



AIA® Document G701® – 2017

Change Order

PROJECT: *(Name and address)*
Mansfield ISD 2024 Bond Program - A2
Summit High School
Baseball/Softball/Turf & Batting Cages
1071 Turner Warnell Road
Arlington, Texas 7601

CONTRACT INFORMATION:
Contract For: General Construction

Date: May 28, 2025

CHANGE ORDER INFORMATION:
Change Order Number: 001

Date: October 28, 2025

OWNER: *(Name and address)*
Mansfield Independent School District
605 East Broad Street
Mansfield, Texas 76063

ARCHITECT: *(Name and address)*
Huckabee & Associates, Inc.
801 Cherry Street, Suite 500
Fort Worth, Texas 76102

CONTRACTOR: *(Name and address)*
Lee Lewis Construction
17177 Preston Road, Suite 160
Dallas, Texas 75248

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Relocation of new batting cages and baseball bull phen

The original Guaranteed Maximum Price was	\$	6,626,421.00
The net change by previously authorized Change Orders	\$	0.00
The Guaranteed Maximum Price prior to this Change Order was	\$	6,626,421.00
The Guaranteed Maximum Price will be increased by this Change Order in the amount of	\$	225,369.00
The new Guaranteed Maximum Price including this Change Order will be	\$	6,851,790.00

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

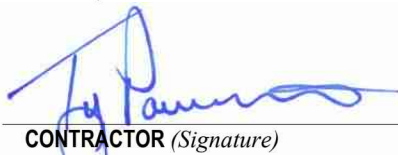
NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.


ARCHITECT *(Signature)*

BY: Joshua Cogburn, AIA 28423
(Printed name, title, and license number if required)

11.04.25

Date


CONTRACTOR *(Signature)*

Ty Parsons - EVP
(Printed name and title)

11/06/2025

Date

OWNER *(Signature)*

(Printed name and title)

Date



Lee Lewis Construction Inc. - HQ
7810 Orlando Avenue
Lubbock, Texas 79423
Phone: (806) 797-8400

Project: 25-2568 - Mansfield ISD Summit HS Fields
1071 Turner Warnell Road
Arlington, Texas 76001

Prime Contract Change Order #09: CE #009 - RFP#04 - Batting Cage & Bullpen Relocation

TO:	MANSFIELD ISD 203 HILLCREST ST MANSFIELD, Texas 76063	FROM:	Lee Lewis Construction, Inc. - HQ 7810 Orlando Ave. Lubbock, Texas 79423
DATE CREATED:	10/21/2025	CREATED BY:	Austin Acuff (Lee Lewis Construction, Inc. - HQ)
CONTRACT STATUS:	Pending - In Review	REVISION:	0
REQUEST RECEIVED FROM:	Austin Acuff	LOCATION:	Summit HS BB/SB
DESIGNATED REVIEWER:		REVIEWED BY:	
DUE DATE:	11/07/2025	REVIEW DATE:	
INVOICED DATE:		PAID DATE:	
REFERENCE:	CE#009	CHANGE REASON:	Design Development
PAID IN FULL:	No	EXECUTED:	No
ACCOUNTING METHOD:	Amount Based	SCHEDULE IMPACT:	0 days
SIGNED CHANGE ORDER RECEIVED DATE:		REVISED SUBSTANTIAL COMPLETION DATE:	
FIELD CHANGE:	No	CONTRACT FOR:	1:PO# 9582500303 Lee Lewis - SHS BBSB
		TOTAL AMOUNT:	\$225,369.00

DESCRIPTION:
CE #009 - RFP#04 - Batting Cage Relocation

Summary of Changes: Revise location of batting cages and revise grading around baseball and softball fields to maintain existing practice field. Baseball field first base side bullpen has been relocated to outfield along with associated lighting specific to the bullpen.

Although LLCI does not anticipate a change to the overall Contract Time as a result of this major layout change, we respectfully reserve our rights to assess any cumulative effect of this as the work is implemented into the job.

Pricing is good until due date listed above.

ATTACHMENTS:
CHANGE ORDER LINE ITEMS:

#	Budget Code	Description	Amount
1	2-540.2 SYNTHETIC SURFACING.SUBS / POS	Subcontractor shall provide all labor, materials, equipment, and supervision to make changes in accordance with RFP#04, including but not limited to providing additional excavation, retaining wall bordering the baseball field and additional material for drainage pipe for relocated. This includes all material, labor and equipment.	\$93,234.00
2	3-300.2 CAST-IN-PLACE CONCRETE.SUBS / POS	Subcontractor shall provide all labor, materials, equipment, and supervision to make changes in accordance with RFP#04, including but not limited to providing sawcut & removal of existing concrete, concrete retaining wall (includes excavation, concrete footing, concrete vertical wall, drainage material & backfill) and added concrete	\$49,588.00

#	Budget Code	Description	Amount
		sidewalks/ramps/steps. This pricing includes all materials, labor and equipment necessary.	
3	5-120.2 STRUCTURAL STEEL.SUBS / POS	Subcontractor shall provide all labor, materials, equipment, and supervision to make changes in accordance with RFP#04, including but not limited to providing and installing additional handrail as added. This includes all material, labor and equipment.	\$32,153.00
4	2-700.2 SEWERAGE AND DRAINAGE.SUBS / POS	Subcontractor shall provide all labor, materials, equipment, and supervision to make changes in accordance with RFP#04, including but not limited to crediting of changed PVC and HDPE pipe, crediting of old size catch basin, providing new added PVC pipe, changed HDPE pipe, larger catch basin, trench drain and plan revision submission. This pricing includes all labor, materials and equipment.	\$29,176.00
5	16-050.2 BASIC ELECT. MATERIALS & METHO.SUBS / POS	Subcontractor shall provide all labor, materials, equipment, and supervision to make changes in accordance with RFP#04, including but not limited to extending light pole conduit around new bullpen location, extending scoreboard conduit around new bullpen location and additional conduit and wire for relocated bullpen lighting. This price includes all materials, labor and equipment necessary.	\$2,895.00
6	7-100.2 WATERPROOFING.SUBS / POS	Subcontractor shall provide all labor, materials, equipment, and supervision to make changes in accordance with RFP#04, including but not limited to additional joint sealants as shown on C3.00. This price includes all material, labor and equipment necessary.	\$1,724.00
7	1-091.1 PERFORMANCE & PAYMENT BONDS.MATERIALS	Bond cost	\$4,176.00
8	1-092.1 BUILDER'S RISK.MATERIALS	Insurance Cost	\$3,550.00
9	1-002.1 FEE.MATERIALS	Fee	\$8,873.00
Grand Total:			\$225,369.00

The original (Contract Sum)	\$6,626,421.00
Net change by previously authorized Change Orders	\$0.00
The contract sum prior to this Change Order was	\$6,626,421.00
The contract sum would be changed by this Change Order in the amount of	\$225,369.00
The new contract sum including this Change Order will be	\$6,851,790.00
The contract time will not be changed by this Change Order.	

Huckabee INC. (HUCKABEE INC)
MANSFIELD ISD
 203 HILLCREST ST
 MANSFIELD, Texas 76063

Lee Lewis Construction, Inc. - HQ
 7810 Orlando Ave.
 Lubbock , Texas 79423

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____


 10/22/2025
 SIGNATURE _____ DATE _____

ABLE ELECTRIC SERVICE
ELECTRIC CONTRACTORS
PO BOX 540606
DALLAS TX 75354-0606
PHONE NO. (214)-350-5721 FAX NO. (214)350-0839

DATE: September 24, 2025

RFP #4

TO: LEE LEWIS CONSTRUCTION INC
17177 PRESTON ROAD, SUITE 160
Dallas, TEXAS
ATTN: Austin Acuff
Ph: (972) 818-0100
Fax:(972) 818 0706
RE: Summit HS Field

We are pleased to provide our proposal for the above referenced project. We will furnish and install conduit and wire as needed for RFP #4. See list below for items included, any items not listed will be an extra charge. **This price is only good for 5 days.**

1. Extend existing pole light conduit around new Bull Pen Location (30').
2. Extend Existing Score Board conduit around new Bull Pen location (30').
3. Extend new pole light to new Bull Pen location (220').

Exclusions

1. All Fire Alarm devises and wiring (Excluded).
2. All Security devises and wiring (Excluded).
3. All Concrete work (Excluded).
4. All cutting of concrete (Excluded).
5. All cutting of masonry block, brick or masonry (Excluded).
6. All repair of masonry finishes (Excluded).

TOTAL AMOUNT FOR THE CHANGE: \$2,895.00

SINCERELY,
STAN GREEN, PROJECT MANAGER

ACCEPTED _____
DATE _____

#	Description	Length	Count	Lab Hr.
1	1" PVC TRENCH	250.00	1.00	21.43
	Drawing - No Drawing			
	Area - BUILDING A			
	Phase - MAIN FLOOR			
	System - LIGHTING			
	Bid item - BASE BID			
	Lb Factor - STANDARD			
	1" CONDUIT - PVC40	250		
	1" COUPLING - PVC		4	
	1" ELBOW 90 DEG - RMC - GALV		2	
	#10 THHN BLACK	250		
	#10 THHN GREEN	250		

EXT New pole light conduit

EXT Existing pole light 30'

#	Description	Length	Count	Lab Hr.
2	1" PVC TRENCH	30.00	2.00	3.38
	Drawing - No Drawing			
	Area - BUILDING A			
	Phase - MAIN FLOOR			
	System - LIGHTING			
	Bid item - BASE BID			
	Lb Factor - STANDARD			
	1" CONDUIT - PVC40	30		
	1" COUPLING - PVC		8	
	#10 THHN BLACK	30		
	#10 THHN SOLID GREEN	30		

Route Score board and existing pole light around new bull pen

	Direct Labor	Crew %	Hours	Cost \$	Brdn %	Brdn \$	Frng \$	Full Cost	Extended Cost	Rate	Total	Code	Type
1	JOURNEYMAN	50.000	12.41	66.00	38.000	25.08		91.08	1,130.30	91.08	1,130.30		
2	FOREMAN @ 25%	50.000	12.41	51.00	38.000	19.38		70.38	873.42	70.38	873.42		
3	PROJECT MANAGER @ 12.5%	4.930	1.22	100.00	38.000	38.00		138.00	168.36	138.00	168.36		
	Totals	104.930	26.04	60.44	38.000	22.97		83.41	2,172.08	83.41	2,172.08		

	Summary	%	Value
	General Materials		459.73
	General Materials Adjustment		
	Quoted Materials		
	Quoted Materials Adjustment		
	Material Adjustment		
	Material Tax		
	Material Overhead		
	Material Markup		
	Total Material		459.73
	Direct Labor		2,172.08
	Indirect Labor		
	Labor Burden		
	Labor Fringes		
	Labor Tax		
	Labor Overhead		
	Labor Markup		
	Total Labor		2,172.08
	General Expenses		
	Equipment		
	Sub Total		2,631.81
	Credit (\$)		
	Discount (%)		
	Overhead	10.000	263.18
	Markup		
	Sub Total		2,894.99
	Subcontracts		
	Unit Prices		
	Sub Total		2,894.99
	Credit (\$)		
	Discount (%)		
	Adjustment #1		
	Adjustment #2		
	Adjustment #3		
	Final Adjustment		
	Selling Price		2,894.99

	Summary	%	Value
	VAT		
	Final Amount		2,894.99



CHANGE ORDER REQUEST

Project Name: MISD Summit HS BB/SB Renovation
Project Address: 1071 Turner Warnell Rd.
Arlington TX 76001

PROJECT NUMBER: 25-231
CONTRACT DATE: 07/11/25

TO CONTRACTOR/OWNER REP:

Lee Lewis Constructin Inc
17177 Preston Rd. Suite 160
Dallas, TX 75248
Phone: 972-818-0700

CHANGE ORDER REQUEST No: 01
REQUEST DATE: August 28, 2025
CREATED BY: Stephanie Vidales

GENERAL SCOPE OF WORK: Division 07 - Joint Sealants

Change (add or delete) the following work to the original contract:

CHANGE ORDER REQUEST DESCRIPTION: RFP #4 - Batting Cage Relocation

Added paving and sidewalks around batting cages, per sheet C3.00 dated 04.15.2025

Item: 01	Labor: 20 hours @\$45.00/hr ,Materials: 45SSL , NP1 \$668.00	\$	1,724.80
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Supplies: Blades, Xylene, Rags, Cones\$125.00 OH/P : 10% \$156.80			
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Item: 02		\$	-
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Notes:	Please reference RFP#4 for changes.	\$	-
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The Total Value of this Change Order Request is..... \$ 1,724.80

Above additional work to be performed under the same conditions as specified in the original contract agreement unless noted otherwise.

No changes for additional work will be performed without a written change order request.

This change will add 1 work days to the contract completion date.

CONTRACTOR/OWNER REPRESENTATIVE

Lee Lewis Constructin Inc
17177 Preston Rd. Suite 160
Dallas, TX 75248
Address

Print: _____

Signature: _____

Date: _____

SUBCONTRACTOR


ANGEL TWC LLC
12002 Forestgate Drive
Dallas, TX 75243
Address

Print: _____

Signature: _____

Date: _____

Please sign and return 1 Copy



!!!CAUTION!!!

EXISTING OVERHEAD & UNDERGROUND UTILITIES IN THE VICINITY.
VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES
BY VACUUM EXCAVATION OR OTHER POTHOLING TECHNIQUES.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

① PROPOSED DRAINAGE STRUCTURE. REFER TO DRAINAGE PLAN (TYP)

② UTILIZE EXISTING IRRIGATION SYSTEM TO PROVIDE BELOW GRADE QUICK COUPLER IN PURPLE VALVE BOX FOR WASH DOWN PURPOSES. ENSURE QUICK COUPLER CAN BE PRESSURIZED ON DEMAND COORDINATE NECESSARY PARTS AND PROPER INSTALLATION WITH IRRIGATION SYSTEM MANUFACTURER. TYP. EACH DUGOUT.

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY LANGAN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES FOUND BETWEEN THE TOPOGRAPHIC INFORMATION AND THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) PRIOR TO ANY CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS AND THE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E) WHICH NEGATIVELY IMPACT THE PROJECT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER OF ANY DISCREPANCIES FOUND FROM THE CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

PROPOSED REINFORCED CONCRETE SIDEWALK

PROPOSED CHAIN LINK FENCE

PARKING:

A ACCESSIBLE PARKING SPACES SHALL BE, AS NOTED TO A MIN. 90' WIDE OR A MIN. 132' WIDE ON VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE PARKING SPACE FOR NO LESS THAN ONE VAN SPACE FOR EVERY 6 ACCESSIBLE SPACES.

B EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR PAINTED) SIGN SHOWING THE MINIMUM CLEARANCE HEIGHT. APPROPRIATE VAN ACCESSIBLE SPACES MUST INCORPORATE "VAN ACCESSIBLE" BELOW THE MINIMUM CLEARANCE SIGN. SIGN HEIGHT SHALL BE NOTED TO BE 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF SIGN.

ALL ACCESSIBLE AREAS SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO BE 70' WIDE MINIMUM.

RAMP:

D RAMP(S) EXCEEDING 6" IN RISE (INCLUDING CURB RAMP) SHALL HAVE APPROPRIATE GUIDE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 36" AND 42" EXTENDING THE FULL LENGTH OF THE RAMP. RAMP(S) SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR 30' AND 70' BOTTOM LANDINGS SERVING THE RAMP(S).

E RAMP(S) SHALL HAVE A SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLORED OR RAMP HINCH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE IF SIGNIFICANTLY CONTRAST FROM SURROUNDING SURFACES OR COLORS ONLY TO BE REQUIRED BY LOCAL OR STATE JURISDICTION.

F LANDINGS FOR RAMP(S) SHALL BE AT LEAST THE RAMP AND 60' LONG MINIMUM AND 60' WIDE MINIMUM.

G RAMP(S) SHALL NOT EXCEED A 12% RUNNING SLOPE OR 30° RISE.

H RAMP(S) AND LANDINGS SHALL NOT EXCEED 148" (48" CROSS SLOPE).

SIDEWALKS AND ACCESSIBLE ROUTES:

I SIDEWALKS MUST BE AT LEAST 36" WIDE WITH 5% CROSS PASSING ORPORTS IN INCREMENTS LESS THAN 150'.

J SIDEWALK CROSS SLOPE SHALL NOT EXCEED 148% (2%)

K LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1.50%.

Revision / Date

Project:

This drawing was prepared by LANGAN ENGINEERING, (LANGAN) as an instrument of service, and shall remain the property of LANGAN. The information herein shall be used only by the client to whom the services are rendered and only for the purpose of constructing or installing the work as shown at the designated location and site. Any other use, including (without limitation) any reproduction or alteration, is strictly prohibited, and the user shall hold harmless and indemnify LANGAN from all liabilities which may arise from



SITE & UTILITY PLAN

Sheet No.

11

H 63

C3.00

- 1) DISPLAYED RE-ROUTED ELECTRIC LINES AROUND OUTFIELD OF SOFTBALL FIELD
- 1) ADDED PROPOSED FIRE HYDRANT EAST OF PROPOSED BATTING CAGES
- 2) ADDED VIEW PORT TO SHOW THE OVERALL WATER LINE CONNECTIONS
- 1) REVISED LOCATION OF PROPOSED BATTING CAGES BUILDING
- 2) ADDED RETAINING WALLS AT BASEBALL OUTFIELD PERIMETER AND WEST OF BUILDING
- 3) REVISED BASEBALL BULLPEN LOCATION
- 4) REVERSED PAVEMENT EAST & SOUTHWEST OF BUILDING
- 5) REVISED FIRE HYDRANT LOCATION NORTH OF BUILDING
- 6) REVISED 10" & 4" WATER LINES ALIGNMENTS

CURB RAMP NOTES

NOTES:

- CROSS SLOPE NOT TO EXCEED 2% ON ANY PORTION OF RAMP OR TRANSITION SURFACE.
 - RAMPS SHALL BE CONSTRUCTED PER ADA & APPLICABLE STATE ACCESSIBILITY STANDARDS.
 - CURB RAMPS SHALL BE MONOLITHIC POUR & SEPARATED FROM SITE PAVING WITH A DOWELED EXPANSION JOINT.
- DETECTABLE WARNING SURFACE (PUBLIC RIGHT-OF-WAY):
- TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
 - TRUNCATED DOMES TO RUN PARALLEL TO PEDESTRIAN TRAVEL.
 - DETECTABLE WARNING PAVERS, OR PLATES MEETING ADA & STATE REQUIREMENTS ARE ACCEPTABLE.
- GROOVED SURFACE (RAMP FLARE):
- FLARED CURB RAMP SURFACES SHALL BE TEXTURED WITH GROOVES 1/4" DEEP, 3/4" WIDE, 2" APART AND ARRANGED SO THAT WATER WILL NOT ACCUMULATE IN THE GROOVES.
 - FLARED CURB RAMP SURFACE SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF THE ADJOINING PEDESTRIAN ROUTE WHEN SPECIFIED.

