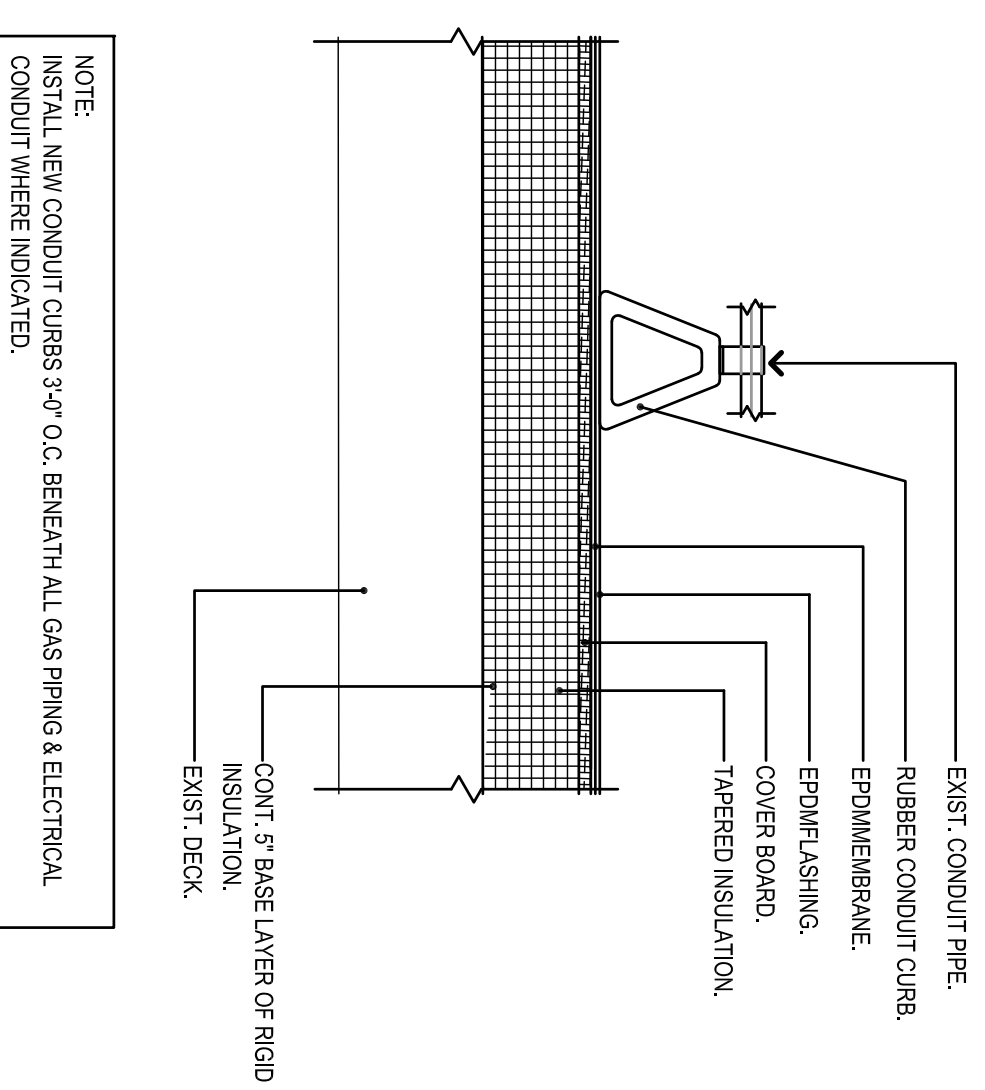
**K METAL STAIRCASE**  
1:1/2"=1'-0"



