

## **Manufacturing Operation Expansion Project Community Reinvestment Project Area Plan and Budget**

Chromalox Inc.

April 5, 2023

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## **Section 1: Background on Participant and Project Area Development Description**

*17C-5-105(7)*

Chromalox Inc. (hereafter “Chromalox” or “Participant”), with the assistance of JLL, a global commercial real estate services company, provides this Community Reinvestment Project Area Plan and Budget for the creation of the Chromalox Community Reinvestment Area (“CCRA” or “Project Area”) and associated participation agreement for its proposed manufacturing expansion in Weber County, UT “Project”.

Since its establishment in 1976, Chromalox has operated a 184,000 SF manufacturing facility in Weber County providing highly efficient, modular, and scalable electric heating solutions for decarbonization of process heating, hot water, and steam generation systems.

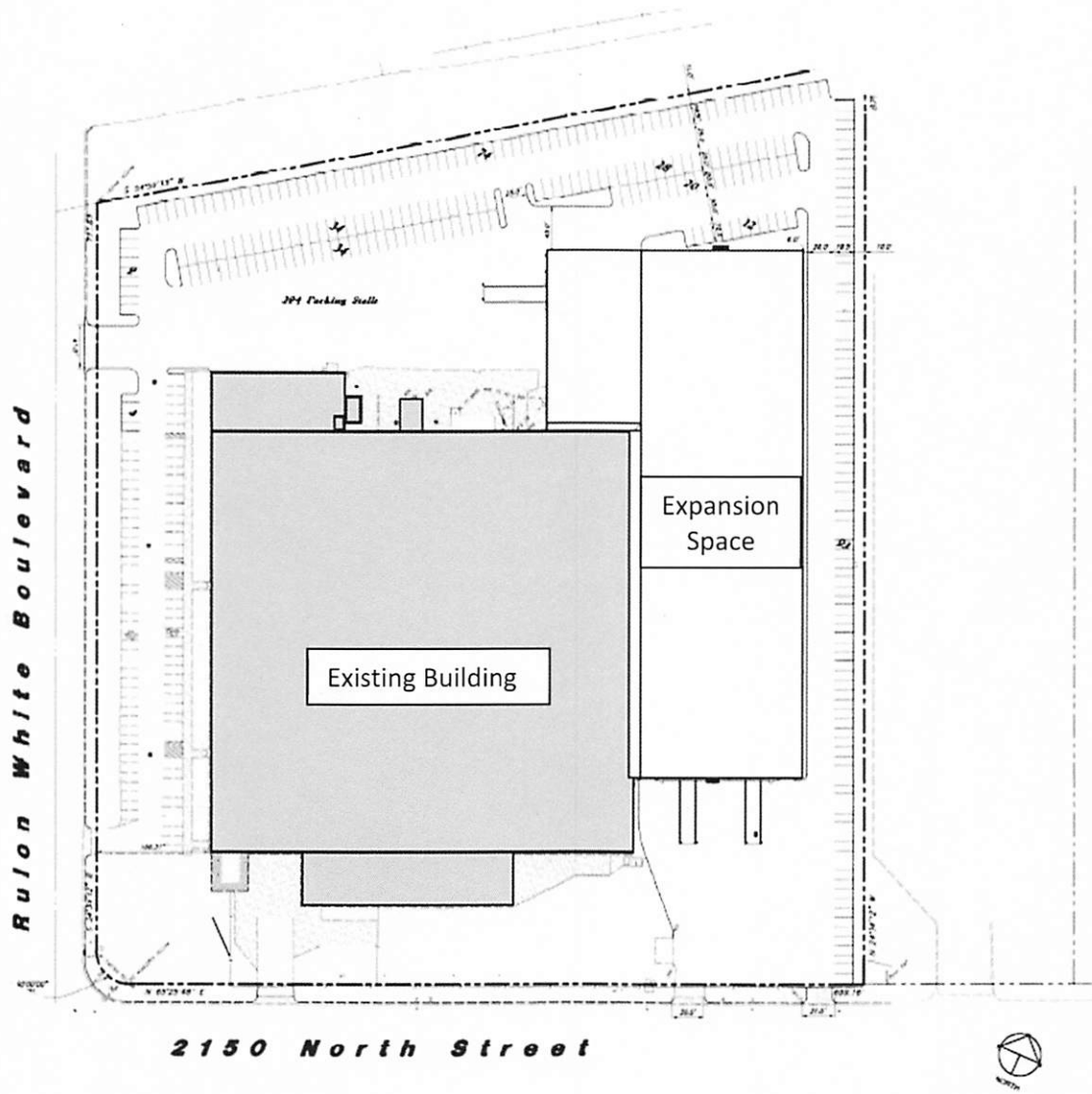
Chromalox is considering upgrades to the existing facility and expansion of the footprint to address critical business needs including increased production capacity as well as employee recruiting, retention and safety initiatives such as improvements to HVAC, roof and parking. This expansion would involve over \$43.5M in building infrastructure improvements including 103,500 SF of expansion space as well as approximately \$12.7M in new machinery and equipment, furniture, IT equipment signage and other personal property and represent a long-term future commitment to operations in Weber County. This expansion has the potential to create approximately 155 additional jobs over 10 years.