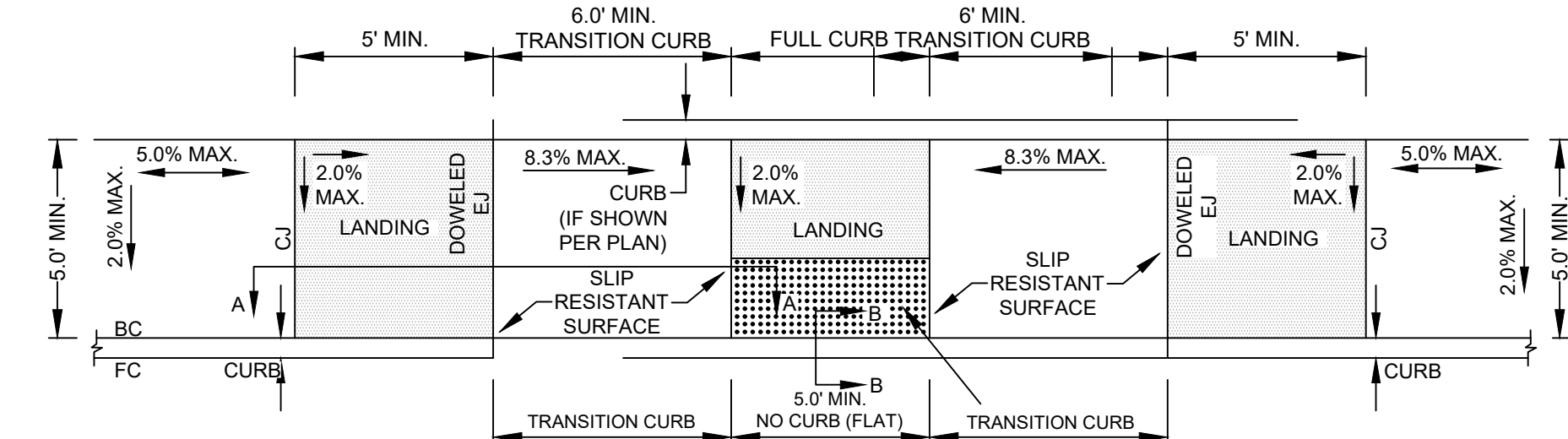
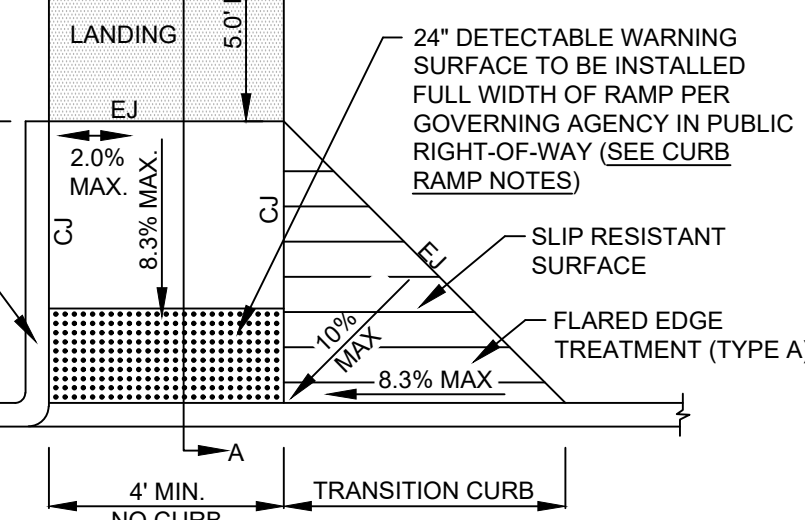
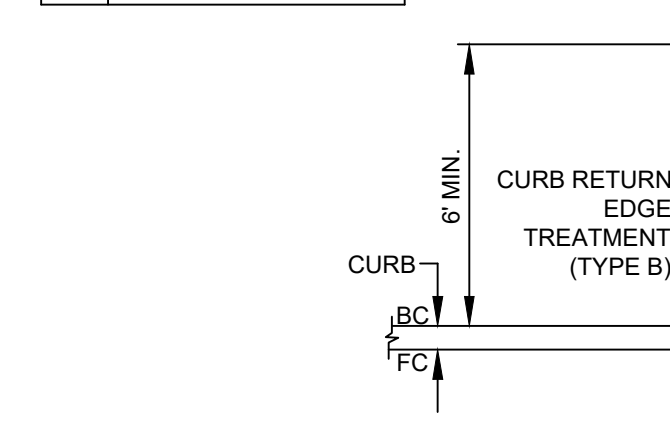
LEGEND

EJ	EXPANSION JOINT
CJ	CONSTRUCTION JOINT
BC	BACK OF CURB
FC	FACE OF CURB

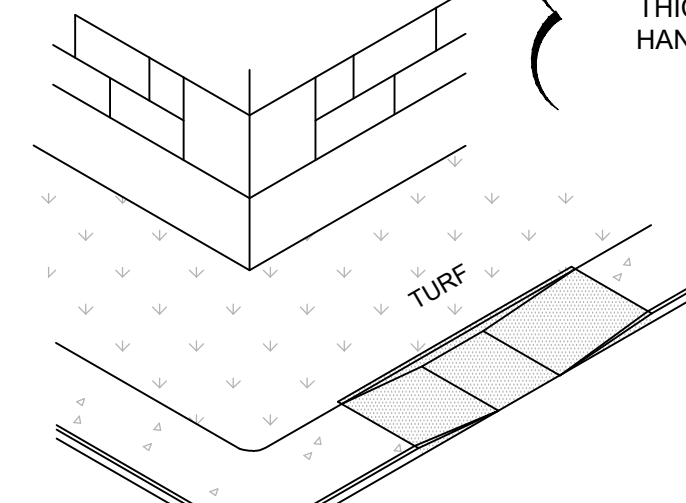
NOTE:
IF "X" IS LESS THAN 48" THEN THE SLOPE OF THE FLARED SIDE SHALL NOT EXCEED 1:12.

LEGEND

EJ	EXPANSION JOINT
CJ	CONSTRUCTION JOINT
BC	BACK OF CURB
FC	FACE OF CURB



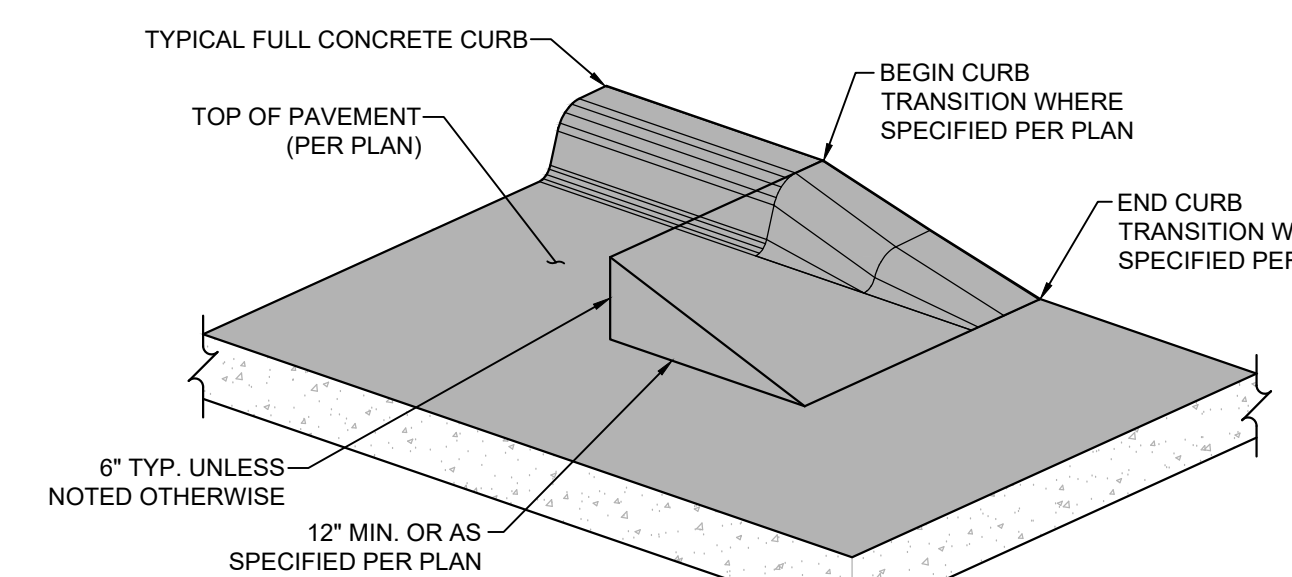
1) ADDED TYPICAL STAIR, TYPICAL WING WALL, CONCRETE RETAINING WALL, THICKENED PAVEMENT EDGE, AND HAND RAIL DETAILS



SECTION A-A

CURB RAMP DETAIL

N.T.S. - FLARED OR RETURN CURB



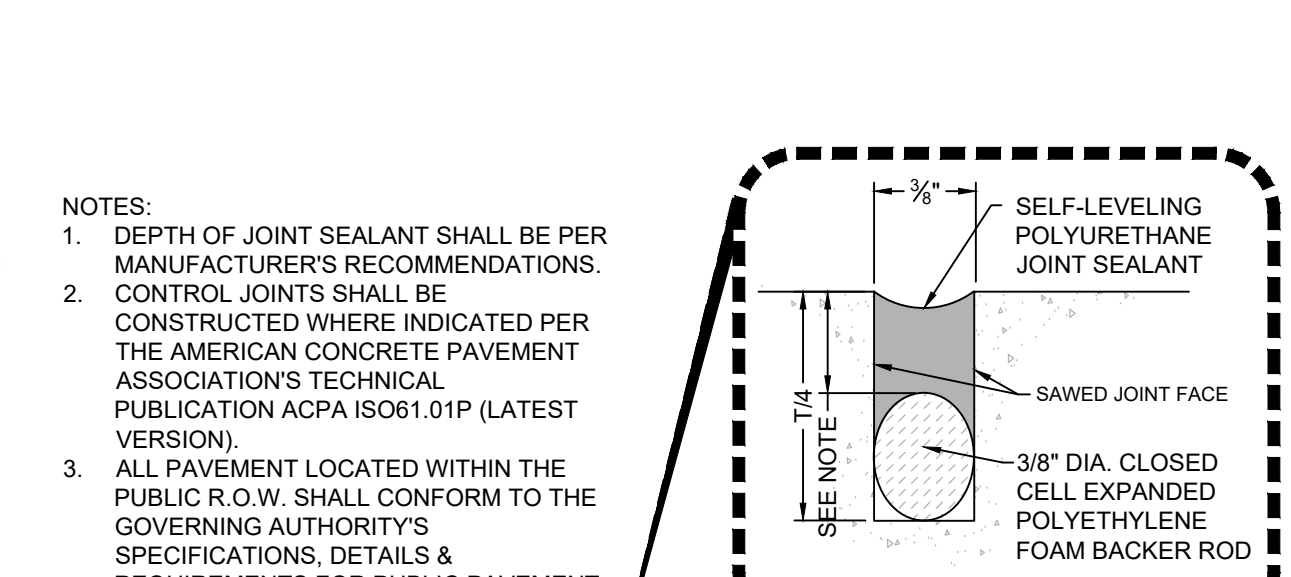
CURB TRANSITION/TERMINATION

N.T.S.

SECTION A-A

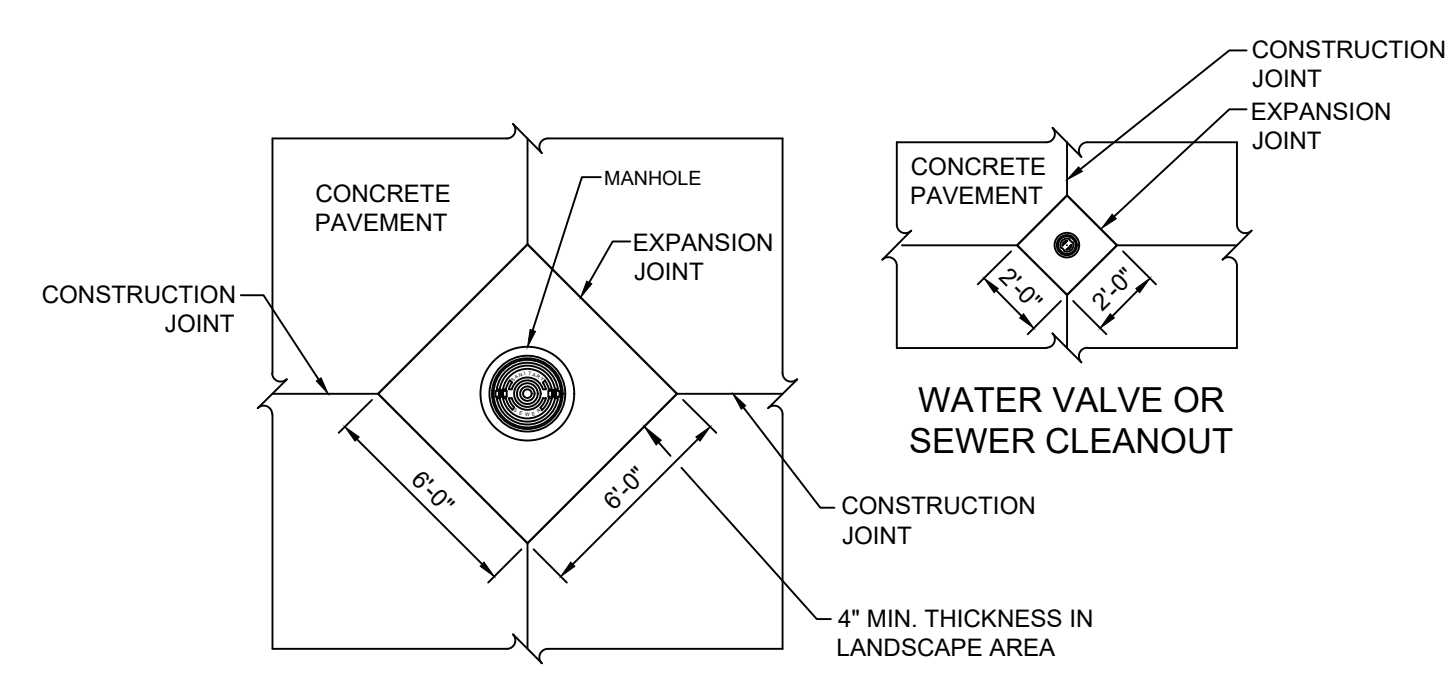
PARALLEL CURB RAMP DETAIL

N.T.S. - SIDEWALK PARALLEL TO CURB



CONTROL JOINT (CONTRACTION)

N.T.S.

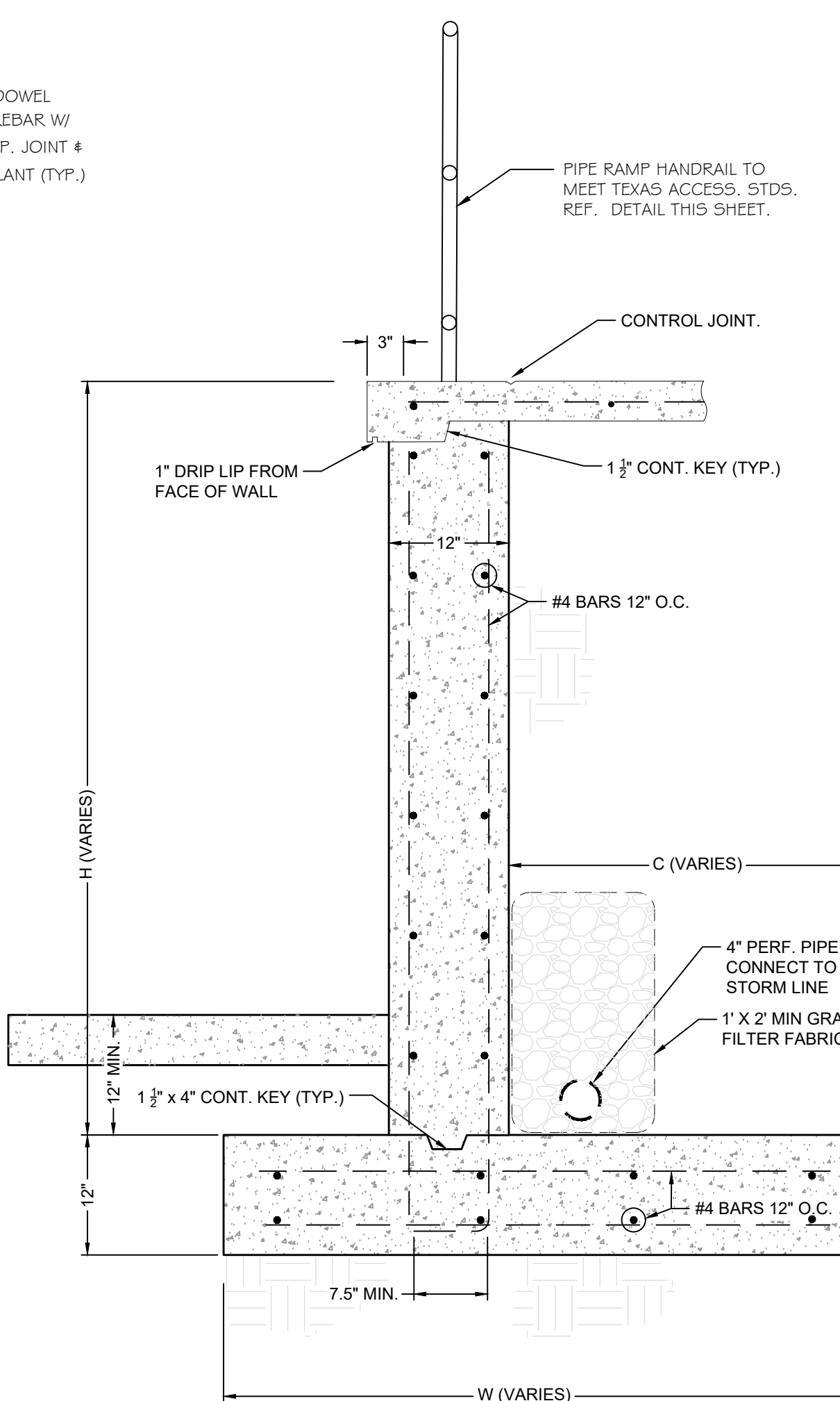


NOTES:

- ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES.
- BOXOUT REQUIRED FOR ALL MANHOLES (STORM AND SANITARY) AND CLEANOUTS LOCATED IN PCC PAVEMENT.
- MANHOLE BOXOUT SHALL BE 6"x6" SQUARE AND ALIGNED WITH PAVEMENT JOINTING.
- WATER VALVE & SANITARY CLEANOUTS SHALL BE PLACED IN BOXOUTS 2'x2' SQUARE ALIGNED WITH PAVEMENT JOINTING.
- MANHOLES OR VALVES LOCATED IN LANDSCAPE AREAS SHALL INCLUDE 4" MIN. CONCRETE COLLAR TO THE DIMENSIONS INDICATED ABOVE AND SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
- ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

MH / VALVE / CLEANOUT DETAIL

N.T.S.



RETAINING WALL NOTES:

- THE RETAINING WALL IS DESIGNED TO SUPPORT A NOMINAL SURCHARGE OF 100 PSF.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH IS 4,000 PSI @ 28 DAYS.
- MINIMUM CONCRETE COVER:
 - 1" 1/2" CAST AGAINST FORMS.
 - 3" CAST AGAINST EARTH.
- DEVELOPMENT AND SPLICE LENGTHS SHALL CONFORM TO ACI STANDARDS.