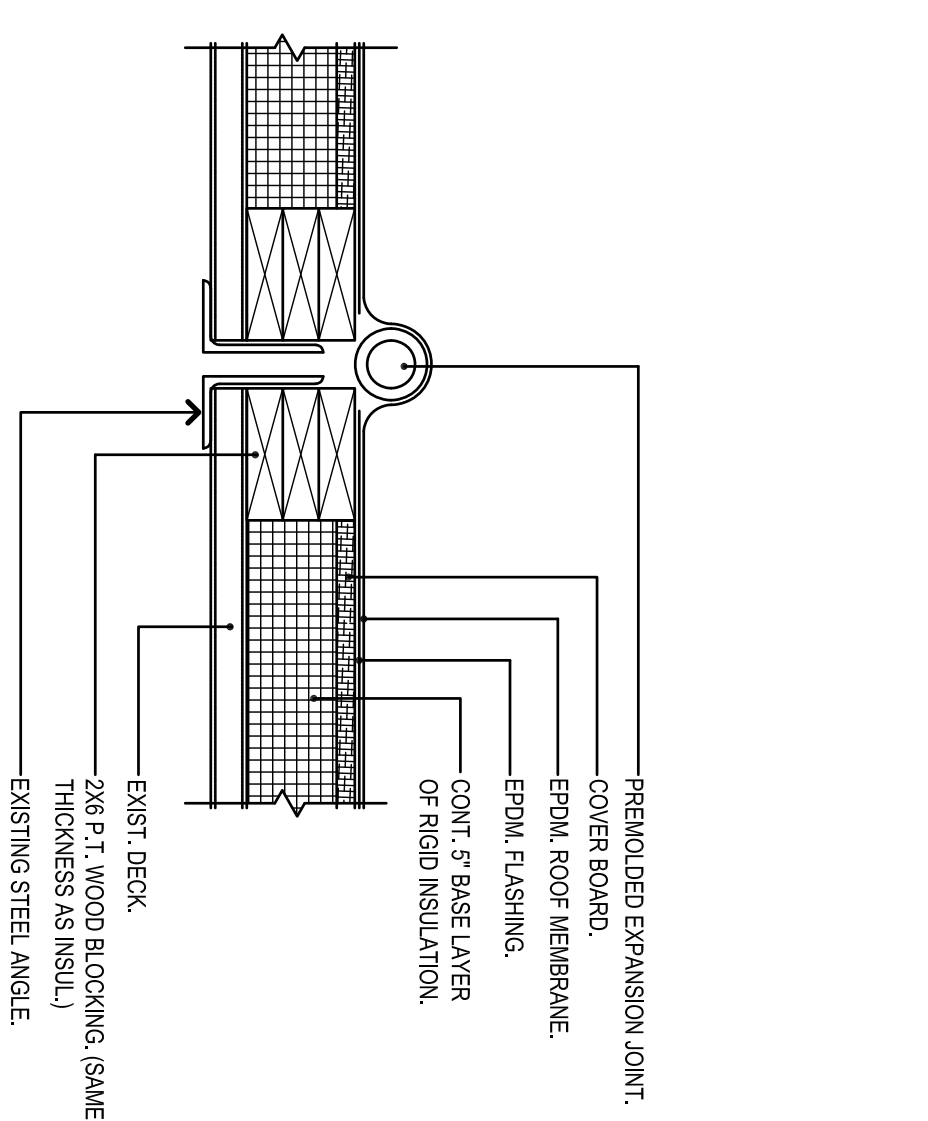
**F PITCH POCKET**  
1:1/2"=1'-0"



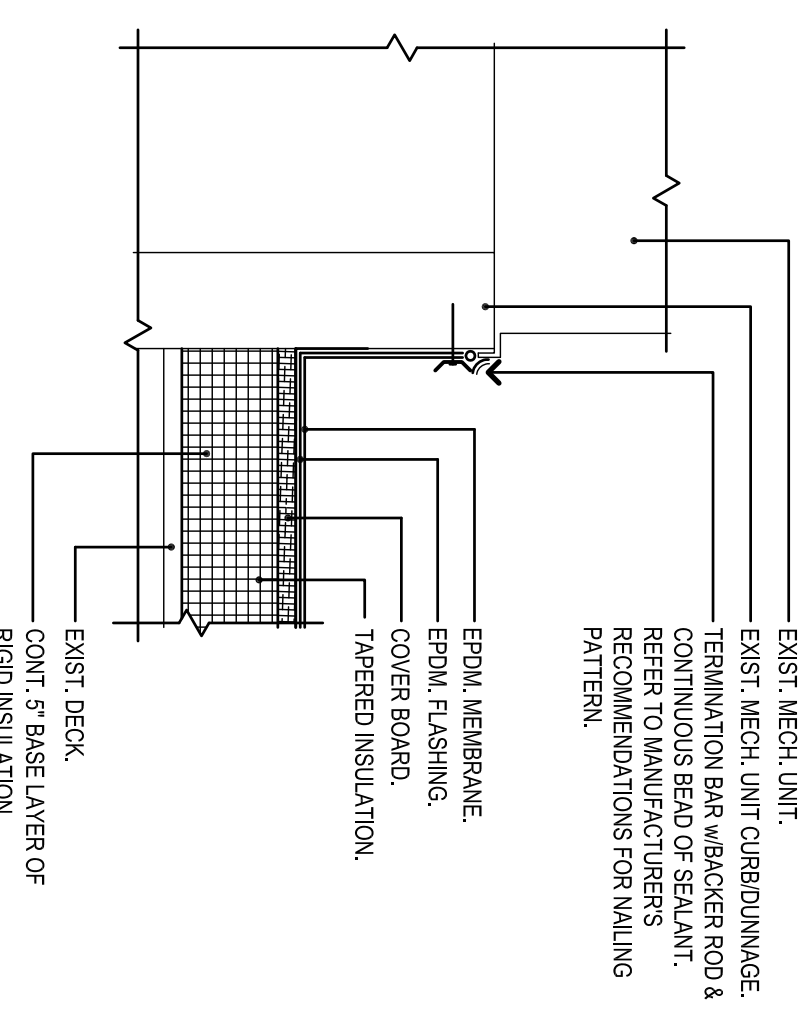
**B SECONDARY OVERFLOW ROOF DRAIN**  
1:1/2"=1'-0"