## **Section 2: Boundary Description and Map of the Community Reinvestment Project Area**

*17C-5-105(1) and 17C-5-105(2)*

The proposed Project would be located on Chromalox’s existing owned property located at 2150 N Rulon White Blvd, Ogden, UT 84404 (“Property” or “Chromalox Community Reinvestment Project Area”) as illustrated on Figure 1 Site map and Figure 2 Vicinity Map below. The Property is located on Weber County Tax Parcel 19-064-0014.

**Figure 1**  
Site Map



**Figure 2**  
Vicinity Map



### **Section 3: Project Area Characteristics and Effect of Community Reinvestment**

*17C-5-105(2)*

All improvements made within the Community Reinvestment Project Area shall be properly permitted through Weber County and built in a manner consistent with the applicable building codes and zoning requirements on the parcel.

#### **Existing Land Use**

The property is currently owned and held by Heat Asset Acquisition Corp., a real estate holding company and wholly owned subsidiary of Chromalox, Inc. and serves as one of the company's manufacturing facilities producing electric heat and control products. It is anticipated that future real property investments and expansion on the Property will also be owned and held by Heat Asset Acquisition Corp. or another company which is also a subsidiary of Chromalox, Inc.'s ultimate parent company, Spirax-Sarco Engineering, plc. Current and future personal property will be held by Chromalox, Inc.

### **Primary Streets Layout**

As an existing operational business in Weber County, Chromalox's Property and the proposed expansion thereon shall not require any modifications to the principal streets surrounding the parcel as shown on the below Figure 3 Aerial of Property. The existing roadways and access points shall continue to be utilized.

**Figure 3**  
Aerial of Property



### **Population Density**

This Project is limited to commercial development and there is no residential component. Therefore, population density will not be affected by the Project.

### **Building Density**

The Project would expand the building footprint within the proposed Community Reinvestment Project Area from 184,000 square feet to approximately 287,500 square feet. The enlarged total building (excluding parking) will encompass approximately 47% of the 14.04 acre parcel.

### **Section 4: Standards to Guide the Project Area Development**

*17C-5-105(3)*

Chromalox will seek to utilize a general contractor with ample experience and quality track record in Weber County and the State of Utah and will abide by all County and other jurisdictions, as applicable, building codes and ordinances. All setback, height, materials and other building standards required by the county will be adhered to.

### **Section 5: Community Reinvestment Furthers Purpose of Project Area Development**

*17C-5-105(4)*

Chromalox's expansion project and the creation of a Community Reinvestment Project Area aligns with the purposes of Title 17C of the Utah State Code through a variety of attributes and activities of the project including:

- Retention of existing manufacturing related jobs in Weber County,
- Creation of new manufacturing jobs in Weber County,
- Investing in significant building infrastructure and equipment,
- Providing commercial industrial space
- Altering and improving an existing structure

### **Section 6: Consistency of Proposed Project to the Community's General Plan**

*17C-5-105(5)*

Chromalox's proposed Project and the creation of the CCRA are consistent with Weber County's General Plan.

### **Section 7: Reduced Impediments in Community Reinvestment Area through Project Area Development**

*17C-5-105(6)*

Chromalox's current manufacturing facility located in the proposed Community Reinvestment Area was originally designed in the 1970s to produce electric heaters with flange diameters up to 20" (6.1 meters) 12 and lengths up to 12' (3.7 meters). The heaters have doubled in size since the facility was built. The current portfolio, including products in development, boasts heaters with 60" (18.3 meters) flanges diameters and lengths up to 23' (7.0 meters). As such, the

products have evolved in the electric heat and control products industry requiring significant upgrades to the facility to address the following challenges:

- Colleague safety, satisfaction, retention, and recruiting issues
- Almost six months of past due backlog due to limited production capacity impacting customer satisfaction
- Compliance with the One Planet Initiative, as Ogden is one of the largest consumers of energy and producers of GHG emissions in the Group
- Productivity due to outdated manufacturing technology
- Lack of cooling during the summer months has dramatically impacted employee retention and MGO quality

## **Section 8: Participant Selections by Agency**

*17C-5-105(8)*

The property is currently owned by Heat Asset Acquisition Corp., but it is expected that for internal administration purposes, ownership may soon be transferred to another US company which is also a subsidiary of Spirax-Sarco Engineering, plc (“Spirax-Sarco”), Chromalox, Inc.’s ultimate parent company. Spirax-Sarco is a UK-based industrial engineering company that was founded in 1888, has been listed on the London Stock Exchange since 1959, and acquired the Chromalox business in 2017. Therefore, the selection of the Participant by the Agency would be Chromalox and other subsidiaries of Spirax-Sarco Engineering plc.