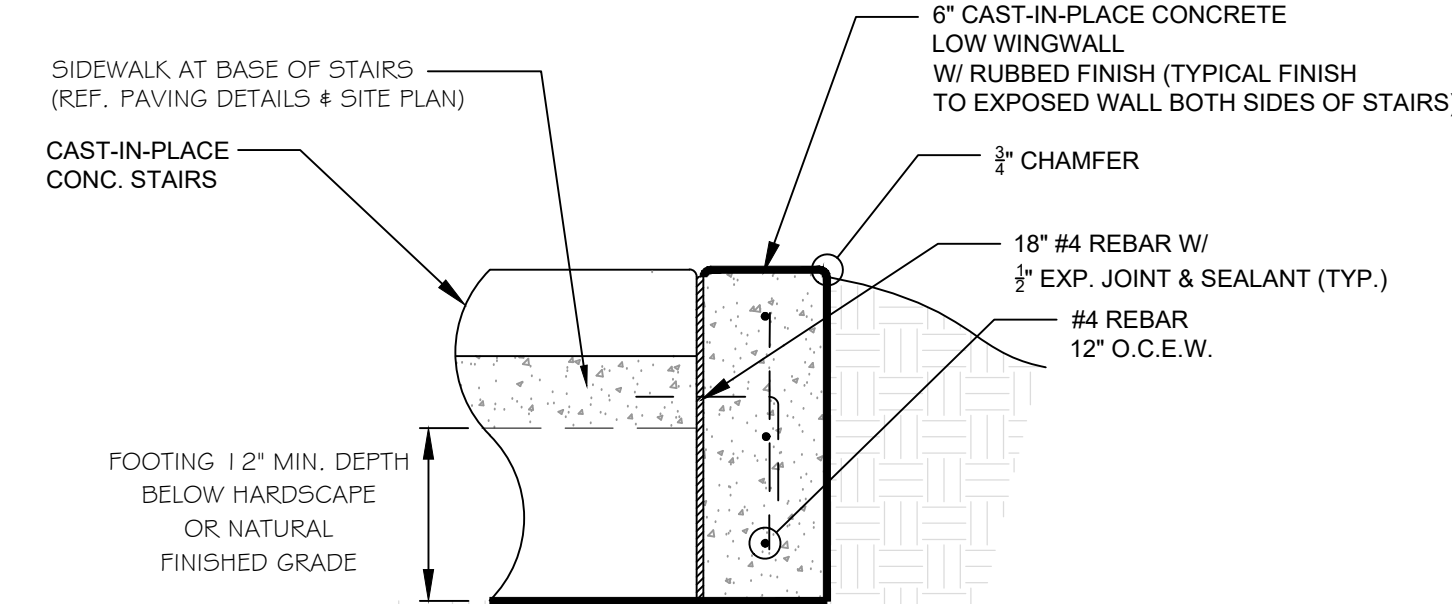
STEM HEIGHT H	BASE WIDTH W	HEEL C
UP TO 18"	2'-3"	1'-3"
< 3'-0"	3'-0"	1'-9"
< 4'-0"	3'-9"	2'-3"
< 5'-0"	4'-6"	2'-9"

CONCRETE RETAINING WALL

N.T.S.

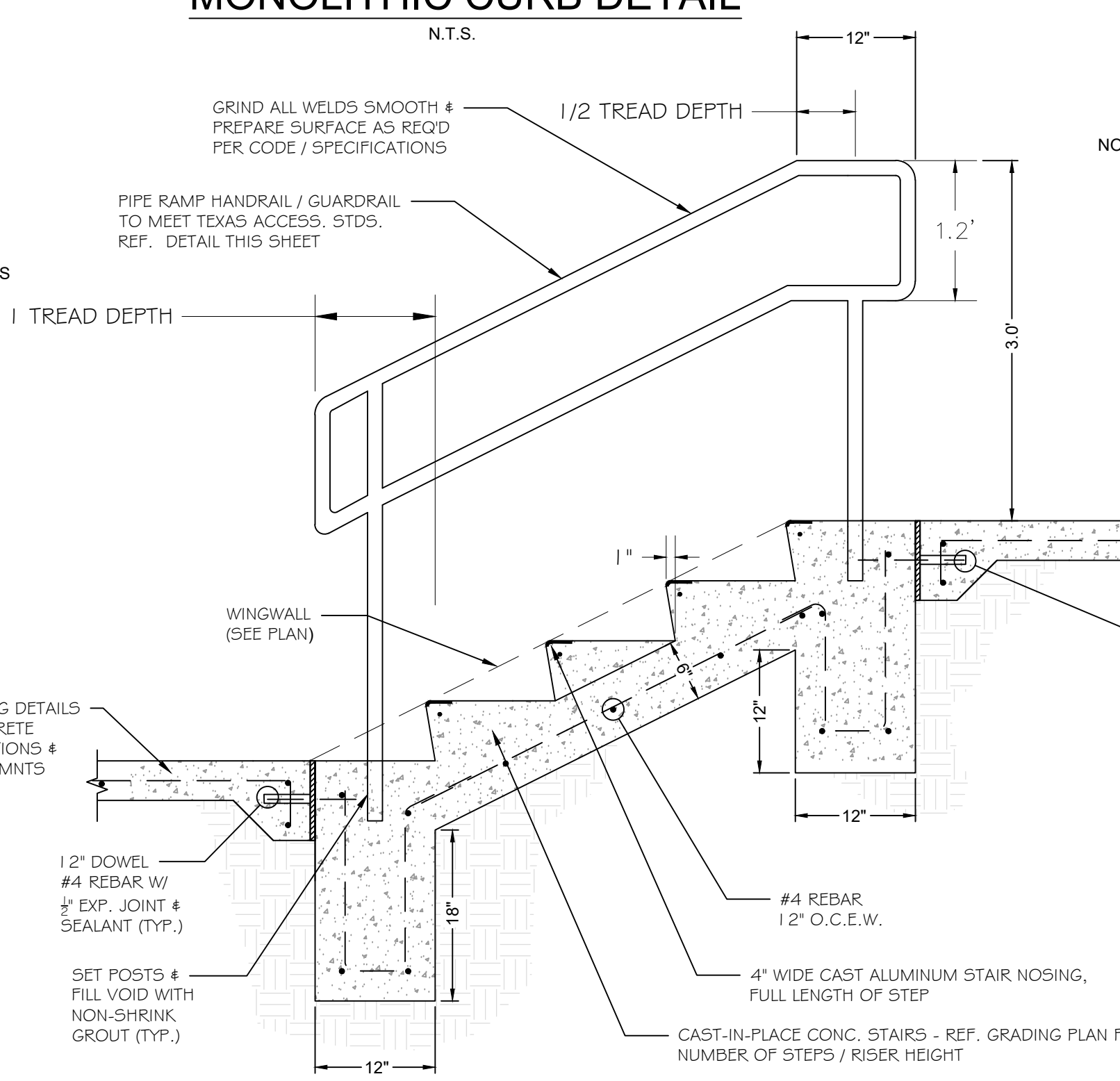
TYPICAL WING WALL DETAIL

N.T.S.



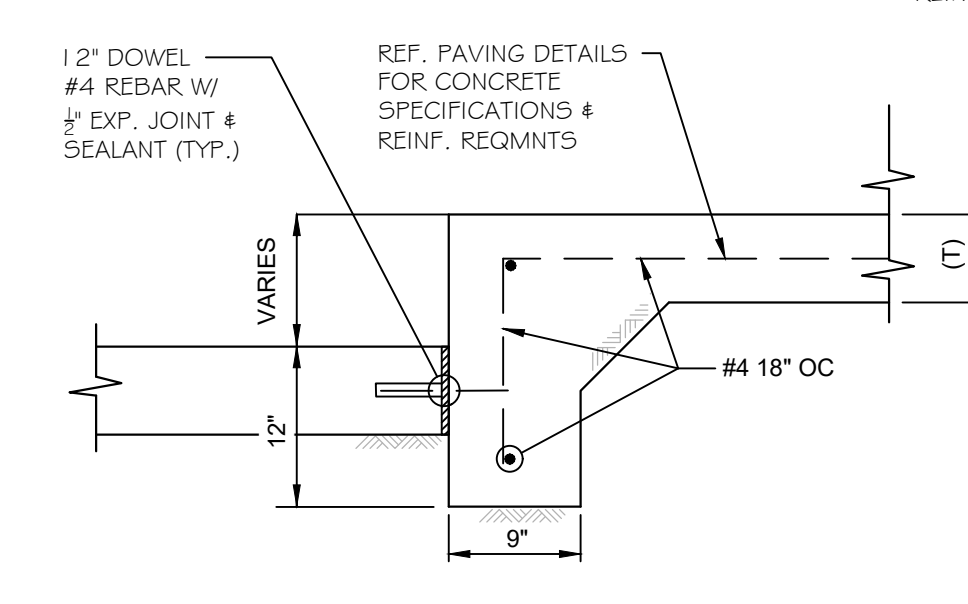
TYPICAL STAIR DETAIL

N.T.S.



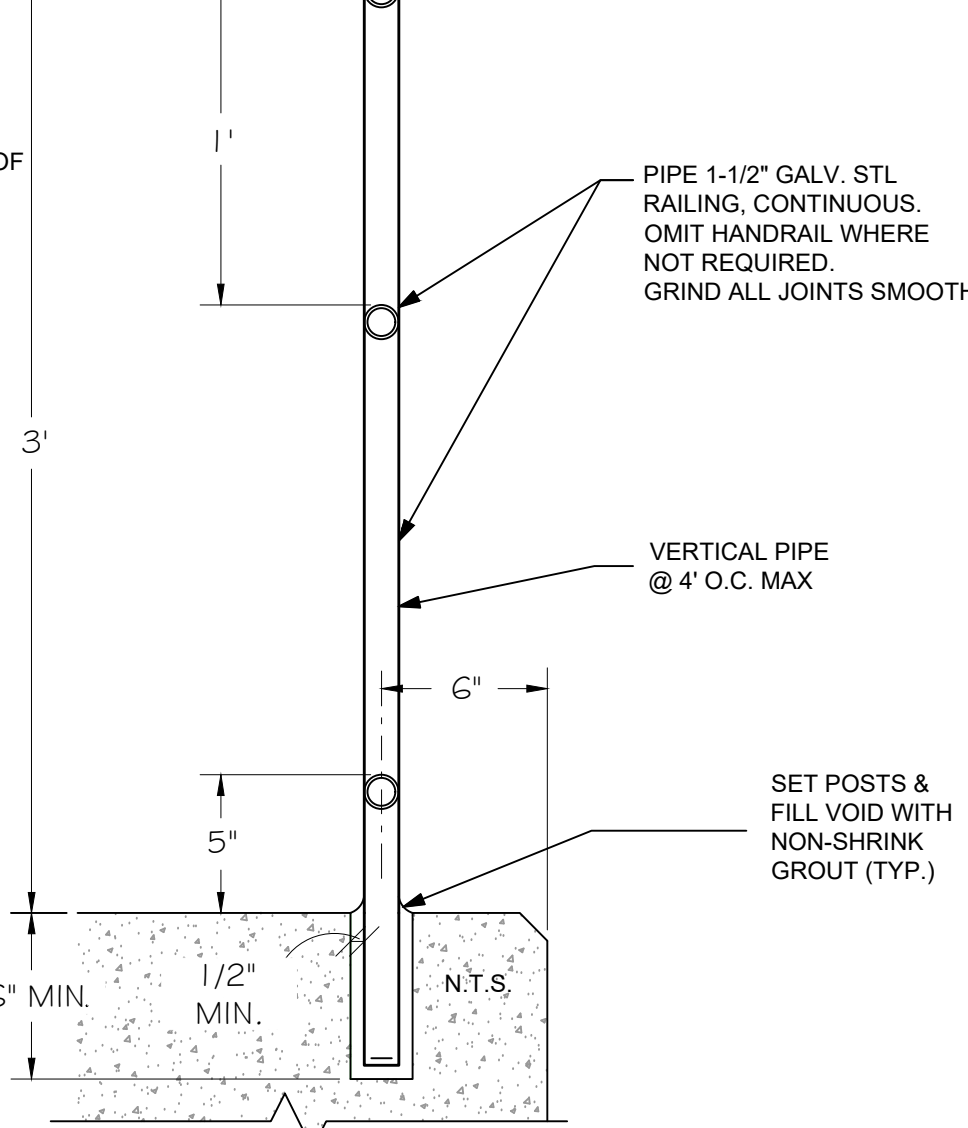
TYPICAL JOINT LAYOUT

N.T.S.



THICKENED PAVEMENT EDGE

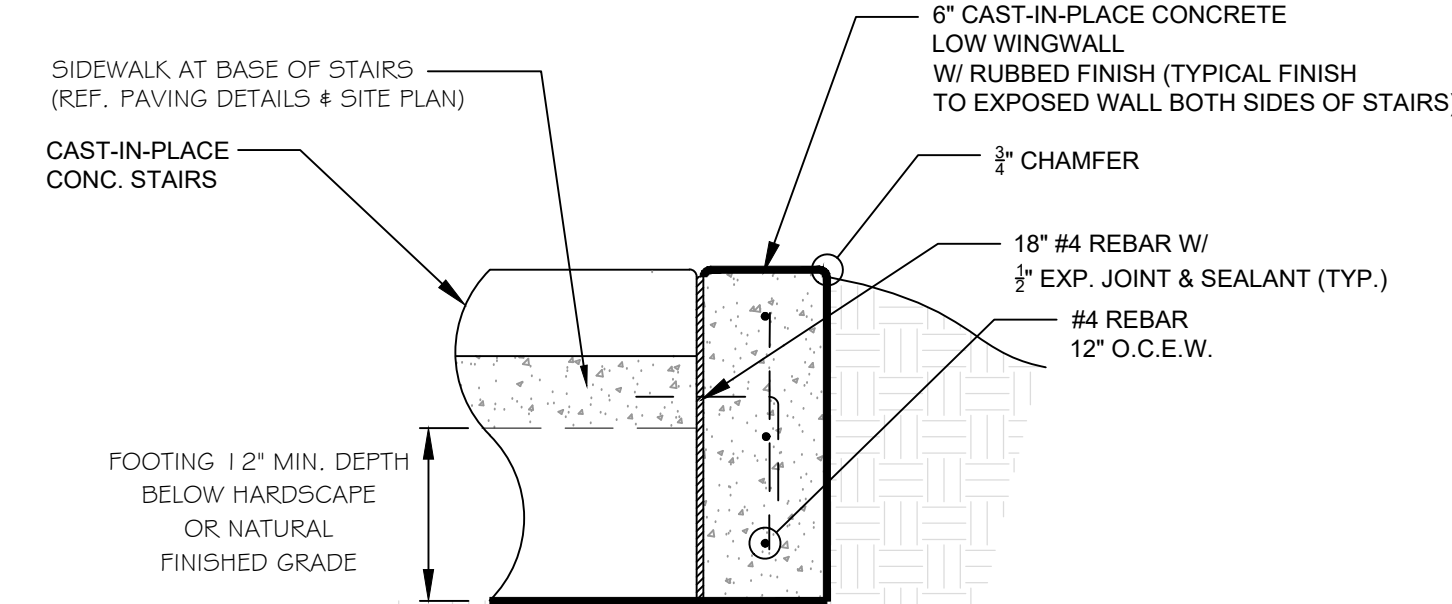
N.T.S.



HANDRAIL

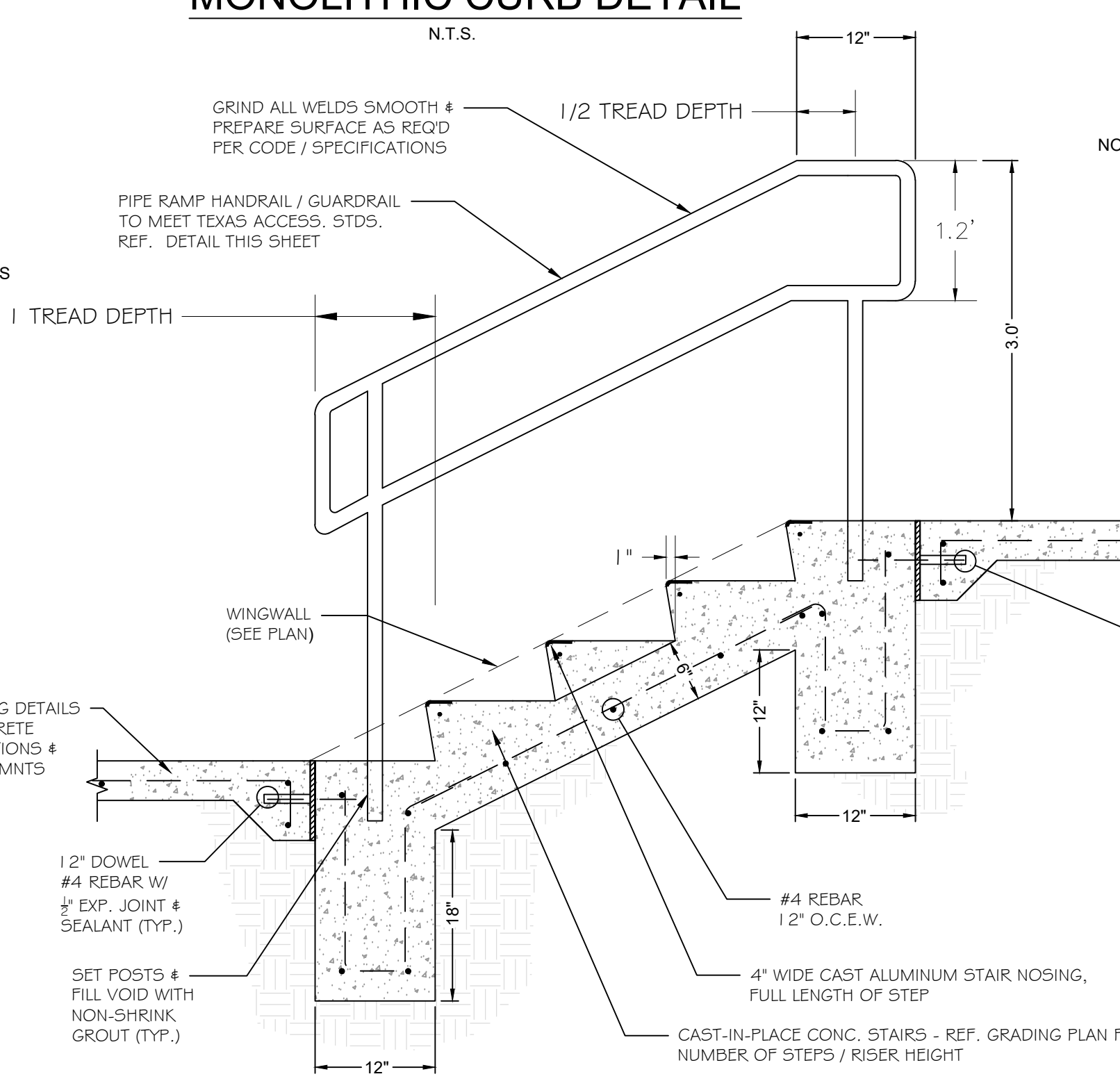
TYPICAL WING WALL DETAIL

N.T.S.



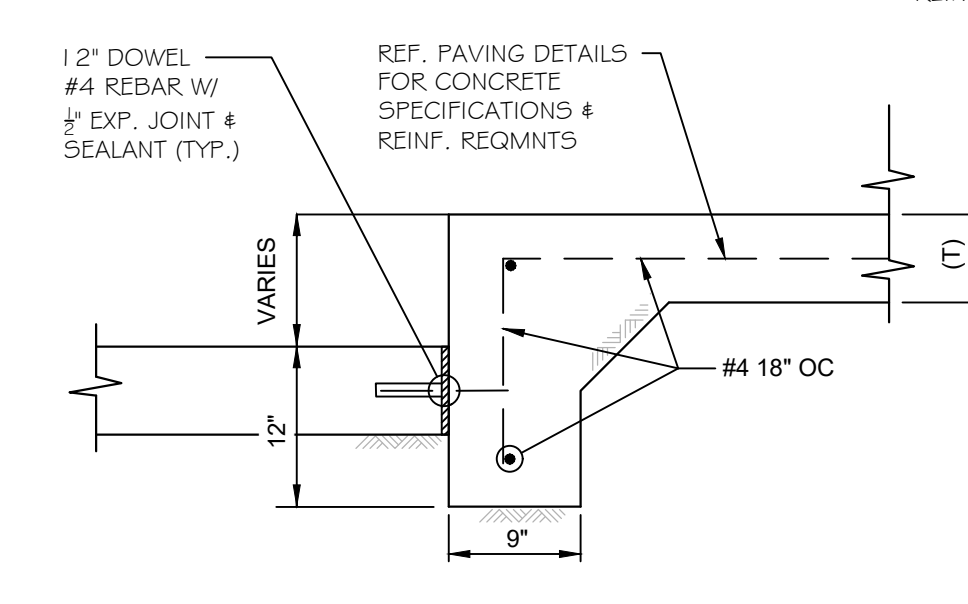
TYPICAL STAIR DETAIL

N.T.S.