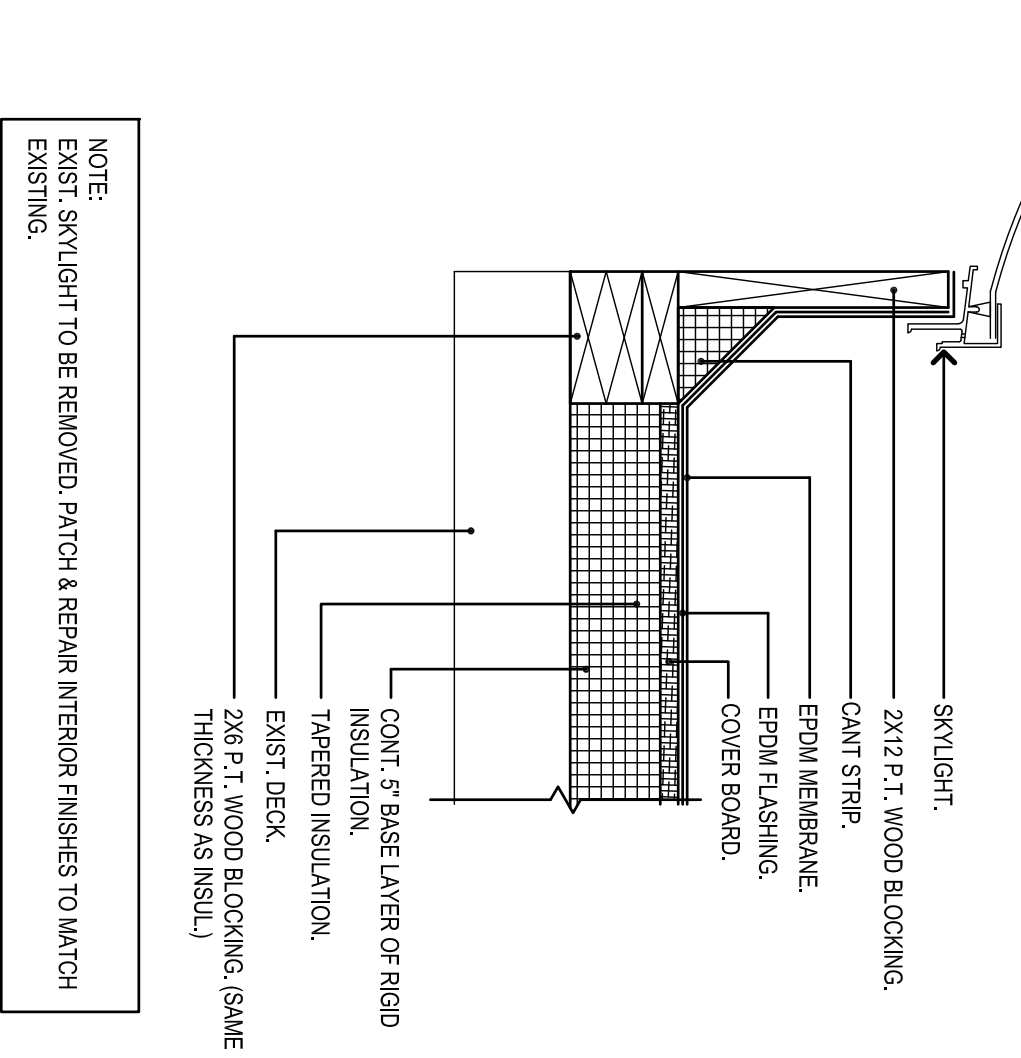
**W CONDUIT CURB**  
1:1/2"=1'-0"