## **Section 9: Reasons Agency Selected the Community Reinvestment Project Area**

*17C-5-105(9)*

Chromalox’s consideration of expanding operations on its existing owned Property is preferred over other potential development sites in Weber County and would be far less disruptive to current production processes. Through Chromalox’s due diligence, it was determined that the Property is worthy of additional investment in building infrastructure improvements and is large enough and configured appropriately to meet Chromalox’s needs.

## **Section 10: Physical, Social and Economic Conditions in Community Reinvestment Project Area**

*17C-5-105(10)*

Chromalox’s consideration of expanding operations in the Project Area will improve the physical, social and economic conditions of the site. From a physical perspective, expanding the footprint of the manufacturing operation will further demonstrate the highest and best use of the Project Area. Socially, the improvements planned for the building including roof and HVAC enhanced will benefit both the current and future employees and allow Chromalox to



better recruit and retain talent in Weber County. And lastly, economic conditions will improve in the Project Area as a result of this expansion project through the significant investment in the property driving incremental taxes, the creation of additional jobs in Weber County leading to additional disposable income and spending in Weber County.

## **Section 11: Tax Incentives Offered to Private Entities for Facilities Located in the Project Area**

*17C-5-105(11)*

Tax Increment resulting from an expansion of operations on the Property within the Project Area shall be allocated by Chromalox over the 15 year term to offset the cost of expanding the building by approximately 100,000 SF in Weber County and allowable uses under the Act. This Tax Increment Financing (“TIF”) Incentive would represent meaningful tax savings to Chromalox and beneficial to its pursuit of an operational expansion in Weber County.

It is the intent of this plan to have the Agency negotiate and execute an interlocal agreement with the below entities to allow Agency to receive the Tax Increment generated by the expansion over the term as shown in Figures 4 (Request for Tax Increment) and Figure 5 (Proposed Allocation of Tax Increment) below.

**Figure 4**  
Request for Tax Increment

| <b>Taxing Jurisdiction</b>   | <b>Duration (Years)</b> | <b>Participation Level</b> |
|------------------------------|-------------------------|----------------------------|
| Weber County                 | 15                      | 70%                        |
| Weber County School District | 10                      | 50%                        |
| Weber Fire District          | 10                      | 50%                        |

**Figure 5**  
Proposed Allocation of Tax Increment

| <b>TIF Allocations</b>      | <b>% of TIF</b> |
|-----------------------------|-----------------|
| CRA Project                 | 87.5%           |
| CRA Housing Requirement*    | 10.0%           |
| Project Area Administration | 2.5%            |

*\* When TIF proceeds to Agency do not exceed \$100K in a given year, the CRA Housing Requirement shall be 0% and the CRA Project % revised to 97.5% for the year.*

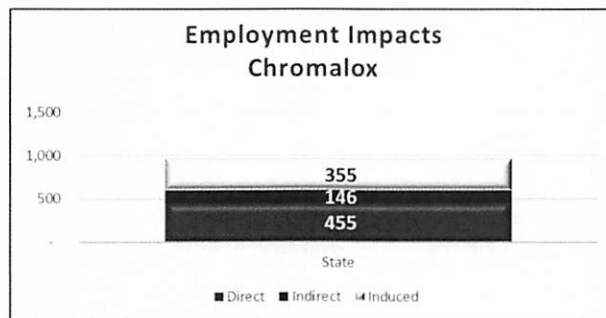
## **Section 12: Anticipated Public Benefit**

*17C-5-105(12)*

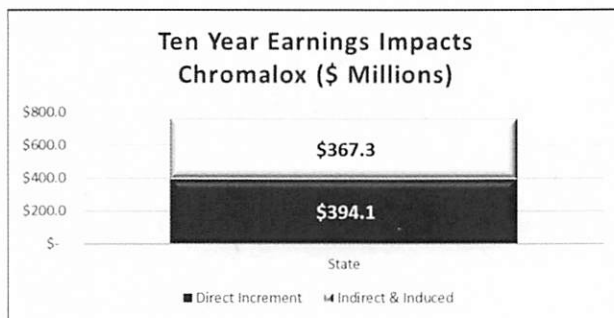
Upon achieving full ramp up of the facility with expected capital investment of over \$56M, and the potential creation of 155 new, over the next 10 years, of full-time jobs above its current

headcount of approximately 300 at the site, the project is projected to have a significant positive economic and fiscal impact on Weber County and the State of Utah. In this scenario, using Lightcast™ (formerly known as EMSI) economic data, it's estimated that the project would have an employment “multiplier” effect of 2.10 – i.e., for each full-time job maintained or created by Chromalox, 1.10 additional positions (a total of 146 indirect, and 355 induced, jobs) may result in Utah (Figure 6). This model shows over a 15-year period, these direct, indirect and induced jobs would be projected to produce total earnings of \$761.4M (Figure 7), and state and local tax revenues of \$163.5M (Figure 8).