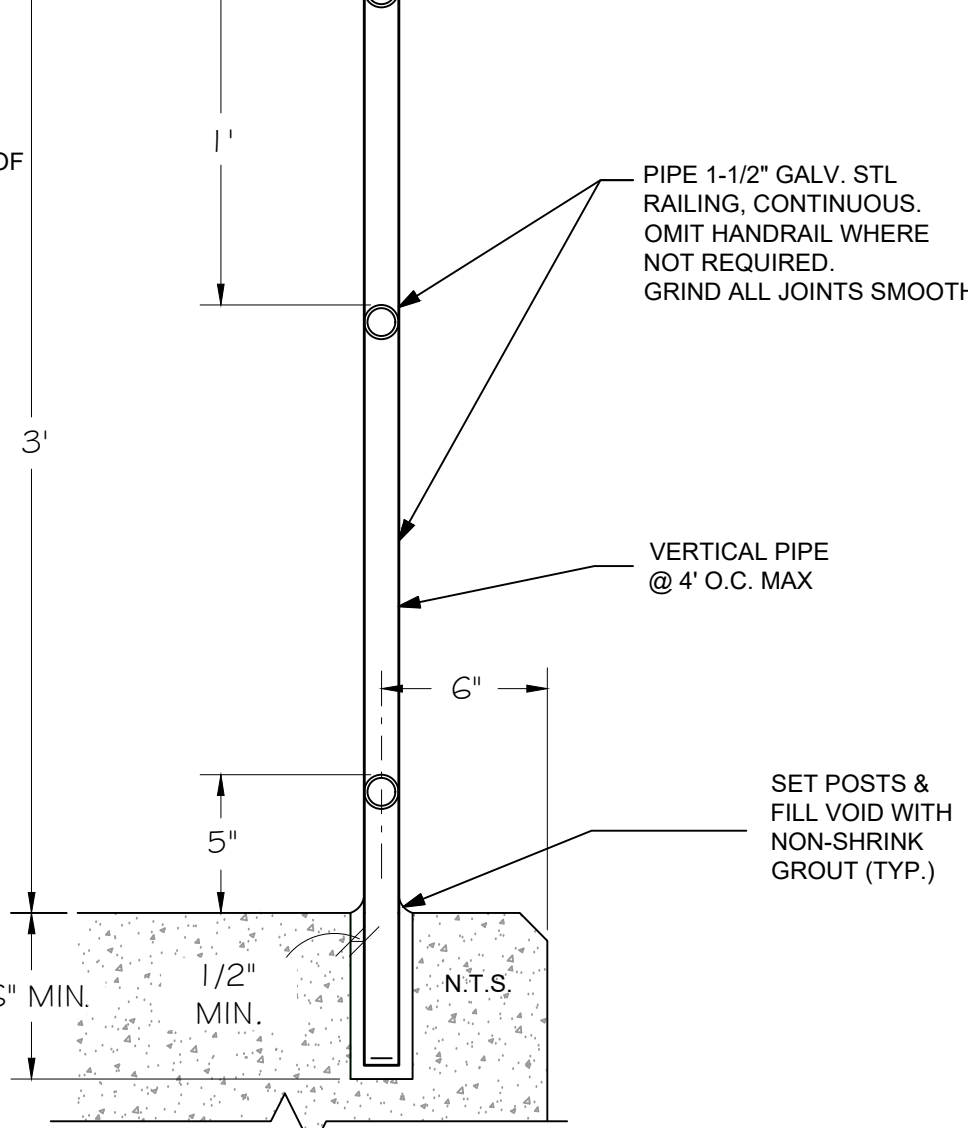
TYPICAL JOINT LAYOUT

N.T.S.

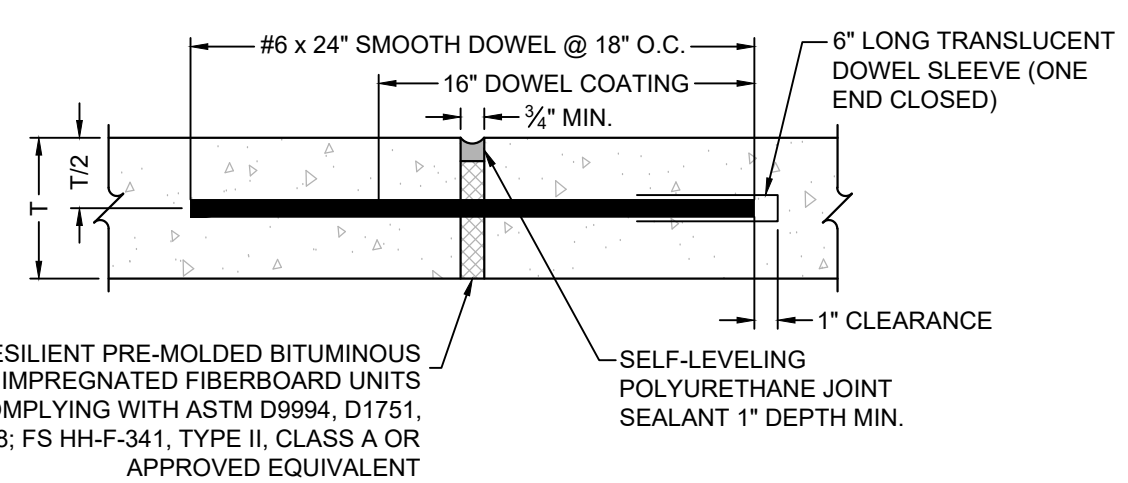


THICKENED PAVEMENT EDGE

N.T.S.



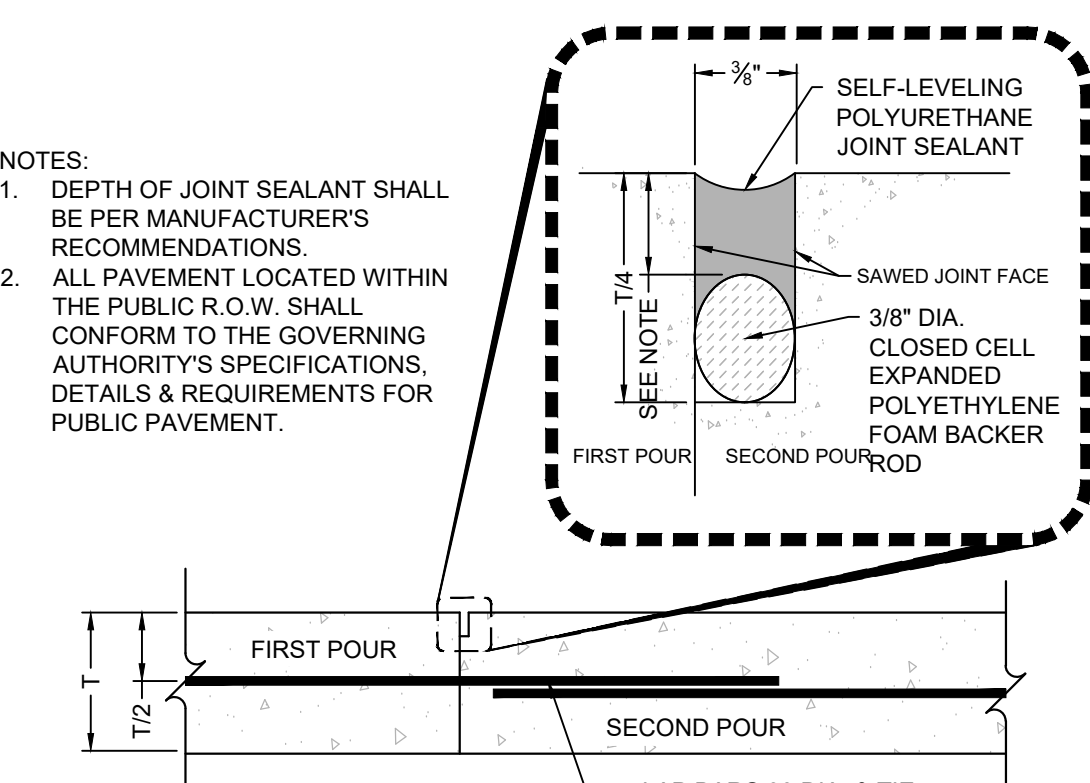
HANDRAIL



- NOTES:
- SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF 1/8" GREATER THAN THE DIAMETER OF THE DOWELS AND SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO USE.
 - EXPANSION JOINTS SHALL BE CONSTRUCTED A MAXIMUM OF 500' APART ON STRAIGHT PAVING, AND WHERE INDICATED PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA 106.1.01P (LATEST VERSION).
 - DOWEL COATING SHALL BE ASPHALTIC COATING.
 - DOWELS SHALL NOT BE TIED TO OTHER REINFORCEMENT.
 - REFER TO SIDEWALK DETAILS THIS SHEET FOR EXPANSION JOINTS IN SIDEWALK AREAS.
 - ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
 - FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/8".

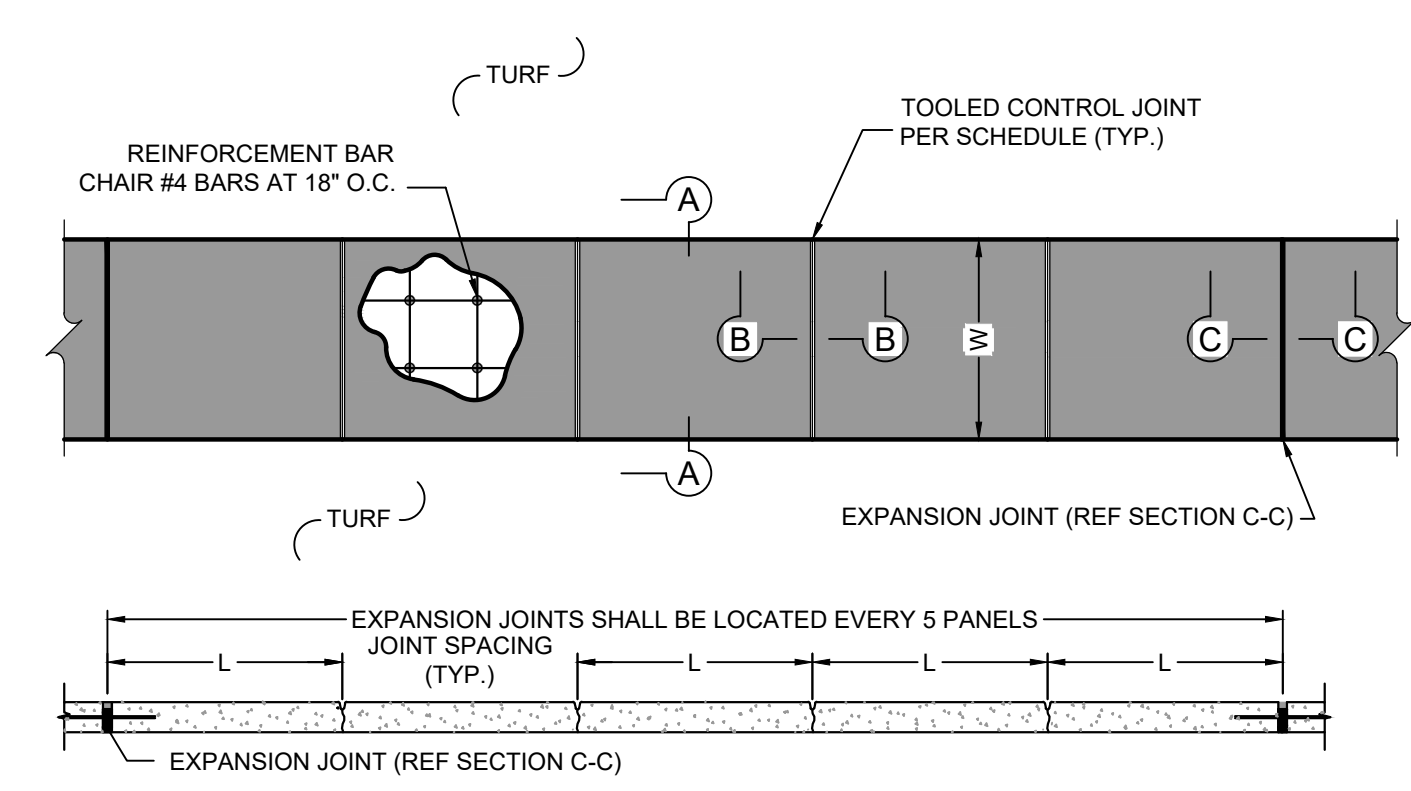
EXPANSION JOINT (ISOLATION)

N.T.S.



CONSTRUCTION BUTT JOINT

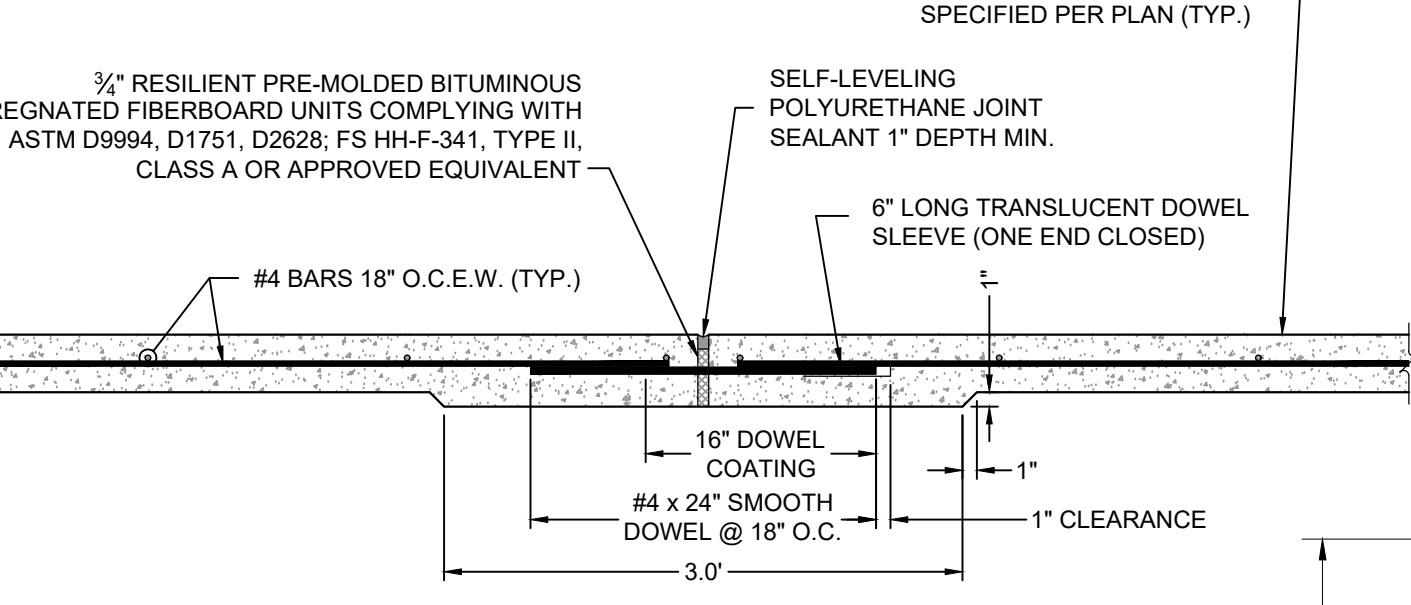
N.T.S.



- SIDEWALK NOTES:
- SAND CUSHION WILL NOT BE PERMITTED UNDER SIDEWALKS OR OTHER PAVEMENT.
 - DOWEL WITH #4 BARS AT 18" C-C WHEN CONNECTING TO EXISTING SIDEWALKS, DRIVEWAYS, CURBS AND GUTTER.
 - CONCRETE STRENGTH FOR SIDEWALKS SHALL BE A MINIMUM OF 3,600 PSI @ 28 DAYS OR AS SPECIFIED BY THE AUTHORITY HAVING JURISDICTION, WHICHEVER IS GREATER.
 - ALL JOINTS LOCATED WITHIN LARGE AREAS OF CONCRETE FLATWORK (PLAZA AREAS OR PAVEMENT BETWEEN BUILDINGS) SHALL BE SEALED WITH POLYURETHANE JOINT SEALANT PER JOINT DETAILS THIS SHEET.
 - CONTRACTOR SHALL SUBMIT PLAZA AREAS JOINT LAYOUT FOR APPROVAL.
 - JOINT SEALANT IS NOT REQUIRED ON SIDEWALKS LOCATED IN TURF AREAS.
 - ALL SIDEWALKS LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR SIDEWALKS.

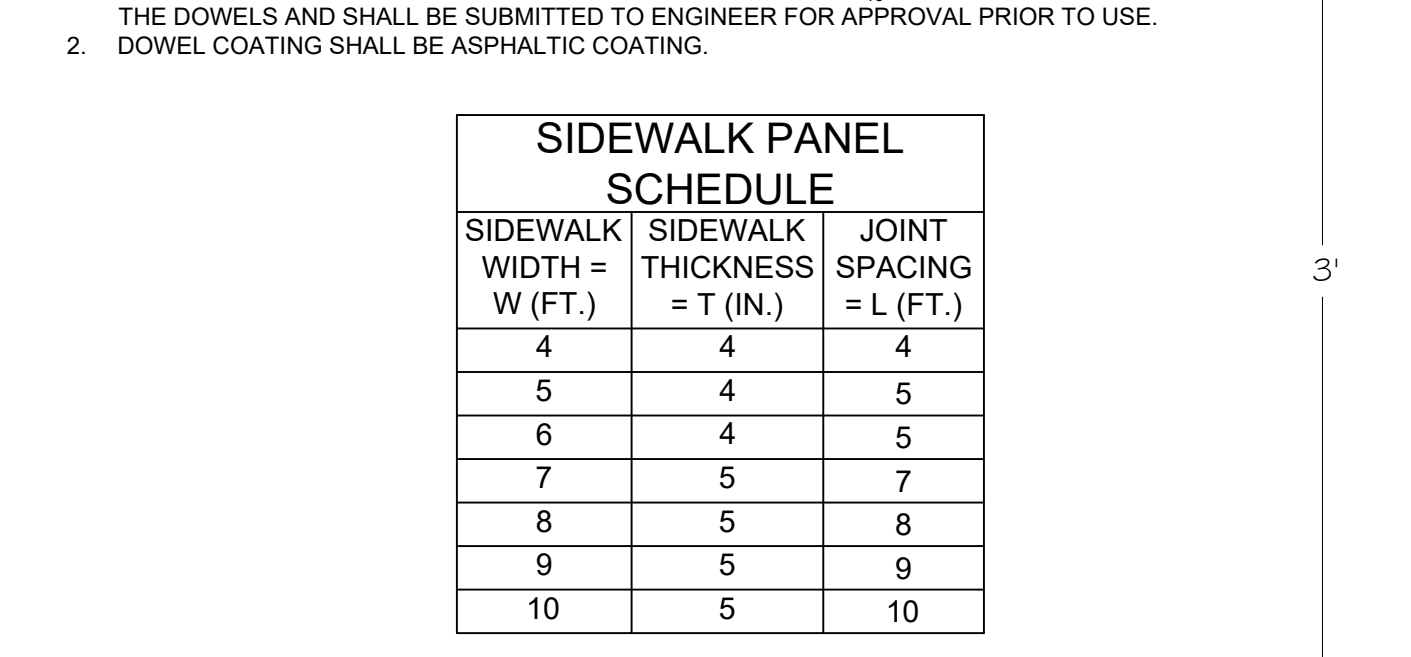
SECTION A-A

N.T.S.



SECTION C-C

N.T.S.



TYPICAL SIDEWALK DETAIL

N.T.S.