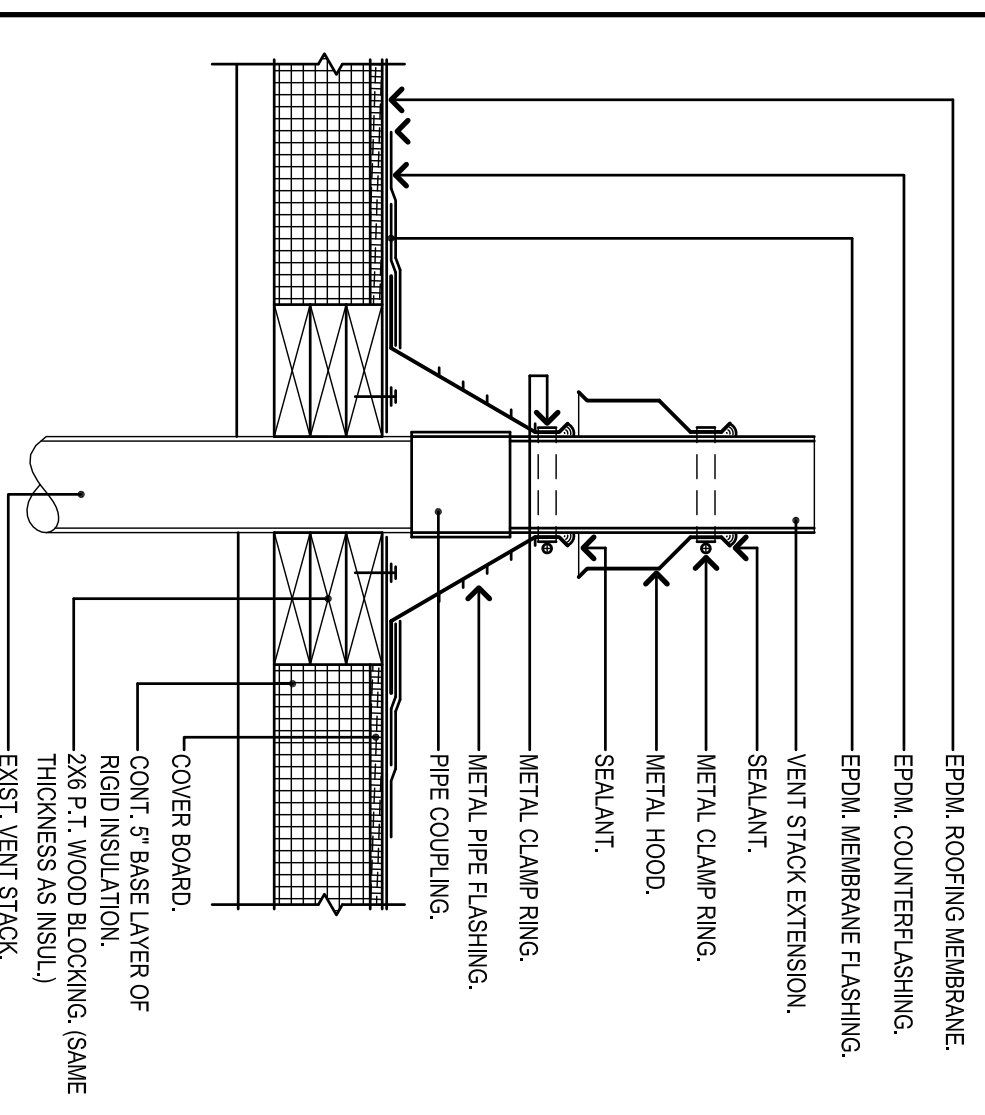
**S EXPANSION JOINT**  
1:1/2"=1'-0"