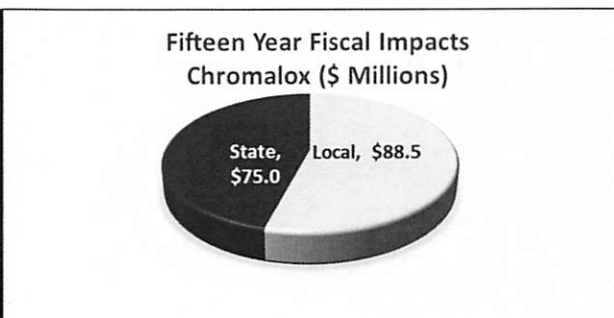
**Figure 6**



**Figures 7**



**Figure 8**



### **Section 13: Agency to Comply with Section 9-8-404 as required under Section 17C-5-106**

17C-5-105(13)

Not Applicable

### **Section 14: Requirements for Community Reinvestment Project Area Plans Adopted by Agency Prior to May 14, 2019**

17C-5-105(14)

Not Applicable

## Section 15: Additional Information for Agency

17C-5-105(15)

### Project Timeline

It is expected that the Project would complete construction and equipping the expanded facility by 12/31/2024. The project has the potential to create an estimated 155 new jobs over the first 10 years of operations after completion of construction and start of production.

### Project Investment Breakdown

Below is the anticipated capital investment breakdown for the proposed project in Figure 9. Chromalox seeks to invest over \$56M to expand and improve its operations in Weber County. Funding for this Project would be from internal company resources.

**Figure 9**  
Capital Investment Breakdown

| <b>Investment Category</b>           | <b>Capital Investment</b> |
|--------------------------------------|---------------------------|
| <b>Building Infrastructure Costs</b> | <b>\$ 43,601,891</b>      |
| <i>Design Build Base Building</i>    | <i>\$ 24,700,000</i>      |
| <i>Geothermal HVAC</i>               | <i>\$ 9,500,000</i>       |
| <i>Photovoltaic</i>                  | <i>\$ 4,700,000</i>       |
| <i>Consultant Fees</i>               | <i>\$ 1,530,000</i>       |
| <i>Contingency</i>                   | <i>\$ 3,171,891</i>       |
| <b>Manufacturing Equipment</b>       | <b>\$ 11,474,749</b>      |
| <i>Manufacturing Eqpt</i>            | <i>\$ 10,260,000</i>      |
| <i>Equipment Inflation</i>           | <i>\$ 380,000</i>         |
| <i>Contingency</i>                   | <i>\$ 834,749</i>         |
| <b>Furniture</b>                     | <b>\$ 841,194</b>         |
| <i>Furniture</i>                     | <i>\$ 780,000</i>         |
| <i>Contingency</i>                   | <i>\$ 61,194</i>          |
| <b>IT Equipment</b>                  | <b>\$ 334,321</b>         |
| <i>IT Equipment</i>                  | <i>\$ 310,000</i>         |
| <i>Contingency</i>                   | <i>\$ 24,321</i>          |
| <b>Signage &amp; Branding</b>        | <b>\$ 107,845</b>         |
| <i>Signage &amp; Branding</i>        | <i>\$ 100,000</i>         |
| <i>Contingency</i>                   | <i>\$ 7,845</i>           |
| <b>Grand Total</b>                   | <b>\$ 56,360,000</b>      |

# Exhibit A

## Project Area Budget

17C-5-303

The following information is provided to Weber County, Weber County School District and Weber Fire District "Taxing Entities" to assist in understanding the positive economic impact of Chromalox's manufacturing expansion considering Weber County, Utah.

### 2022 Base Taxable Value

17C-5-303-1(a)

| Existing Property                  | Taxable Value           |
|------------------------------------|-------------------------|
| Real Property - Parcel 19-064-0014 | \$ 9,719,000.00         |
| Personal Property on Real Property | \$ 5,277,992.00         |
| <b>Total</b>                       | <b>\$ 14,996,992.00</b> |

### Tax Increment to be Generated within the Community Reinvestment Area "CRA" for Project

17C-5-303-1(b) and 17C-5-303-1(c)

| Taxing Jurisdiction          | Duration<br>(Years) | Total Tax Increment    | Total Tax Increment<br>NPV at 5% |
|------------------------------|---------------------|------------------------|----------------------------------|
| Weber County                 | 15                  | \$ 1,374,740.06        | \$ 967,502.53                    |
| Weber County School District | 15                  | \$ 3,761,741.34        | \$ 2,647,405.41                  |
| Weber Fire District          | 15                  | \$ 730,167.84          | \$ 513,871.13                    |
| <b>Total</b>                 |                     | <b>\$ 5,866,649.24</b> | <b>\$ 4,128,779.08</b>           |