SIDEWALK WIDTH = W (FT.)	SIDEWALK THICKNESS = T (IN.)	JOINT SPACING = L (FT.)
4	4	4
5	4	5
6	4	5
7	5	7
8	5	8
9	5	9
10	5	10



BULLDOG IRONWORKS, LLC.

P.O. Box 642

Waxahachie TX 75168

972.935.0575

972.935.0576 fax

ORDER FOR WORK NOT COVERED BY CONTRACT

Change Order **#001**

9/9/2025

Project Name: Summit HS Renovations

Project Location: **Arlington, TX**

Bulldog Ironworks, LLC recognizes that time is of the essence in completion of this work. In order to avoid disputes or disagreements at the end of the job and to protect our rights to receive payment for additional work performed, Order for Work Not Covered by Contract for alterations, deviations, or additions in the Subcontract Scope of Work will be approved, by a written Change Order, prior to performance of any work. If Bulldog Ironworks, LLC is authorized and/or directed to commence work, prior to receiving written approval, such commencement shall be deemed approval to pay for this additional work.

Signature – Authorization to Proceed

Date

Delays caused while awaiting approval of the Order for Work Not Covered by Contract will not place Bulldog Ironworks, LLC in violation of contract as this is not yet a part of the Subcontract.

Description of Change: Add 152 Lft of Retainage wall railing per C3.00 Detail "Concrete retaining wall C6.03"

Material \$9,120.00 (\$60/lft x 152ft)

Shop Labor \$13,680.00 (\$90/lft x 152ft)

Delivery \$350.00

Field Install \$6,080.00 (\$40/lftx152ft)

10 % O.H.P \$2,923.00

Total additional costs for Change Order \$32,153.00

Signature – Bulldog Ironworks, LLC

Date : 9/9/2025

Jasmin Ayub / Project Manager

Printed Name & Title

From: Garrett Yates <gyates@ctexcavatinginc.com>
Sent: Wednesday, September 3, 2025 8:58 AM
To: Robert McNutt
Cc: Austin Acuff; Dave Hathaway
Subject: Re: Summit HS BB/SB - RFP #4 - Batting Cage Relocation

Do you have the updated CAD that reflects the RFP #4 changes? There will be no cost impact to relocate batting cage.

Garrett Yates

Project Manager

2507 Interstate Highway 30 East
Greenville, Texas 75402

C: 903-303-9220
O: 903-455-8483
W: www.ctexcavatinginc.com
E: gyates@ctexcavatinginc.com



From: Robert McNutt <rmcnutt@leelewis.com>
Sent: Friday, August 29, 2025 12:07 PM
To: Garrett Yates <gyates@ctexcavatinginc.com>
Cc: Austin Acuff <aacuff@leelewis.com>; Dave Hathaway <dhathaway@leelewis.com>
Subject: Re: Summit HS BB/SB - RFP #4 - Batting Cage Relocation

Yes Sir. It was requested yesterday when this RFP was issued.

Thank you,

Robert McNutt
Project Superintendent



17177 Preston Rd, Suite 160 | Dallas, TX 75248
P 972.818.0700 | M 214.724.2626
leelewis.com

From: Garrett Yates <gyates@ctexcavatinginc.com>
Sent: Friday, August 29, 2025 12:04 PM



MANSFIELD ISD SUMMIT HIGH SCHOOL
BASEBALL RFP #4 PRICING

Date: September 5, 2025
Revised: October 15, 2025
Owner: Mansfield Independent School District
Contact: Lee Lewis Construction

Project: RFP #4 Batting Cage Relocation
Address: 1071 Turner Warnell Rd, Arlington, TX 76001

RFP #4 BATTING CAGE RELOCATION IMPACTS AT BASEBALL

1. PSC will excavate footing for new retaining wall the borders the baseball field approximately 195 LF.
2. PSC will form and pour new concrete retaining wall approximately 195 LF as shown on sheet C4.0 and per detail on sheet C6.03.
3. PSC will install a 4" HDPE N-12 perforated pipe behind the wall with drain stone wrapped in fabric. PSC will tie the 4" pipe into the nearest storm drain.
4. Note: retaining walls not bordering the baseball field are excluded, all flatwork, ramps, and handrails excluded.
5. Performance and payment bonds excluded.

Net Add to Contract	\$93,234.00
----------------------------	--------------------

From: Martha Brock <Martha.Brock@reddotbuildings.com>
Sent: Friday, August 29, 2025 8:35 AM
To: Austin Acuff
Subject: Re: Summit HS BB/SB - RFP #4 - Batting Cage Relocation

Austin,

I see no impact to Red Dot scope of work, it seems the PEMB(s) are simply relocating & design will remain unaffected. Please advise if otherwise.

Thanks,

Jaime Rojas | RED DOT BUILDINGS

Project Coordinator

1209 W Corsicana St | Athens, TX 75751

[903.675.9181](tel:903.675.9181)

www.reddotbuildings.com

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Red Dot Buildings
1209 W Corsicana St
Athens, Tx 75751

>>> Austin Acuff <aacuff@leelewis.com> 8/28/2025 9:32 AM >>>

Team,

See attached RFP #4 - Batting Cage Relocation. Please review and either tell me no additional cost or submit credit or cost to me by the end of next week.

On any pricing submissions, a detailed breakout is required. See below:

- Labor Cost = Hourly Rate X # of Men
- Material Cost
 - Item #1 = Amount X Unit Price
 - Item #2 = Amount X Unit Price
- Equipment Cost = Rate X Days
- After subtotal, list O/P. We are capped at 10%.

PLEASE CLOSELY REVIEW THIS RFP AS EVEN IF YOU DO NOT HAVE ADDITIONAL COST, A ZERO DOLLAR CO WILL BE ISSUED ON THIS AT A LATER DATE.

Thanks,

Austin Acuff

Project Manager



17177 Preston Rd, Suite 160 | Dallas, TX 75248

P 972.818.0700 | M 469.990.3797

leelewis.com

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RFP NO. 004
SUMMIT HS BB/SB RENOVATIONS
PCO 001

POTENTIAL CHANGE ORDER-DETAIL SHEET					
Job Name: Summit HS BB/SB Renovations					
PCO #	001				
Date	09/3/03/2025				
Description of Request: RFP #4 Batting Cage Relocation					
Item	Description of Material & Labor	Quantity	Unit	Cost	Total Cost
1	Sawcut/Remove Existing Concrete	728	SF	3,350.00	3,350.00
				Total	\$ 3,350.00
2	Concrete Retaining Wall	170	LF		
	<i>Excavation (2 Days)</i>				
	Labor (3 Guys)	48	Hrs	40.00	1,920.00
	Equipment -Excavator	1	EA	650.00	650.00
	<i>Concrete Footing (2 Days)</i>				
	Labor (4 Guys)	64	Hrs	40.00	2,560.00
	Material				
	Reinforcement	1	EA	1,800.00	1,800.00
	Concrete	28	CY	180.00	5,040.00
	Equipment (Buggy or Skidsteer)	1	EA	600.00	600.00
	<i>Concrete Vertical Wall (3 Days)</i>				
	Labor (4 Guys)	96	Hrs	40.00	3,840.00
	Material				
	Forms	1	EA	1,500.00	1,800.00
	Reinforcement	1	EA	2,200.00	2,450.00
	Concrete	27	CY	180.00	4,860.00
	Equipment	1	EA	600.00	600.00
	<i>Wall Drainage Pipe & Backfill</i>	1	EA	3,800.00	3,800.00
				Total	\$ 29,920.00
3	Added Sidewalks/Ramps/Steps	1540	SF		
	Labor (3 Days)	72	Hrs	40.00	2,880.00
	Material				
	Forms	1	EA	1,700.00	1,700.00
	Reinforcement	1	EA	2,300.00	2,300.00
	Concrete 4" thick	29	CY	170.00	4,930.00
				Total	\$ 11,810.00
				CUMULATIVE TOTAL	\$ 45,080.00
				OHP	\$ 4,508.00
				GRAND TOTAL	\$ 49,588.00



T & C
SERVICES, LLC

General Notes:

Proposal valid 30 days from the date listed on cover sheet

Exclusions:

- Striping
- Pumping of Concrete
- Light Pole Bases (Add \$800/LP Concrete)
- Bollards (Add \$300/Bollard/Bollard Material By Others)
- Materials Testing
- MEP Work
- Anchor bolts provided by others (TC will install)
- Concrete temperature control (cooling or heating)
- Integral color/stain/stamped/deco cut concrete
- Concrete Wet Curing
- Imported fill
- Housekeeping pads
- Joint sealants
- Moisture Control Or Conditioning Of Sub Grade
- Filter Fabric, Corrugated Piping, Socks Or Screens Material Or Installation
- Engineered wall bracing (not including panel bracing)
- Rock or sandstone excavation/drilling
- Pumping of Concrete for Paving
- Sill Beams & Bond Beams Anywhere
- Stair Nosing Material
- Barricading and Traffic Control
- Sidewalk Excavation
- Dirt Work Outside 1/10th Tolerance
- Sidewalk Backfill
- Maintenance Of FF/FL @ Slab
- Dust Control
- Sweep Cleaning Except For What Debris Concrete Creates
- Water Proofing Anywhere
- Slip Forming Or Mechanical Screeding
- Protection Of Surfaces Post Installation
- Concrete Accelerating Admixtures
- Any type of bonds or permits
- Power Washing
- ADA / TAS Hand Rail Installation
- Asphalt or asphalt patching
- Supply/install of concrete sealers and/or hardeners
- Multiple layouts of light poles for electrician
- Back charges without written notice before commencement of remedial work
- Spoils Haul Off
- Shadow/mimic cracking due to reinforcement or deck flutes
- Uncontrollable cracking when pouring directly on rock
- Cosmetic issues due to construction traffic
- Cosmetic issues at construction joints, leave outs, and block outs

- Mockups
- Remediation of floors post covering/sealing (once sealed/covered floor has been accepted)
- Surface cracking; crazing; delamination; shrinkage cracks; spalling; due to wind, heat and/or work hour restrictions

Proposal good for thirty days conditioned upon the use of the AIA A401 subcontract or other acceptable contract language including this proposal. Payment shall be made within 30 days of invoicing.

Please sign below and return if this proposal is accepted.

Sign Name: _____

Date: _____

Thank you,

Cody Cosper
T&C Services
817-565-9792



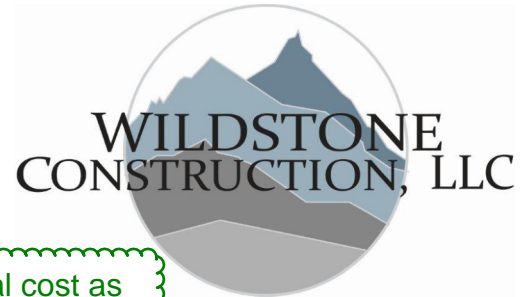
Wildstone Construction, LLC

12850 Hwy 287

Fort Worth, Texas 76052

Phone: 817-847-8660

Fax: 817-847-8019



Quote To: Lee Lewis Construction
17177 Preston Road
Dallas, TX 75248

Phone: 0
Fax:

Date: 9/8/2025

Attn: Ausitn Acuff

RFP #4
Batting Cage Relocation

Re-submittal cost as
the plan had already
been sent to 3rd
party review before
issue was found

Project: **Summit High School Baseball Softball
Mansfield TX**

Private Water

Item No.	Quantity	Unit	Description	Unit Price	Extension
1	60	LF	10" DR-14 PVC PIPE	\$35.00	\$2,100.00
2	40	LF	4" DR-18 PVC PIPE	\$6.50	\$260.00
3	1	LS	Fireline Plan Revision	\$1,831.50	\$1,831.50
4	100	LF	Water Testing	\$1.80	\$180.00
5	100	LF	Trench Safety	\$0.90	\$90.00
Total					\$4,461.50

Private Storm

Item No.	Quantity	Unit	Description	Unit Price	Extension
6	-80	LF	24" N-12 HDPE	\$87.60	(\$7,008.00)
7	80	LF	18" N-12 HDPE	\$42.80	\$3,424.00
8	160	LF	10" N-12 HDPE	\$33.00	\$5,280.00
9	-100	LF	8" N-12 HDPE	\$53.20	(\$5,320.00)
10	100	LF	6" N-12 HDPE	\$31.91	\$3,191.00
11	-60	LF	4" N-12 HDPE	\$49.60	(\$2,976.00)
12	-3	EA	2'x2'x6' Catch Basin	\$2,533.40	(\$7,600.20)
13	3	EA	3'x3'x9' Catch Basins	\$2,183.60	\$6,550.80
14	56	LF	ACO Drain K100 Trench Drain	\$130.38	\$7,301.28
15	100	LF	CCTV	\$1.80	\$180.00
16	100	LF	Trench Safety	\$0.90	\$90.00
Total					\$3,112.88

Labor

Item No.	Quantity	Unit	Description	Unit Price	Extension
17	25	Hours	Labor (7 Crew Members)	\$374.84	\$9,371.00
Total					\$9,371.00

Equipment

Item No.	Quantity	Unit	Description	Unit Price	Extension
18	2	Days	Equipment	\$3,748.35	\$7,496.70
Total					\$7,496.70

OH/P 10%

Item No.	Quantity	Unit	Description	Unit Price	Extension
19	1	LS	OH/P	\$4,734.63	\$4,734.63
Total					\$4,734.63

TOTAL QUOTE:

\$29,176.71

****This cost does not include any removal or replacement of concrete if needed**



MORE THAN ARCHITECTS

PRICE REQUEST (RFP)

NO. 004

PROJECT NAME: Summit HS BB/SB Renovations

CLIENT NAME: Mansfield ISD

LOCATION: Arlington, Texas

PROJECT NUMBER: 01885-04-02

ISSUE DATE: 08.27.25

SUMMARY OF CHANGES:

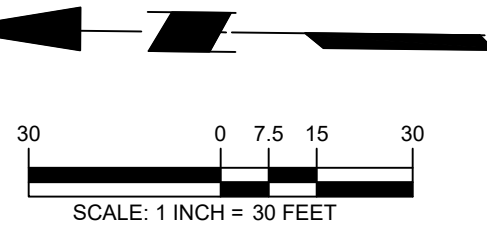
- Revise location of batting cages and revise grading around baseball and softball fields to maintain existing practice field. Baseball field first base side bullpen has been relocated to outfield along with associated lighting specific to the bullpen.

UPDATED DOCUMENTS ATTACHED:

Project Manual:	--
Civil Sheets:	C2.00, C3.00, C4.00, C5.02, C6.03
Landscape Sheets:	--
Sports Design:	F1.01
Structural Sheets:	--
Architectural Sheets:	--
Foodservice Sheets:	--
Plumbing Sheets:	--
Mechanical Sheets:	--
Electrical Sheets:	--
Technology Sheets:	--

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TURF PROJECT NOTES

EROSION CONTROL:
Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion or any construction disturbance will be replaced by the Contractor until **ESTABLISHMENT AND ACCEPTANCE** is achieved.

SOIL PREPARATION:
All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tillage and clearing, all areas to receive turf shall be leveled, fine graded, and drag with a weighted spike harrow or float drag. The top two (2") inches shall be pulverized to provide a uniform bed for seeding or sod as described below.

GRASS SOD:
At a minimum, three feet (3') of solid sod shall be installed along all impervious edges. This includes, but is not limited to: curbing, sidewalks, building foundation, storm water inlets, manholes, and planting bed perimeter treatments. Additional areas of sod installation will be as indicated on the design plans. Sod should be installed between November and March, and shall include an over-seed of Annual Ryegrass for a green-in appearance.

SEEDING ON SLOPES:
Hydroseed with appropriate season's grass seed as indicated above. All slopes 4:1 or greater and subject to erosion shall include a Bonded Fiber Matrix or be integrated (not covered) with appropriate "North American Green" blankets.

PROTECTION:
Protect newly seeded areas from excessive runoff and traffic until vegetation is established. Accumulated sediment deposited by runoff should be removed to prevent suppression of the vegetation. In addition, determine the source of excess sediment and implement appropriate BMPs to control the erosion. No heavy equipment shall be moved over the planted turf area unless the soil is again prepared, graded, leveled, and replanted. It will be the responsibility of the Contractor to protect all paving surfaces, curbs, utilities, plant materials, and any other existing improvements from damage. Any damages shall be repaired or replaced at no cost to the Owner.

IRRIGATION:
In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sodded temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

MAINTENANCE REQUIREMENTS:
Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

ESTABLISHMENT AND ACCEPTANCE:
All disturbed areas being seeded shall receive topsoil as specified and be adequately established with turf such that any absence of water will not kill the turf, but promote a state of turf dormancy, until the next rainfall event.

Regardless of unreasonable climatic conditions or other adverse conditions affecting planting operations and the growth of the turf grass, it shall be the sole responsibility of the Contractor to establish a uniform stand of grass. **UNIFORM STAND OF GRASS** is defined as minimum 80% coverage per square foot (no bare areas).

MATERIAL STORAGE-NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL NOTE ON SITE PLAN THE LOCATION OF ALL MATERIAL STORAGE AREAS, EQUIPMENT STORAGE AREAS, PETROLEUM TANKS, SOLID WASTE RECEPTACLES, SANITARY FACILITIES, ANY ON-SITE OR OFF-SITE BORROW OR STOCKPILE AREA, ANY ON-SITE OR OFF-SITE SUPPORT ACTIVITIES (SUCH AS ASPHALT OR CONCRETE PLANTS). CONTRACTOR SHALL ALSO PREPARE, KEEP ON SITE, AND MAINTAIN CURRENT A LIST OF MATERIALS WITH APPROXIMATE QUANTITIES, WHICH ARE STORED ON SITE.

!!!CAUTION!!!

EXISTING OVERHEAD & UNDERGROUND UTILITIES IN THE VICINITY. VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES BY VACUUM EXCAVATION OR OTHER POTHOLING TECHNIQUES.

NOTICE TO CONTRACTORS - UTILITIES

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

**IMPORTANT DEMOLITION NOTE **

IT IS NOT KNOWN BY LANGAN, THE INTEGRITY OF THE EXISTING IRRIGATION SYSTEM. THEREFORE, PRIOR TO ANY DEMOLITION, THE IRRIGATION CONTRACTOR SHALL MEET WITH DISTRICT MAINTENANCE PERSONNEL TO LOCATE LIMITS OF COVERAGE AND EXISTING SYSTEM FAILURES. WITH AN UNDERSTANDING OF PROPOSED IMPROVEMENTS, THE DISTRICT AND CONTRACTOR SHALL DETERMINE WHERE TO PRESERVE THE EXISTING IRRIGATION SYSTEM TO QUANTIFY PROPOSED INSTALLATION LIMITS. THE CONTRACTOR SHALL THEN CAP AND/OR TERMINATE THE EXISTING MAINLINE, CONTROL WIRES, AND LATERALS WITH APPROPRIATE IRRIGATION BOXES. ANY COMPONENTS OF THE EXISTING SYSTEM TO BE SALVAGED SHALL BE DETERMINED BY THE DISTRICT.



Know what's below.
Call before you dig.

LEGEND

SAWCUT	---
PAVEMENT REMOVAL	▨
FENCE TO BE REMOVED	--- X ---
TREES TO BE REMOVED	⊗
INLET PROTECTION	IP
LIMITS OF DISTURBANCE	—▲—
SILT FENCE	—SF—
STRAW WATTLE	—SW—
CONSTRUCTION EXIT	EXIT
ROCK CHECK DAM	CD

NOTE - WATER OF THE U.S.

THERE ARE NO IMPACTS FROM CONSTRUCTION ACTIVITIES TO THE WATERS OF THE U.S. ON THIS SITE.