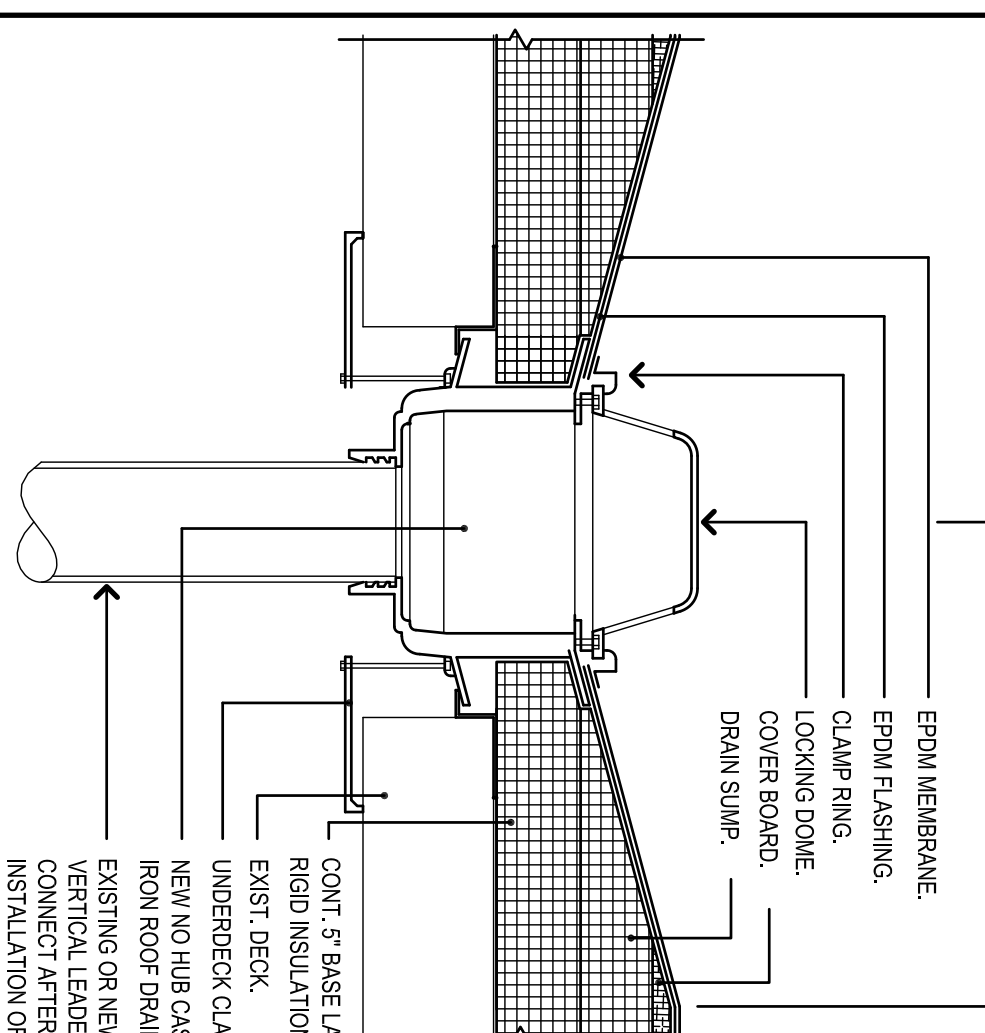
**N ROOF TOP MECHANICAL UNIT - 1**  
1:1/2"=1'-0"



**J SKYLIGHT**  
1:1/2"=1'-0"



**E VENT STACK**  
1:1/2"=1'-0"



**A ROOF DRAIN**  
1:1/2"=1'-0"

Project Title: PARTIAL ROOF REPLACEMENT AT:  
**BEECHER ROAD ELEMENTARY SCHOOL**  
40 BEECHER ROAD,  
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203 230 9007 silverpetrucci.com

Revised: \_\_\_\_\_ Date: \_\_\_\_\_  
Drawings: \_\_\_\_\_  
Contractor To Install: \_\_\_\_\_

Drawing Title: **ROOF DETAILS**  
Scale: 1:1/2"=1'-0"  
Date: \_\_\_\_\_  
Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Project Number: 23 108