### Tax Increment to be Paid to Taxing Entities

17C-5-303-1(d)

| Taxing Jurisdiction          | Duration<br>(Years) | Total Tax Increment to<br>Taxing Entities | Total Tax Increment<br>NPV at 5% |
|------------------------------|---------------------|---|----------------------------------|
| Weber County                 | 15                  | \$ 412,422.02                             | \$ 290,250.76                    |
| Weber County School District | 15                  | \$ 2,451,153.02                           | \$ 1,626,856.03                  |
| Weber Fire District          | 15                  | \$ 475,777.82                             | \$ 315,778.74                    |
| <b>Total</b>                 |                     | <b>\$ 3,339,352.86</b>                    | <b>\$ 2,232,885.54</b>           |

**Portion of Community Reinvestment Project Area that Tax Increment Applies**  
*17C-5-303-1(e)*

100% of Community Reinvestment Project Area will collect the tax increment

**Percentage of Tax Increment the Agency is  
Authorized to Receive from the CRA for Project**  
*17C-5-303-1(f), 17C-5-303-1(g) and 17C-5-303-5*

| <b>Taxing Jurisdiction</b>   | <b>CRA Share as % of Total<br/>TIF</b> | <b>Total Tax Increment to<br/>CRA</b> | <b>Total Tax Increment<br/>NPV at 5%</b> |
|------------------------------|--|---------------------------------------|--|
| Weber County                 | 70% - 15 Yr                            | \$ 962,318.04                         | \$ 677,251.77                            |
| Weber County School District | 50% - 10 Yr                            | \$ 1,310,588.32                       | \$ 1,020,549.38                          |
| Weber Fire District          | 50% - 10 Yr                            | \$ 254,390.02                         | \$ 198,092.39                            |
| <b>Total</b>                 |  | <b>\$ 2,527,296.38</b>                | <b>\$ 1,895,893.54</b>                   |
|                              |  |                                       |  |
| <b>Uses of CRA Share</b>     | <b>Breakout of CRA Share</b>           |                                       |  |
| CRA Project                  | 87.5%                                  | \$ 2,240,561.94                       | \$ 1,674,417.22                          |
| CRA Housing Requirement*     | 10%                                    | \$ 223,552.03                         | \$ 174,078.99                            |
| Project Area Administration  | 2.5%                                   | \$ 63,182.41                          | \$ 47,397.34                             |
| <b>Total</b>                 | <b>100%</b>                            | <b>\$ 2,527,296.38</b>                | <b>\$ 1,895,893.54</b>                   |

*\* When TIF proceeds to Agency do not exceed \$100K in a given year, the CRA Housing Requirement shall be 0% and the CRA Project % revised to 97.5% for the year.*

**Percentage and Collection of Sales Tax Revenue to be Received by Agency**  
*17C-5-303-2(a) and 17C-5-303-2(b)*

Not Applicable

**Sale of Agency Owed Property**  
*17C-5-303-6*

Not Applicable

**Project Area Funds Used by Agency to Implement the Community Reinvestment Project  
Area Plan and Agency's Combined Incremental Value**  
*17C-5-303-3 and 17C-5-303-4*

As outlined in Section 15 of the Community Reinvestment Project Area Plan, Chromalox seeks to investment over \$56M to expand and improve its operations in Weber County. Funding for this project would be from internal company resources. The estimated \$2.5M of project area funds are expected to be used by the Agency to implement the Community Reinvestment Project Area Plan for building infrastructure improvements.