NOTE - STABILIZATION

ALL DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND SEEDED OR SODDED AS NECESSARY AND BY DEFINITION MAINTAINED UNTIL AN ESTABLISHED STAND OF GRASS CAN BE RELEASED TO THE OWNER. REFERENCE LANDSCAPE/IRRIGATION PLAN (IF PROVIDED) TO COORDINATE PLANTING ENHANCEMENTS AND LIMITS OF IRRIGATION COVERAGE.

NOTE - SWPPP

CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE TPDES.

SEE MATCHLINE THIS SHEET

LIMITS OF DISTURBANCE

SILT FENCE

SAWCUT LINE

SAWCUT LINE ALONG JOINT

SAWCUT LINE

SAWCUT LINE ALONG JOINT

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SAWCUT LINE

NOTES FOR CHANGES TO SWPPP

THE TNR15000 GENERAL PERMIT REQUIRES THAT THE PERMITTEE REVISE OR UPDATE THIS SWPPP WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, OR WHENEVER THE RESULT OF AN INSPECTION INDICATES THAT THIS SWPPP IS INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS IN STORMWATER DISCHARGES. HOWEVER, THE REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL ENGINEERS REQUIRE THAT CHANGES MADE BY THE CONTRACTOR DURING CONSTRUCTION MUST BE AUTHORIZED BY A LICENSED TEXAS ENGINEER. THESE CHANGES MAY BE AUTHORIZED BY THE ENGINEER OF RECORD THROUGH UPDATED DRAWINGS, WORK ORDER CHANGES, OR OTHER METHODS ACCEPTABLE TO THE ENGINEER, OR BY ANOTHER ENGINEER PROVIDED THAT THEY NOTIFY THE ENGINEER OF RECORD.

EROSION CONTROL SEQUENCE

1. INSTALL SILT BARRIERS AROUND PERIMETER OF PROPERTY AND DISTURBED AREAS AS SHOWN.
2. INSTALL INLET PROTECTION FOR ALL EXISTING GRATE INLETS, CURB INLETS.
3. INSTALL ROCK CHECK DAMS AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES, IF PRESENT.
4. CONSTRUCT TEMPORARY CONSTRUCTION ACCESS.
5. COMMENCE GRUBBING AND REMOVAL OF VEGETATION IN AREA TO RECEIVE CUT OR FILL.
6. COMMENCE GRADING OPERATION FOR BUILDING PAD AND FIELD PREPARATION.
7. INSTALL ALL UNDERGROUND UTILITIES.
8. FINALIZE PAVEMENT SUBGRADE PREPARATION.
9. INSTALL ALL PROPOSED STORM SEWER PIPES AND INSTALL INLET PROTECTION AND SILT BARRIERS AT ENDS OF EXPOSED PIPES.
10. CONSTRUCT ALL GRATE INLETS AND DRAINAGE STRUCTURES. INLET PROTECTION AND SILT BARRIERS MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION.
11. REMOVE SILT BARRIERS AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
12. COMPLETE PLANTING AND/OR SEEDING OF VEGETATED AREAS TO ACCOMPLISH STABILIZATION, IN ACCORDANCE WITH THE TURF PROJECT NOTES.
13. REMOVE TEMPORARY CONSTRUCTION ACCESS, SILT BARRIERS & ROCK CHECK DAMS.

EROSION CONTROL MAINTENANCE NOTES

1. ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE WHICH COMPLIES WITH THE GENERAL PERMIT REQUIREMENTS AND CLEANED AND REPAIRED WITHIN 48 HOURS OF THE INSPECTION IN ACCORDANCE WITH THE FOLLOWING:
 - 1.A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 - 1.B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
 - 1.C. SILT BARRIER SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT BARRIER WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT BARRIER.
 - 1.D. THE TEMPORARY PARKING AND STORAGE AREA (IF PRESENT) SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - 1.E. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS OR SEDIMENT TRAPS (IF PRESENT) SHALL BE MAINTAINED IN OPERATIONAL CONDITION AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

- 1) ADDED EXISTING ELECTRIC LINES TO BE REMOVED AND RELOCATED AT SOFTBALL FIELD
- 1) REVISED SAWCUT LINE NORTH OF BASEBALL FIELD
- 2) REVISED INLET PROTECTIONS NORTH OF BASEBALL FIELD



Know what's below.
Call before you dig.

!!!CAUTION!!!

EXISTING OVERHEAD & UNDERGROUND UTILITIES IN THE VICINITY.
VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES
BY VACUUM EXCAVATION OR OTHER POTHOLING TECHNIQUES.

****NOTICE TO CONTRACTORS - UTILITIES****

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

SYMBOL KEY

- 1) PROPOSED DRAINAGE STRUCTURE. REFER TO DRAINAGE PLAN (TYP)
- 2) UTILIZE EXISTING IRRIGATION SYSTEM TO PROVIDE BELOW GRADE QUICK COUPLER IN PURPLE VALVE BOX FOR WASH DOWN PURPOSES. ENSURE QUICK COUPLER CAN BE PRESSURIZED ON DEMAND COORDINATE NECESSARY PARTS AND PROPER INSTALLATION WITH IRRIGATION SYSTEM MANUFACTURER, TYP, EACH DUGOUT.

PLUMBING ON PRIVATE PROPERTY MUST BE SUBMITTED SEPARATELY TO THE BUILDING DEPARTMENT FOR PERMITTING.

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY LANGAN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PSS&E), WHICH NEGATIVELY IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

LEGEND

PROPOSED REINFORCED CONCRETE SIDEWALK
PROPOSED CHAIN LINK FENCE

STANDARD ACCESSIBILITY REQUIREMENTS

- PARKING:**
- ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE FOR NO LESS THAN ONE VAN SPACE FOR EVERY 6 ACCESSIBLE SPACES.
 - EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. APPROPRIATE VAN ACCESSIBLE SPACES MUST INCORPORATE "VAN ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF SIGN.
 - ALL ACCESSIBLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.
- RAMPS:**
- RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38" AND EXTENDING 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
 - RAMPS SHALL HAVE A SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE TO SIGNIFICANTLY CONTRAST FROM ADJACENT SURFACES OR COLORS ONLY IF REQUIRED BY LOCAL OR STATE JURISDICTION.
 - LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (30" MINIMUM FOR CURB RAMPS).
 - RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30" RISE.
 - RAMPS AND LANDINGS SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).
- SIDEWALKS AND ACCESSIBLE ROUTES:**
- SIDEWALKS MUST BE AT LEAST 36" WIDE WITH 5'X5' CLEAR PASSING OPPORTUNITIES IN INCREMENTS LESS THAN 150'.
 - SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:48 (2%).
 - LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

POST-BID ADDENDUM #1

Date

05/13/2025

Region /

06/27/2025

08/27/2025

08/27/2025

08/27/2025

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SUMMIT HIGH SCHOOL
BB - SB RENOVATIONS
FOR
MANFIELD I.S.D.
ARLINGTON, TEXAS

Project:

LANGAN

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TBPE Registration #: F-13709

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800.687.1229

SITE & UTILITY PLAN

Job No.

01885-04-02

Drawn By:

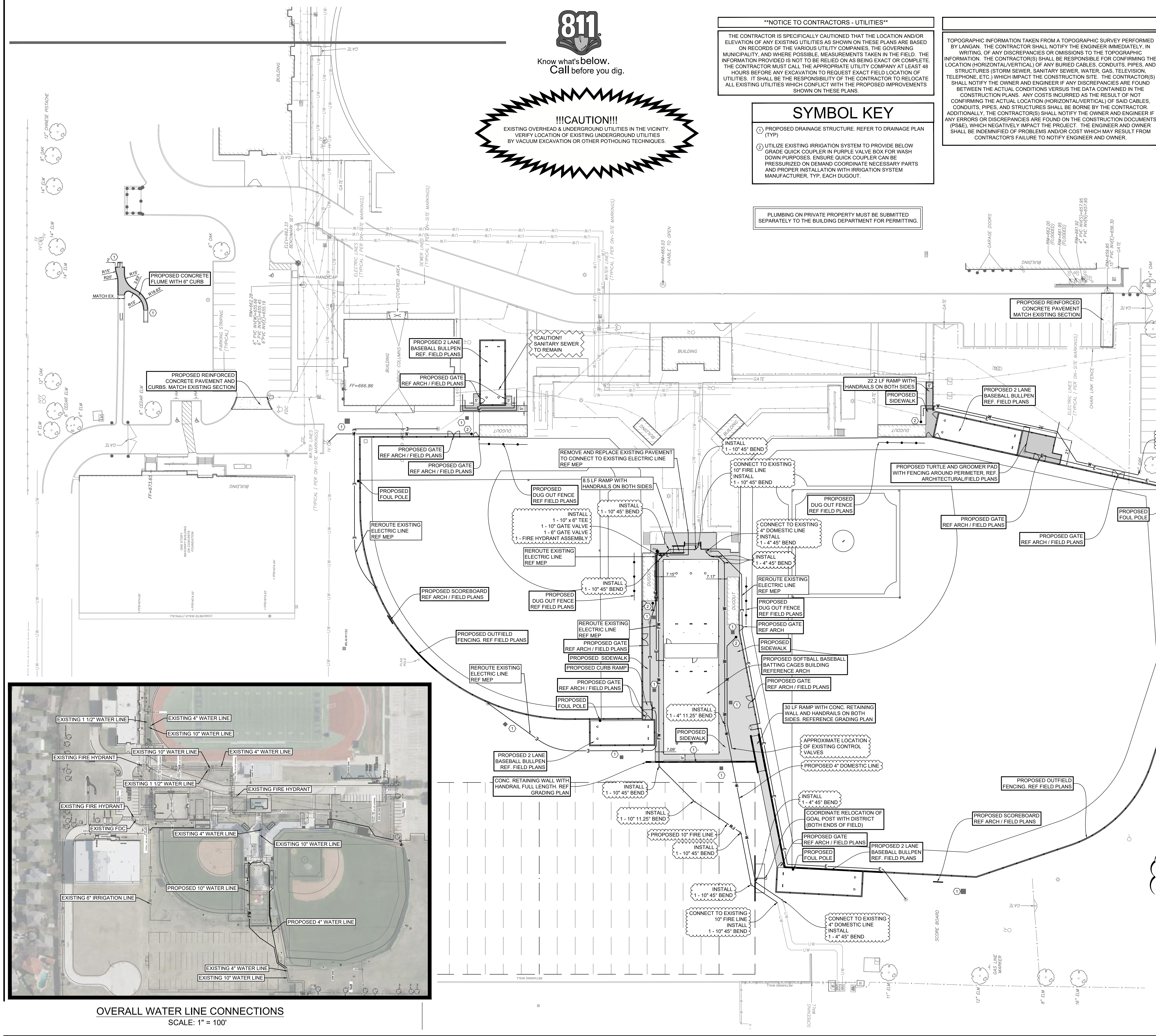
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Date:

04.15.2025

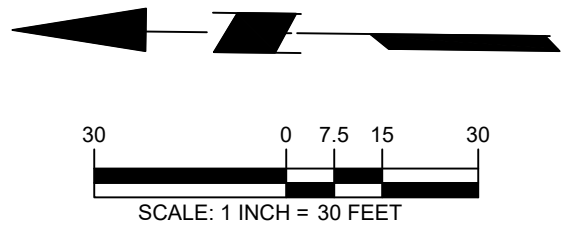
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OVERALL WATER LINE CONNECTIONS
SCALE: 1" = 100'

- 1) DISPLAYED RE-ROUTED ELECTRIC LINES AROUND OUTFIELD OF SOFTBALL FIELD
- 1) ADDED PROPOSED FIRE HYDRANT EAST OF PROPOSED BATTING CAGES
- 2) ADDED VIEW PORT TO SHOW THE OVERALL WATER LINE CONNECTIONS
- 1) REVISED LOCATION OF PROPOSED BATTING CAGES BUILDING
- 2) ADDED RETAINING WALLS AT BASEBALL OUTFIELD PERIMETER AND WEST OF BUILDING
- 3) REVISED BASEBALL BULLPEN LOCATION
- 4) REVISED PAVEMENT EAST & SOUTHWEST OF BUILDING
- 5) REVISED FIRE HYDRANT LOCATION NORTH OF BUILDING
- 6) REVISED 10" & 4" WATER LINES ALIGNMENTS



LEGEND	
PROPOSED CONTOUR	---
EXISTING CONTOUR	---
FLOWLINE	---
GRADE BREAK	---
SPOT GRADE	FG=100.50
PROPOSED FLOW ARROW	
FG	FINISHED GRADE
TP	TOP OF PAVEMENT
TC	TOP OF CURB
FL	FLOWLINE
FF	FINISHED FLOOR
HP	HIGH POINT
TW	TOP OF WALL

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

NOTICE TO CONTRACTORS - UTILITIES

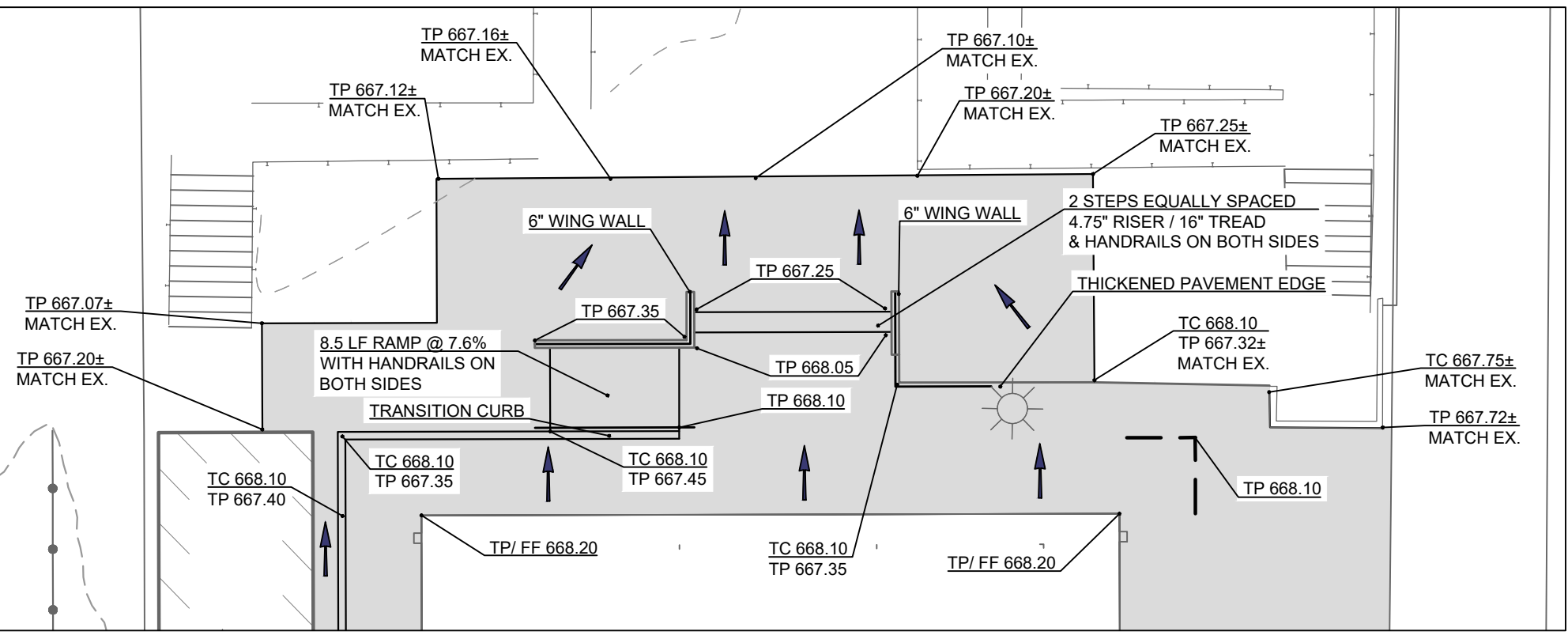
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GENERAL SITE GRADING NOTE

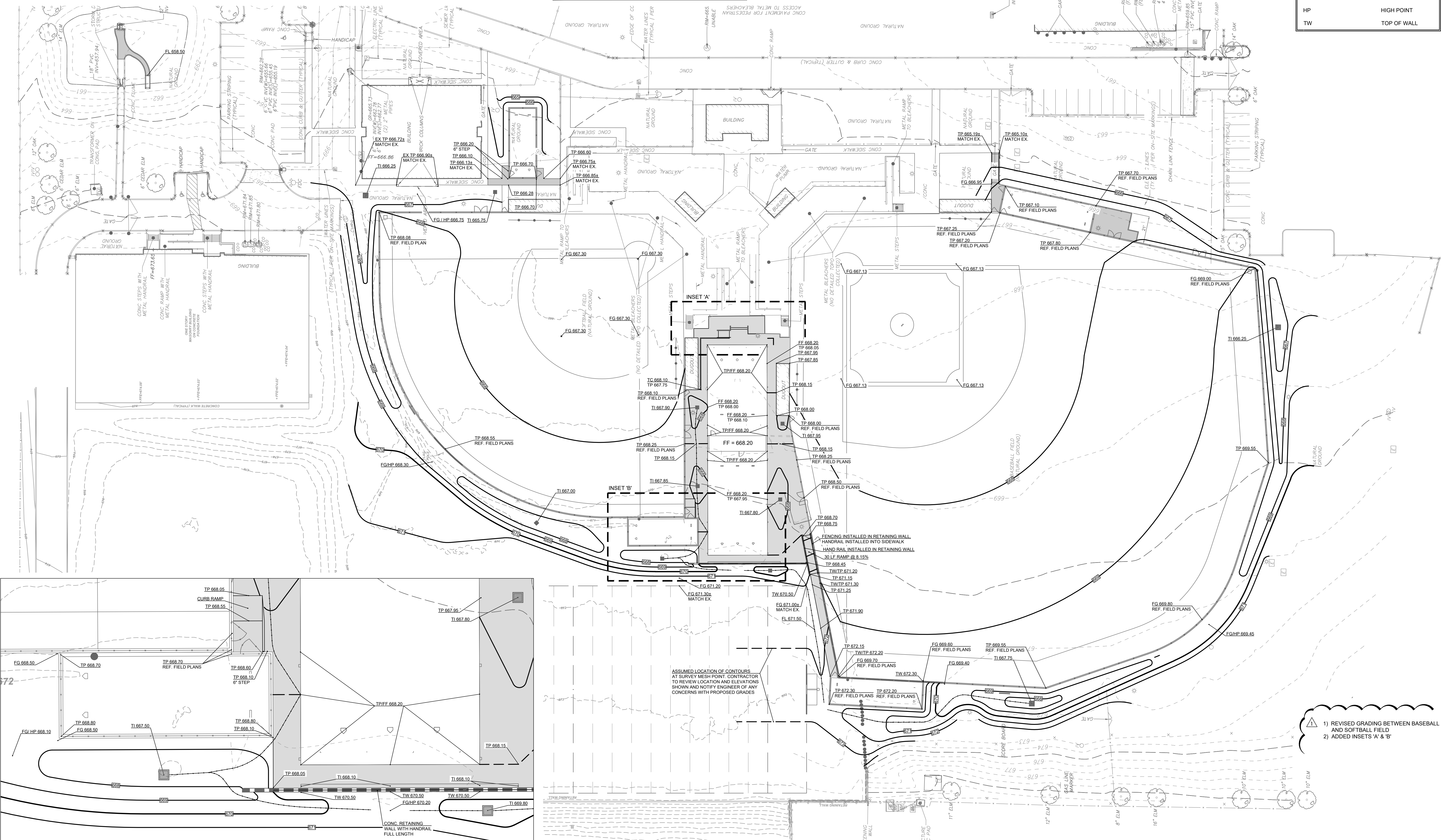
- AS PART OF THE BASE BID THE CONTRACTOR SHALL PROVIDE/IMPORT ALL SELECT FILL AND TOPSOIL MATERIAL NECESSARY TO ACHIEVE FINAL GRADE PER PLAN.
- ALL AREAS WITHIN CONSTRUCTION LIMITS NOT COVERED WITH AN IMPERVIOUS MATERIAL SHALL BE COVERED WITH TOPSOIL. THE TOPSOIL SHALL BE IN CONFORMANCE WITH THE TOPSOIL NOTES LISTED IN THE PLAN SET AND SPECIFICATIONS FOR THIS PROJECT.
- BASE BID SHALL ALSO INCLUDE HAUL OFF OF EXCESS MATERIAL AS NECESSARY.
- ANY FILL PLACED ONSITE SHALL BE TESTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER AND BE IN CONFORMANCE WITH RECOMMENDATIONS LISTED IN THE SITE GEOTECHNICAL REPORT TITLED SUMMIT HIGH SCHOOL BASEBALL FIELD STRUCTURES AND DATED FEBRUARY 27, 2025 OR ANY SUPPLEMENTAL ADDENDUMS.