## Detailed Investment Projections and Full Project Area Budget

| Year   | 15              | TOTAL              | NPV                | 1                   | 2                   | 3                   | 4                   | 5                   | 6                   | 7                   |
|--|-----------------|--------------------|--------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|
| Year   |                 |                    |                    | 2025                | 2026                | 2027                | 2028                | 2029                | 2030                | 2031                |
| Total base year taxable value                      |                 |                    |                    | \$14,996,992        | \$14,996,992        | \$14,996,992        | \$14,996,992        | \$14,996,992        | \$14,996,992        | \$14,996,992        |
| Real property taxable value                        |                 |                    |                    | \$43,601,891        | \$43,601,891        | \$43,601,891        | \$43,601,891        | \$43,601,891        | \$43,601,891        | \$43,601,891        |
| Personal property taxable value                    |                 |                    |                    | \$12,373,101        | \$11,803,678        | \$11,213,656        | \$10,504,896        | \$9,485,325         | \$8,223,966         | \$6,714,130         |
| <b>TOTAL incremental value</b>                     |                 |                    |                    | <b>\$55,974,992</b> | <b>\$55,405,568</b> | <b>\$54,815,546</b> | <b>\$54,106,786</b> | <b>\$53,087,216</b> | <b>\$51,825,856</b> | <b>\$50,316,021</b> |
| TOTAL assessed value                               |                 |                    |                    | \$70,971,984        | \$70,402,560        | \$69,812,538        | \$69,103,778        | \$68,084,208        | \$66,822,848        | \$65,313,013        |
| <b>Base Year Tax Revenues to Taxing Entities</b>   |                 |                    |                    |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$415,492          | \$287,511          | \$27,699            | \$27,699            | \$27,699            | \$27,699            | \$27,699            | \$27,699            | \$27,699            |
| Weber County School District                       | 0.005054        | \$1,136,922        | \$786,724          | \$75,795            | \$75,795            | \$75,795            | \$75,795            | \$75,795            | \$75,795            | \$75,795            |
| Weber Fire District                                | 0.000981        | \$220,681          | \$152,706          | \$14,712            | \$14,712            | \$14,712            | \$14,712            | \$14,712            | \$14,712            | \$14,712            |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$1,773,094</b> | <b>\$1,226,941</b> | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    |
| <b>100% of Tax Increment</b>                       |                 |                    |                    |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$1,374,740        | \$967,503          | \$103,386           | \$102,334           | \$101,244           | \$99,935            | \$98,052            | \$95,722            | \$92,934            |
| Weber County School District                       | 0.005054        | \$3,761,741        | \$2,647,405        | \$282,898           | \$280,020           | \$277,038           | \$273,456           | \$268,303           | \$261,928           | \$254,297           |
| Weber Fire District                                | 0.000981        | \$730,168          | \$513,871          | \$54,911            | \$54,353            | \$53,774            | \$53,079            | \$52,079            | \$50,841            | \$49,360            |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$5,866,649</b> | <b>\$4,128,779</b> | <b>\$441,195</b>    | <b>\$436,707</b>    | <b>\$432,056</b>    | <b>\$426,470</b>    | <b>\$418,433</b>    | <b>\$408,491</b>    | <b>\$396,591</b>    |
| <b>Contribution Amounts of Taxing Entities</b>     |                 |                    |                    |                     |                     |                     |                     |                     |                     |                     |
| 70%  | 0.001847        |                    |                    | 70%                 | 70%                 | 70%                 | 70%                 | 70%                 | 70%                 | 70%                 |
| 50%  | 0.005054        |                    |                    | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 |
| 50%  | 0.000981        |                    |                    | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 |
| <b>Incremental Tax Revenues to Taxing Entities</b> |                 |                    |                    |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$412,422          | \$290,251          | \$31,016            | \$30,700            | \$30,373            | \$29,981            | \$29,416            | \$28,717            | \$27,880            |
| Weber County School District                       | 0.005054        | \$2,451,153        | \$1,626,856        | \$141,449           | \$140,010           | \$138,519           | \$136,728           | \$134,151           | \$130,964           | \$127,149           |
| Weber Fire District                                | 0.000981        | \$475,778          | \$315,779          | \$27,456            | \$27,176            | \$26,887            | \$26,539            | \$26,039            | \$25,421            | \$24,680            |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$3,339,353</b> | <b>\$2,232,886</b> | <b>\$199,920</b>    | <b>\$197,887</b>    | <b>\$195,779</b>    | <b>\$193,248</b>    | <b>\$189,606</b>    | <b>\$185,101</b>    | <b>\$179,709</b>    |
| <b>Incremental Tax Revenues to Agency</b>          |                 |                    |                    |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$962,318          | \$677,252          | \$72,370            | \$71,634            | \$70,871            | \$69,955            | \$68,636            | \$67,006            | \$65,054            |
| Weber County School District                       | 0.005054        | \$1,310,588        | \$1,020,549        | \$141,449           | \$140,010           | \$138,519           | \$136,728           | \$134,151           | \$130,964           | \$127,149           |
| Weber Fire District                                | 0.000981        | \$254,390          | \$198,092          | \$27,456            | \$27,176            | \$26,887            | \$26,539            | \$26,039            | \$25,421            | \$24,680            |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$2,527,296</b> | <b>\$1,895,894</b> | <b>\$241,275</b>    | <b>\$238,820</b>    | <b>\$236,277</b>    | <b>\$233,222</b>    | <b>\$228,827</b>    | <b>\$223,390</b>    | <b>\$216,882</b>    |
| <b>AGENCY BUDGET</b>                               |                 |                    |                    |                     |                     |                     |                     |                     |                     |                     |
| <b>Revenues</b>                                    |                 |                    |                    |                     |                     |                     |                     |                     |                     |                     |
| <b>Incremental Tax Revenues to Agency</b>          |                 |                    |                    |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$962,318          | \$677,252          | \$72,370            | \$71,634            | \$70,871            | \$69,955            | \$68,636            | \$67,006            | \$65,054            |
| Weber County School District                       | 0.005054        | \$1,310,588        | \$1,020,549        | \$141,449           | \$140,010           | \$138,519           | \$136,728           | \$134,151           | \$130,964           | \$127,149           |
| Weber Fire District                                | 0.000981        | \$254,390          | \$198,092          | \$27,456            | \$27,176            | \$26,887            | \$26,539            | \$26,039            | \$25,421            | \$24,680            |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$2,527,296</b> | <b>\$1,895,894</b> | <b>\$241,275</b>    | <b>\$238,820</b>    | <b>\$236,277</b>    | <b>\$233,222</b>    | <b>\$228,827</b>    | <b>\$223,390</b>    | <b>\$216,882</b>    |
| <b>Expenditures</b>                                |                 |                    |                    |                     |                     |                     |                     |                     |                     |                     |
| <b>Administrative Percent</b>                      |                 |                    |                    | 2.5%                | 2.5%                | 2.5%                | 2.5%                | 2.5%                | 2.5%                | 2.5%                |
| Administrative Costs                               |                 | (\$63,182)         | (\$47,397)         | (\$6,032)           | (\$5,971)           | (\$5,907)           | (\$5,831)           | (\$5,721)           | (\$5,585)           | (\$5,422)           |
| <b>Housing Percent</b>                             |                 |                    |                    | 10%                 | 10%                 | 10%                 | 10%                 | 10%                 | 10%                 | 10%                 |
| Housing Costs                                      |                 | (\$223,552)        | (\$174,079)        | (\$24,127)          | (\$23,882)          | (\$23,628)          | (\$23,322)          | (\$22,883)          | (\$22,339)          | (\$21,688)          |
| <b>Remaining Increment for Projects</b>            |                 | <b>\$2,240,562</b> | <b>\$1,674,417</b> | <b>\$211,115</b>    | <b>\$208,968</b>    | <b>\$206,742</b>    | <b>\$204,069</b>    | <b>\$200,224</b>    | <b>\$195,466</b>    | <b>\$189,772</b>    |