STANDARD ACCESSIBILITY REQUIREMENTS

- PARKING:**
- ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE FOR NO LESS THAN ONE VAN SPACE FOR EVERY 6 ACCESSIBLE SPACES.
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 - ALL ACCESSIBLE SPACES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.
- RAMP:**
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 - SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:48 (2%).
 - LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).



INSET 'A' - 1" = 10'



INSET 'B' - 1" = 10'

Date: 8/27/2025 Time: 18:26 User: amuhire Style Table: Langan.stb Layout: C5.02 DRAINAGE PLAN Document Code: 520097102-0601-CG102-010

1) ADDED TYPICAL STAIR, TYPICAL WING WALL, CONCRETE RETAINING WALL, THICKENED PAVEMENT EDGE, AND HAND RAIL DETAILS

CURB RAMP NOTES

NOTES:

- CROSS SLOPE NOT TO EXCEED 2% ON ANY PORTION OF RAMP OR TRANSITION SURFACE.
 - RAMPS SHALL BE CONSTRUCTED PER ADA & APPLICABLE STATE ACCESSIBILITY STANDARDS.
 - CURB RAMPS SHALL BE MONOLITHIC POUR & SEPARATED FROM SITE PAVING WITH A DOWELED EXPANSION JOINT.
- DETECTABLE WARNING SURFACE (PUBLIC RIGHT-OF-WAY):
- TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
 - TRUNCATED DOMES TO RUN PARALLEL TO PEDESTRIAN TRAVEL.
 - DETECTABLE WARNING PAVERS, OR PLATES MEETING ADA & STATE REQUIREMENTS ARE ACCEPTABLE.
- GROOVED SURFACE (RAMP FLARE):
- FLARED CURB RAMP SURFACES SHALL BE TEXTURED WITH GROOVES 1/4" DEEP, 3/4" WIDE, 2" APART AND ARRANGED SO THAT WATER WILL NOT ACCUMULATE IN THE GROOVES.
 - FLARED CURB RAMP SURFACE SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF THE ADJOINING PEDESTRIAN ROUTE WHEN SPECIFIED.

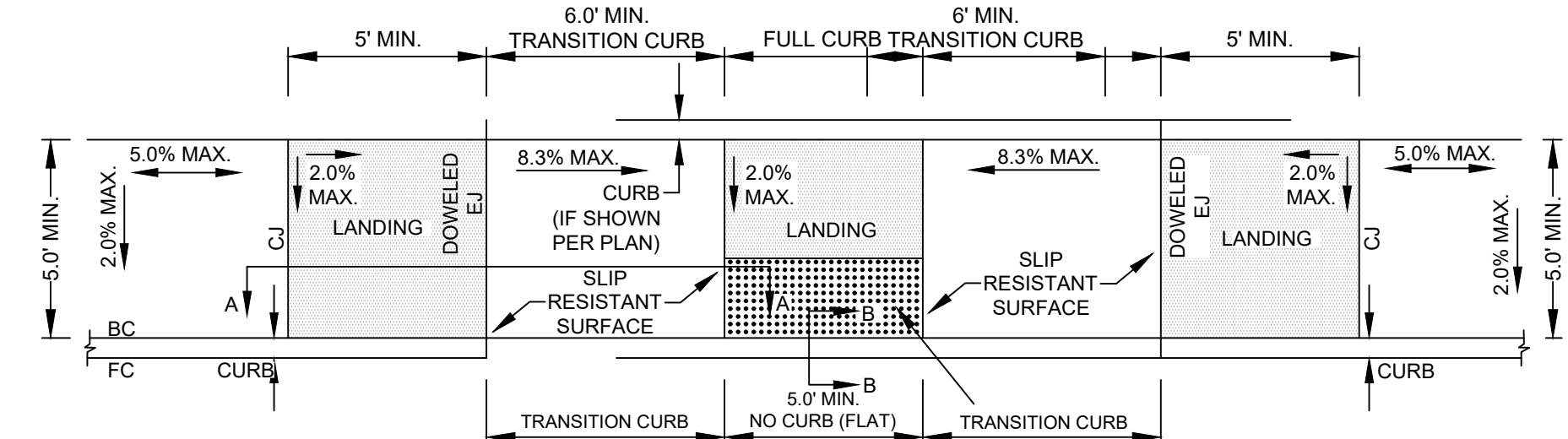
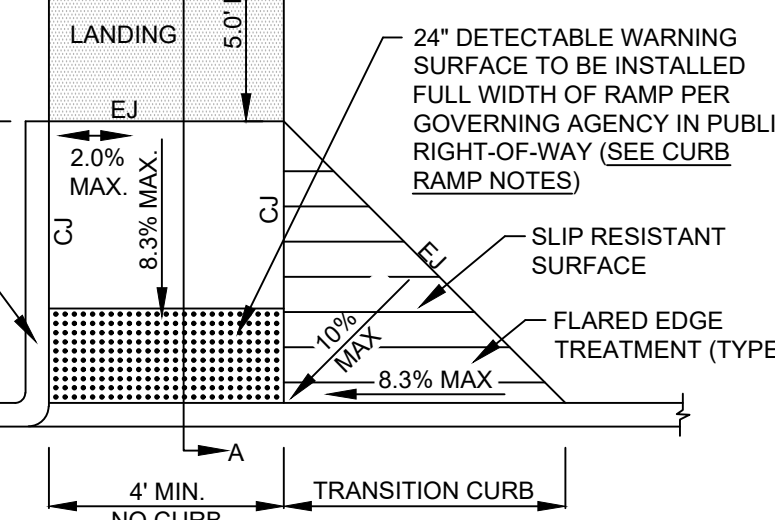
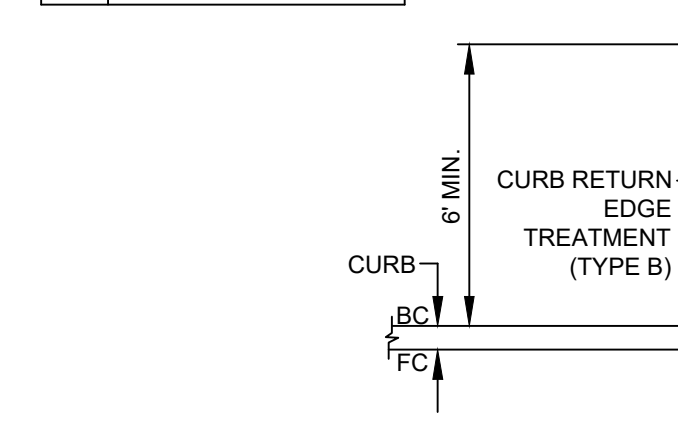
LEGEND

EJ	EXPANSION JOINT
CJ	CONSTRUCTION JOINT
BC	BACK OF CURB
FC	FACE OF CURB

NOTE:
IF 'X' IS LESS THAN 48" THEN THE SLOPE OF THE FLARED SIDE SHALL NOT EXCEED 1:12.

LEGEND

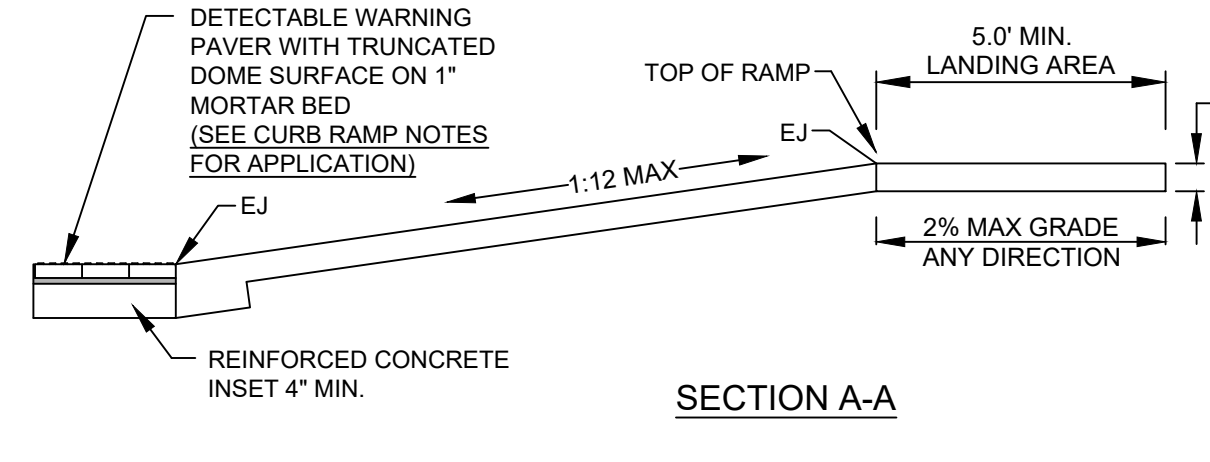
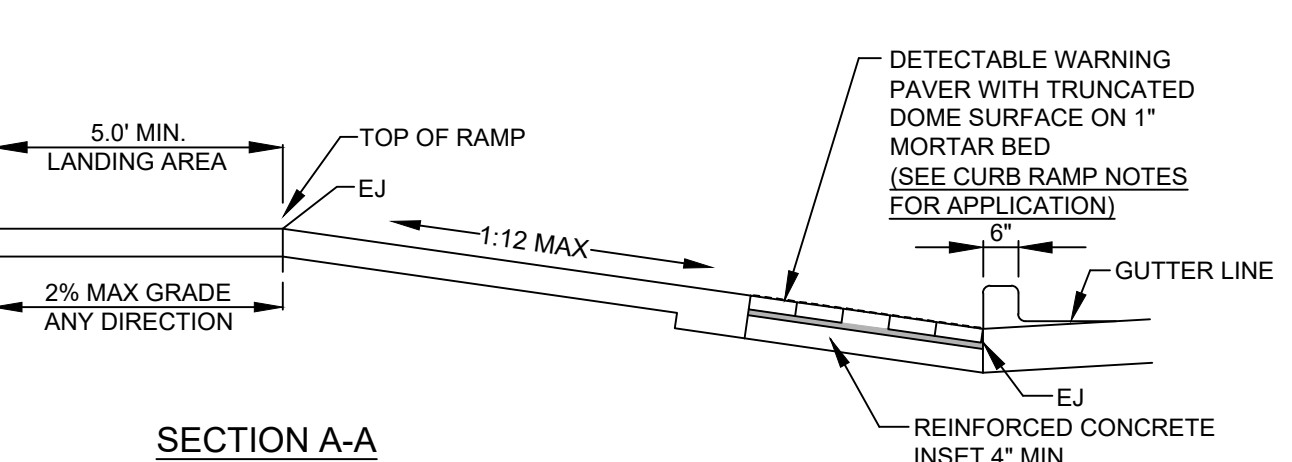
EJ	EXPANSION JOINT
CJ	CONSTRUCTION JOINT
BC	BACK OF CURB
FC	FACE OF CURB



SECTION A-A

CURB RAMP DETAIL

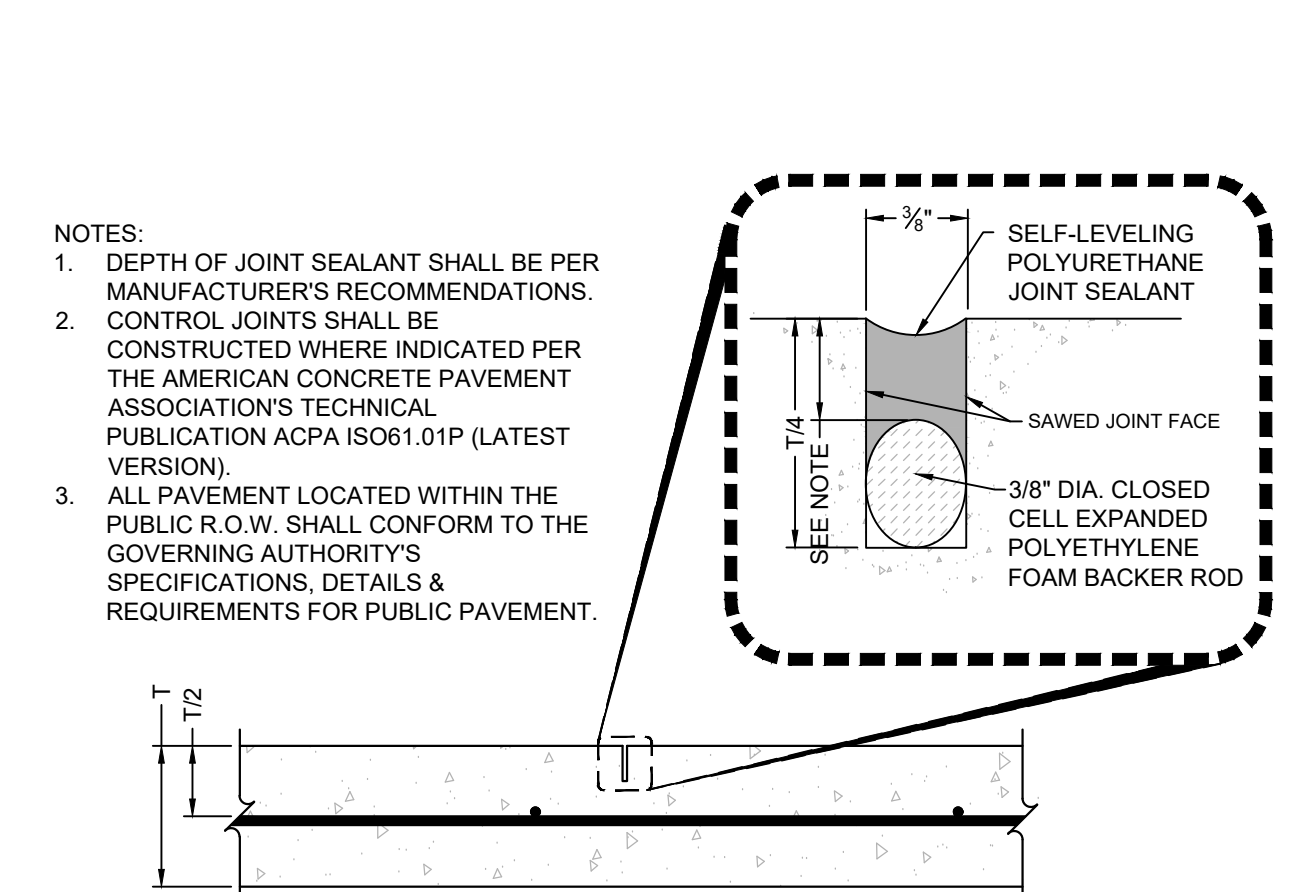
N.T.S. - FLARED OR RETURN CURB



SECTION A-A

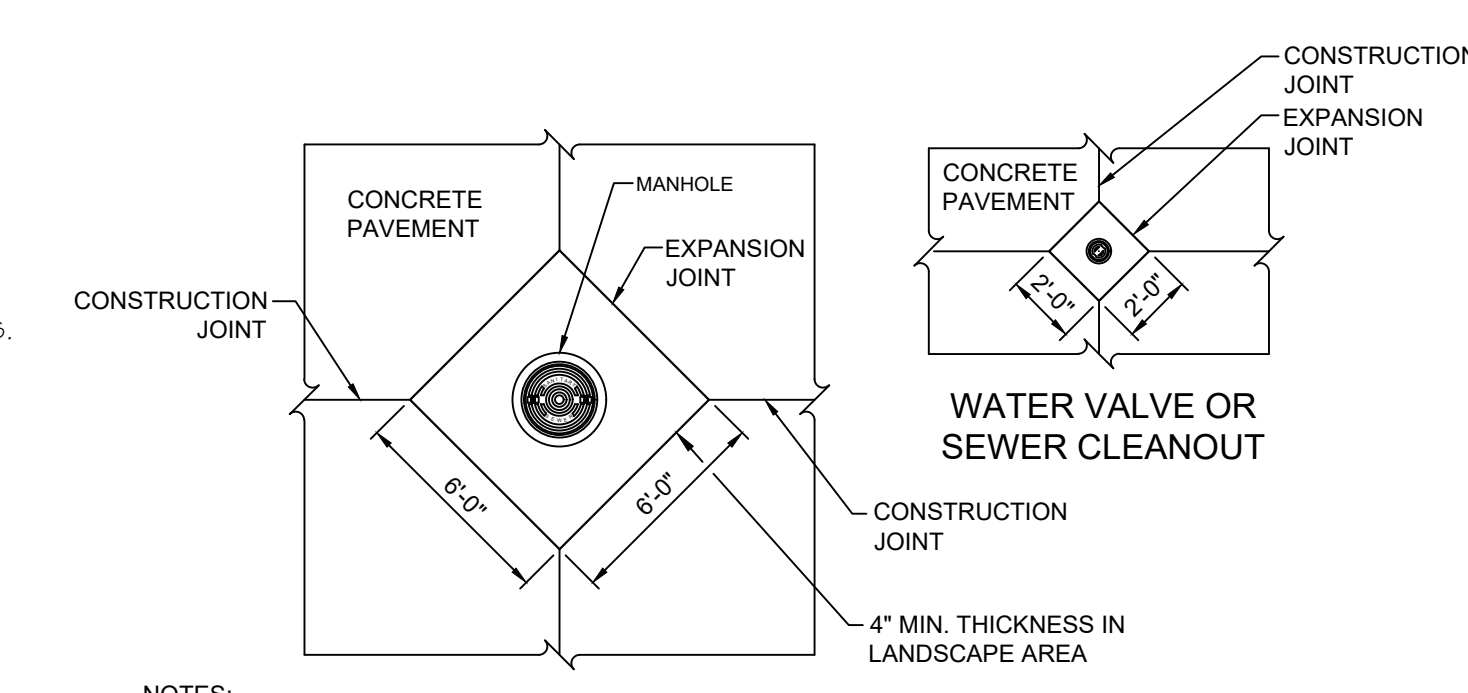
PARALLEL CURB RAMP DETAIL

N.T.S. - SIDEWALK PARALLEL TO CURB



CONTROL JOINT (CONTRACTION)

N.T.S.