## Detailed Investment Projections and Full Project Area Budget (Cont.)

| Year   | 15              | 8                   | 9                   | 10                  | 11                  | 12                  | 13                  | 14                  | 15                  |
|--|-----------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|
| Year   |                 | 2032                | 2033                | 2034                | 2035                | 2036                | 2037                | 2038                | 2039                |
| Total base year taxable value                      |                 | \$14,996,992        | \$14,996,992        | \$14,996,992        | \$14,996,992        | \$14,996,992        | \$14,996,992        | \$14,996,992        | \$14,996,992        |
| Real property taxable value                        |                 | \$43,601,891        | \$43,601,891        | \$43,601,891        | \$43,601,891        | \$43,601,891        | \$43,601,891        | \$43,601,891        | \$43,601,891        |
| Personal property taxable value                    |                 | \$5,443,280         | \$4,057,683         | \$2,795,460         | \$1,533,238         | \$1,533,238         | \$1,533,238         | \$1,533,238         | \$1,533,238         |
| <b>TOTAL incremental value</b>                     |                 | <b>\$49,045,171</b> | <b>\$47,659,573</b> | <b>\$46,397,351</b> | <b>\$45,135,128</b> | <b>\$45,135,128</b> | <b>\$45,135,128</b> | <b>\$45,135,128</b> | <b>\$45,135,128</b> |
| TOTAL assessed value                               |                 | \$64,042,163        | \$62,656,565        | \$61,394,343        | \$60,132,120        | \$60,132,120        | \$60,132,120        | \$60,132,120        | \$60,132,120        |
| <b>Base Year Tax Revenues to Taxing Entities</b>   |                 |                     |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$27,699            | \$27,699            | \$27,699            | \$27,699            | \$27,699            | \$27,699            | \$27,699            | \$27,699            |
| Weber County School District                       | 0.005054        | \$75,795            | \$75,795            | \$75,795            | \$75,795            | \$75,795            | \$75,795            | \$75,795            | \$75,795            |
| Weber Fire District                                | 0.000981        | \$14,712            | \$14,712            | \$14,712            | \$14,712            | \$14,712            | \$14,712            | \$14,712            | \$14,712            |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    | <b>\$118,206</b>    |
| <b>100% of Tax Increment</b>                       |                 |                     |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$90,586            | \$88,027            | \$85,696            | \$83,365            | \$83,365            | \$83,365            | \$83,365            | \$83,365            |
| Weber County School District                       | 0.005054        | \$247,874           | \$240,871           | \$234,492           | \$228,113           | \$228,113           | \$228,113           | \$228,113           | \$228,113           |
| Weber Fire District                                | 0.000981        | \$48,113            | \$46,754            | \$45,516            | \$44,278            | \$44,278            | \$44,278            | \$44,278            | \$44,278            |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$386,574</b>    | <b>\$375,653</b>    | <b>\$365,704</b>    | <b>\$355,755</b>    | <b>\$355,755</b>    | <b>\$355,755</b>    | <b>\$355,755</b>    | <b>\$355,755</b>    |
| <b>Contribution Amounts of Taxing Entities</b>     |                 |                     |                     |                     |                     |                     |                     |                     |                     |
| 70%  | 0.001847        | 70%                 | 70%                 | 70%                 | 70%                 | 70%                 | 70%                 | 70%                 | 70%                 |
| 50%  | 0.005054        | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 |
| 50%  | 0.000981        | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 | 50%                 |
| <b>Incremental Tax Revenues to Taxing Entities</b> |                 |                     |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$27,176            | \$26,408            | \$25,709            | \$25,009            | \$25,009            | \$25,009            | \$25,009            | \$25,009            |
| Weber County School District                       | 0.005054        | \$123,937           | \$120,436           | \$117,246           | \$228,113           | \$228,113           | \$228,113           | \$228,113           | \$228,113           |
| Weber Fire District                                | 0.000981        | \$24,057            | \$23,377            | \$22,758            | \$44,278            | \$44,278            | \$44,278            | \$44,278            | \$44,278            |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$175,170</b>    | <b>\$170,221</b>    | <b>\$165,713</b>    | <b>\$297,400</b>    | <b>\$297,400</b>    | <b>\$297,400</b>    | <b>\$297,400</b>    | <b>\$297,400</b>    |
| <b>Incremental Tax Revenues to Agency</b>          |                 |                     |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$63,411            | \$61,619            | \$59,987            | \$58,355            | \$58,355            | \$58,355            | \$58,355            | \$58,355            |
| Weber County School District                       | 0.005054        | \$123,937           | \$120,436           | \$117,246           | \$0                 | \$0                 | \$0                 | \$0                 | \$0                 |
| Weber Fire District                                | 0.000981        | \$24,057            | \$23,377            | \$22,758            | \$0                 | \$0                 | \$0                 | \$0                 | \$0                 |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$211,404</b>    | <b>\$205,432</b>    | <b>\$199,991</b>    | <b>\$58,355</b>     | <b>\$58,355</b>     | <b>\$58,355</b>     | <b>\$58,355</b>     | <b>\$58,355</b>     |
| <b>AGENCY BUDGET</b>                               |                 |                     |                     |                     |                     |                     |                     |                     |                     |
| <b>Revenues</b>                                    |                 |                     |                     |                     |                     |                     |                     |                     |                     |
| <b>Incremental Tax Revenues to Agency</b>          |                 |                     |                     |                     |                     |                     |                     |                     |                     |
| Weber County                                       | 0.001847        | \$63,411            | \$61,619            | \$59,987            | \$58,355            | \$58,355            | \$58,355            | \$58,355            | \$58,355            |
| Weber County School District                       | 0.005054        | \$123,937           | \$120,436           | \$117,246           | \$0                 | \$0                 | \$0                 | \$0                 | \$0                 |
| Weber Fire District                                | 0.000981        | \$24,057            | \$23,377            | \$22,758            | \$0                 | \$0                 | \$0                 | \$0                 | \$0                 |
| <b>Total</b>                                       | <b>0.007882</b> | <b>\$211,404</b>    | <b>\$205,432</b>    | <b>\$199,991</b>    | <b>\$58,355</b>     | <b>\$58,355</b>     | <b>\$58,355</b>     | <b>\$58,355</b>     | <b>\$58,355</b>     |
| <b>Expenditures</b>                                |                 |                     |                     |                     |                     |                     |                     |                     |                     |
| <b>Administrative Percent</b>                      |                 | <b>2.5%</b>         | <b>2.5%</b>         | <b>2.5%</b>         | <b>2.5%</b>         | <b>2.5%</b>         | <b>2.5%</b>         | <b>2.5%</b>         | <b>2.5%</b>         |
| Administrative Costs                               |                 | (\$5,285)           | (\$5,136)           | (\$5,000)           | (\$1,459)           | (\$1,459)           | (\$1,459)           | (\$1,459)           | (\$1,459)           |
| <b>Housing Percent</b>                             |                 | <b>10%</b>          | <b>10%</b>          | <b>10%</b>          | <b>10%</b>          | <b>10%</b>          | <b>10%</b>          | <b>10%</b>          | <b>10%</b>          |
| Housing Costs                                      |                 | (\$21,140)          | (\$20,543)          | (\$19,999)          | \$0                 | \$0                 | \$0                 | \$0                 | \$0                 |
| <b>Remaining Increment for Projects</b>            |                 | <b>\$184,979</b>    | <b>\$179,753</b>    | <b>\$174,992</b>    | <b>\$56,896</b>     | <b>\$56,896</b>     | <b>\$56,896</b>     | <b>\$56,896</b>     | <b>\$56,896</b>     |

## **Exhibit B**

### **Legal Description of Property**

All of lot 34, Weber Industrial Park Plat "B", Weber County, Utah containing 14.04 acres.

*(Reference: Weber County Utah website (<https://www3.co.weber.ut.us/psearch/>) tax parcel search for tax purposes only)*



## **Exhibit C**

### **Parcel List**

Parcel Number: 19-064-0014