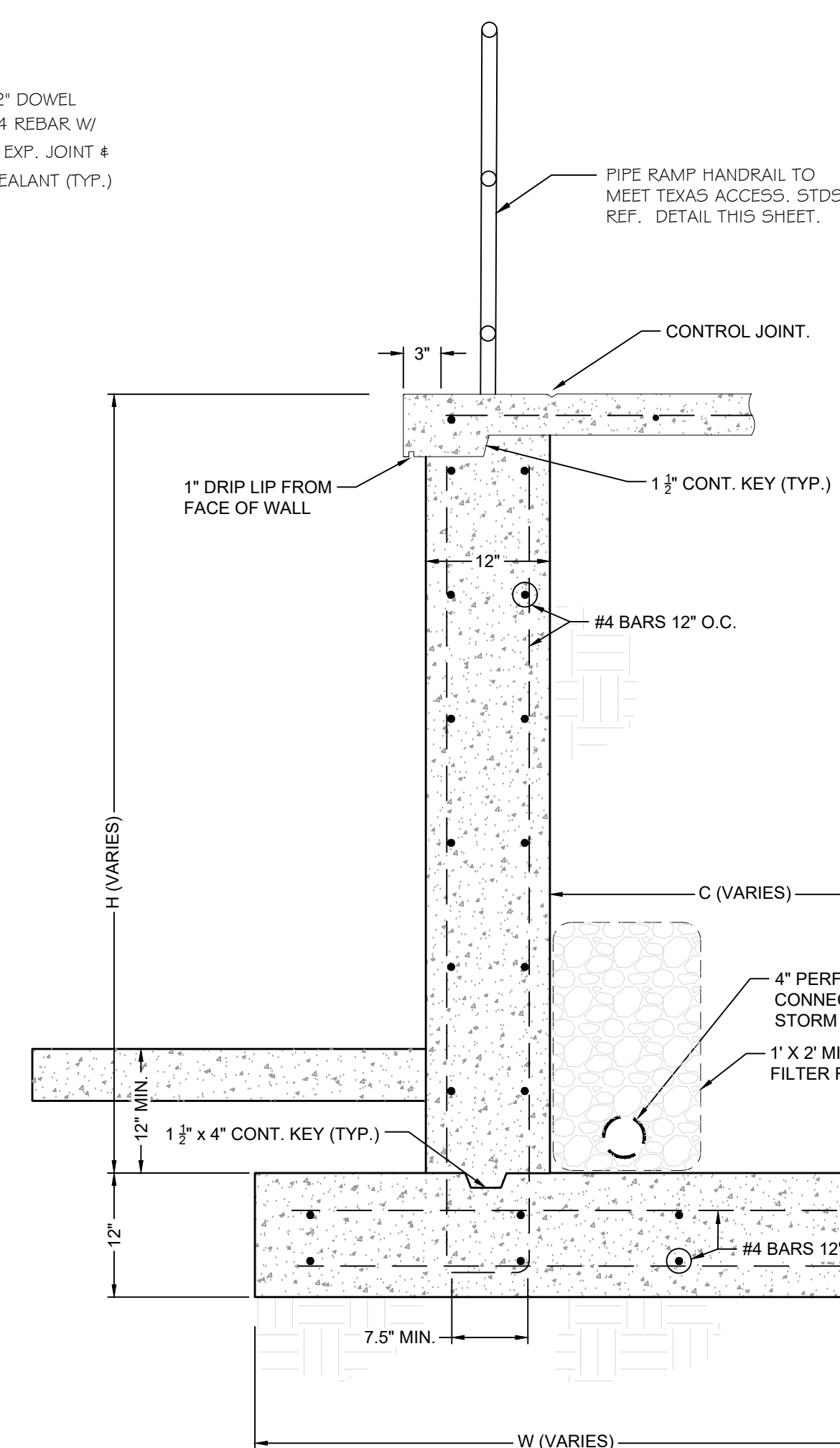


NOTES:

- ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES.
- BOXOUT REQUIRED FOR ALL MANHOLES (STORM AND SANITARY) AND CLEANOUTS LOCATED IN PCC PAVEMENT.
- MANHOLE BOXOUT SHALL BE 6'x6' SQUARE AND ALIGNED WITH PAVEMENT JOINTING.
- WATER VALVE & SANITARY CLEANOUTS SHALL BE PLACED IN BOXOUTS 2'x2' SQUARE ALIGNED WITH PAVEMENT JOINTING.
- MANHOLES OR VALVES LOCATED IN LANDSCAPE AREAS SHALL INCLUDE 4" MIN. CONCRETE COLLAR TO THE DIMENSIONS INDICATED ABOVE AND SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
- ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

MH / VALVE / CLEANOUT DETAIL

N.T.S.



RETAINING WALL NOTES:

- THE RETAINING WALL IS DESIGNED TO SUPPORT A NOMINAL SURCHARGE OF 100 PSF.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH IS 4,000 PSI @ 28 DAYS.
- MINIMUM CONCRETE COVER:
 - 1" 1/2" CAST AGAINST FORMS.
 - 3" CAST AGAINST EARTH.
- DEVELOPMENT AND SPLICE LENGTHS SHALL CONFORM TO ACI STANDARDS.

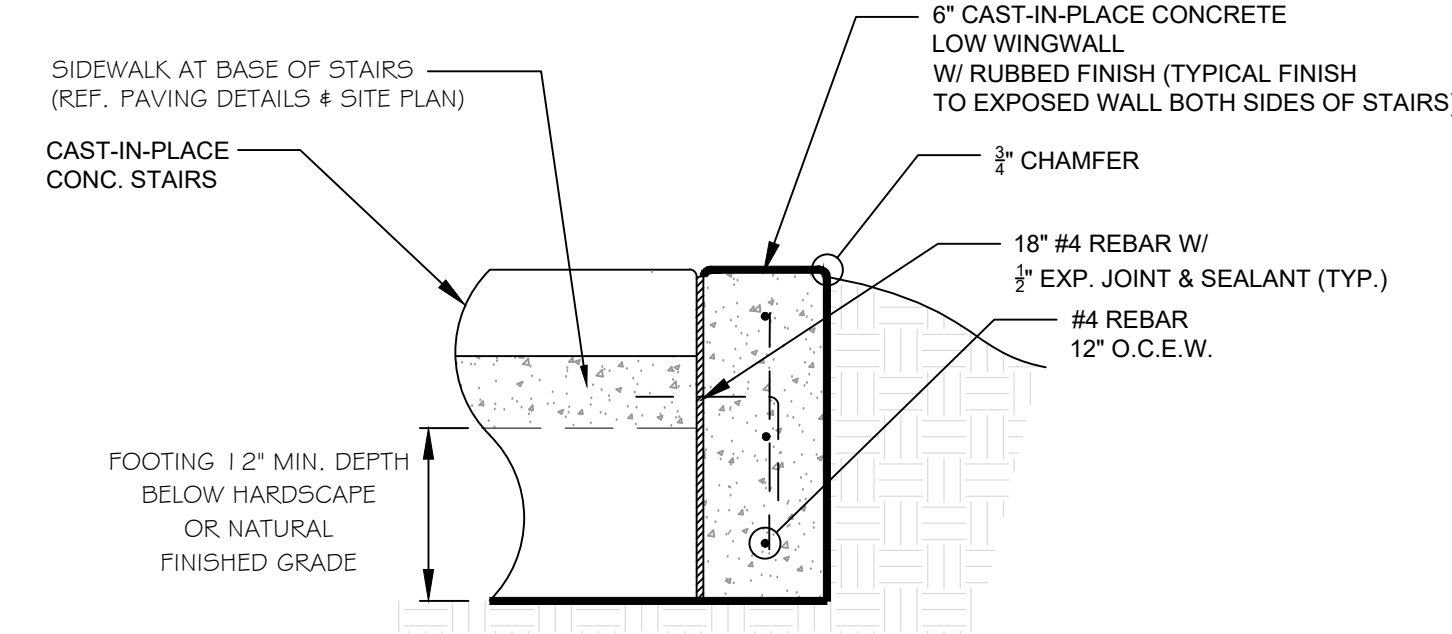
STEM HEIGHT H	BASE WIDTH W	HEEL C
UP TO 18"	2'-3"	1'-3"
< 3'-0"	3'-0"	1'-9"
< 4'-0"	3'-9"	2'-3"
< 5'-0"	4'-6"	2'-9"

CONCRETE RETAINING WALL

N.T.S.

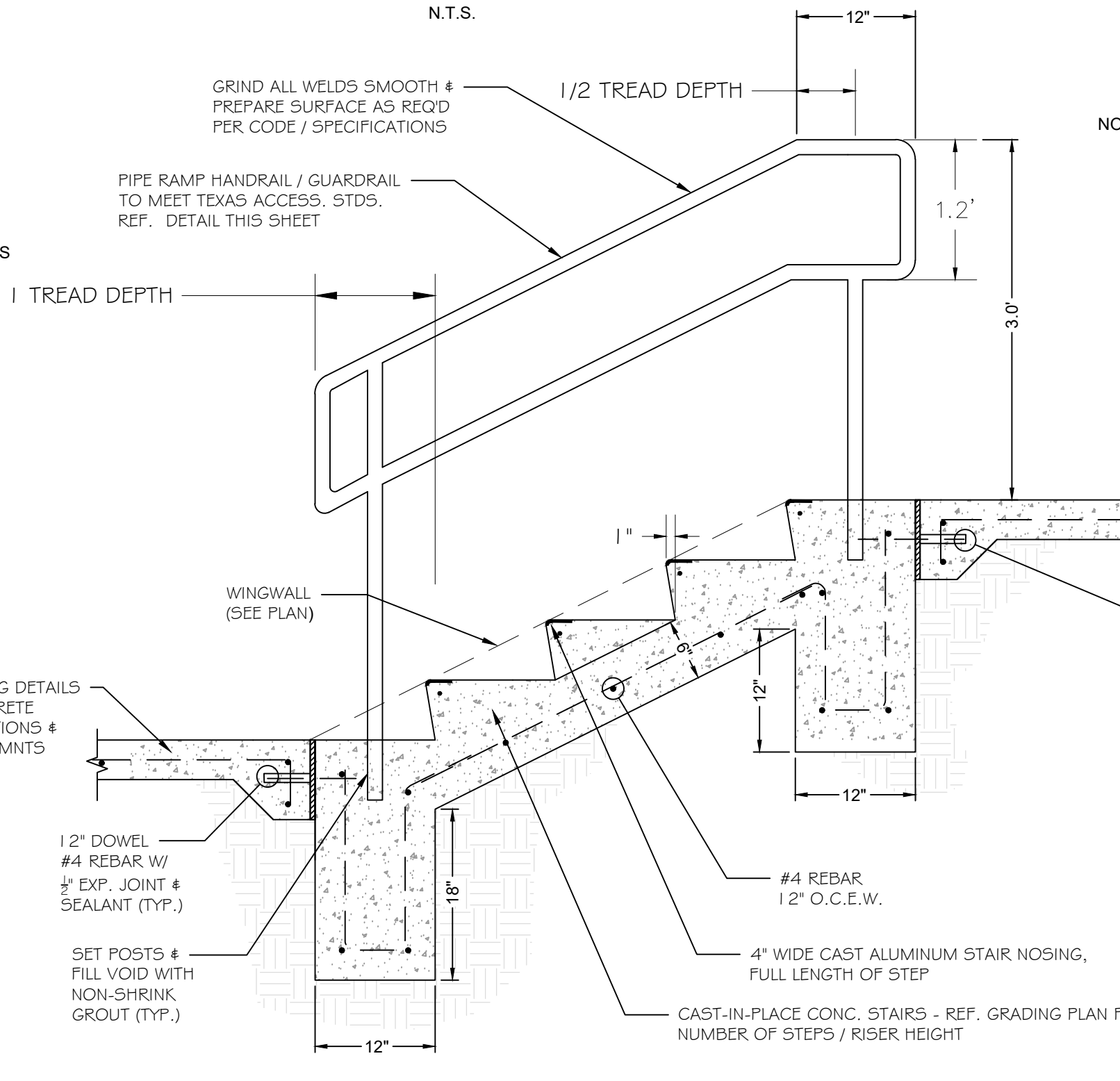
TYPICAL WING WALL DETAIL

N.T.S.



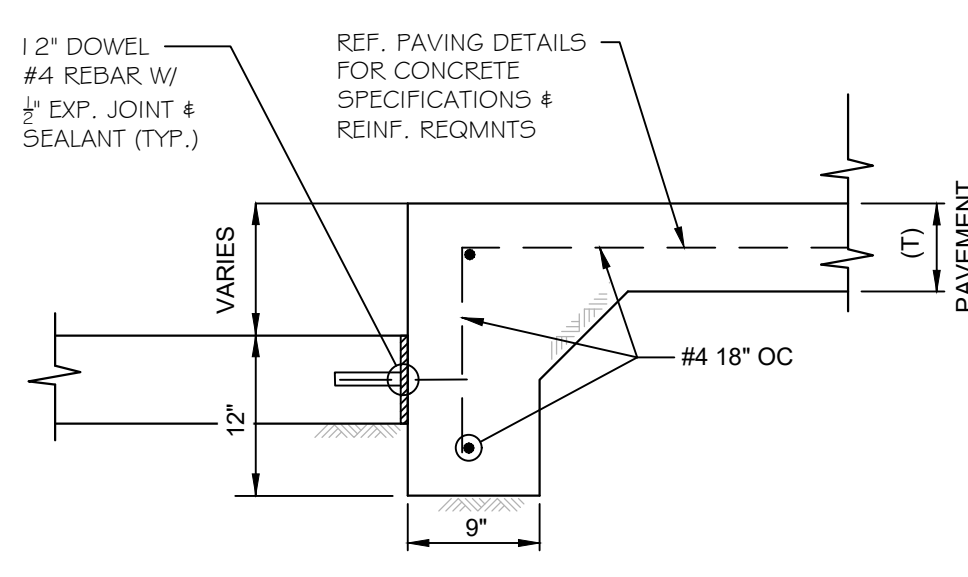
TYPICAL STAIR DETAIL

N.T.S.



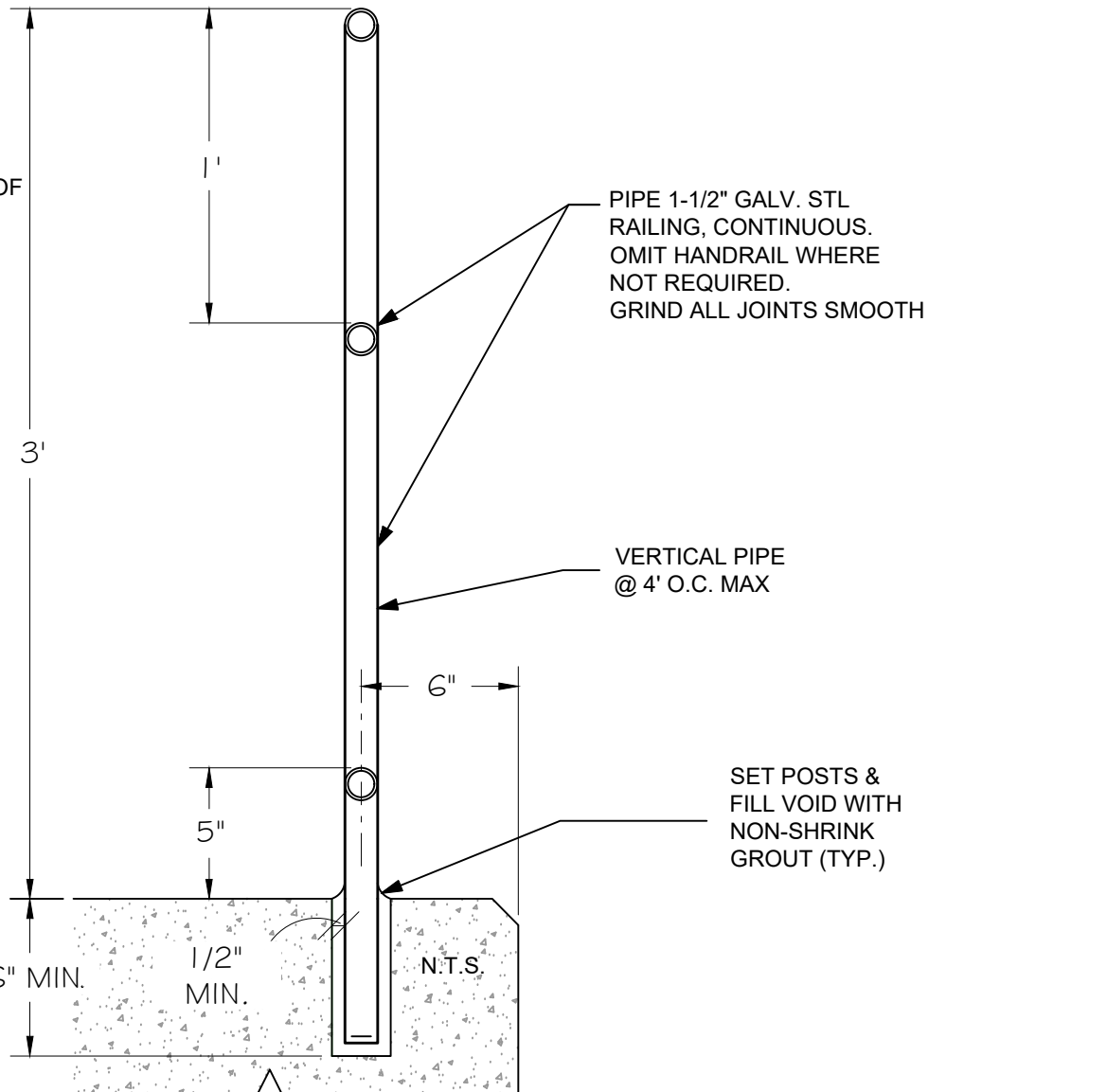
TYPICAL JOINT LAYOUT

N.T.S.



THICKENED PAVEMENT EDGE

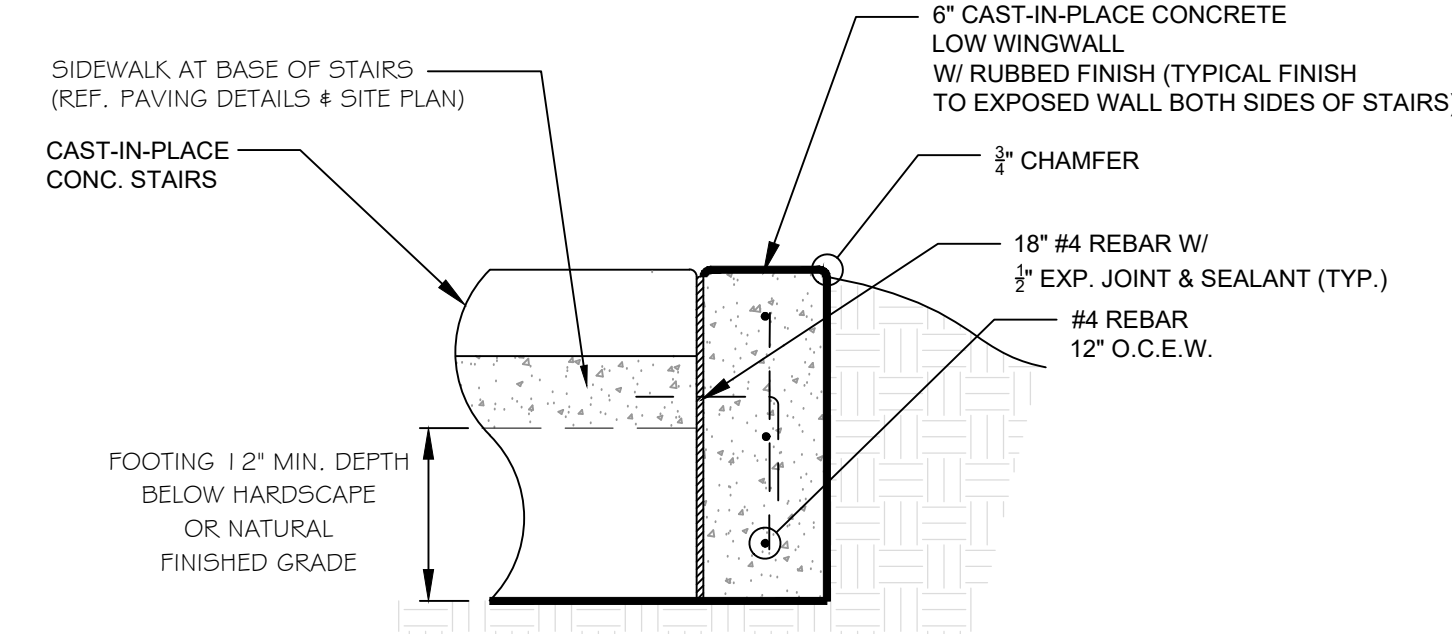
N.T.S.



HANDRAIL

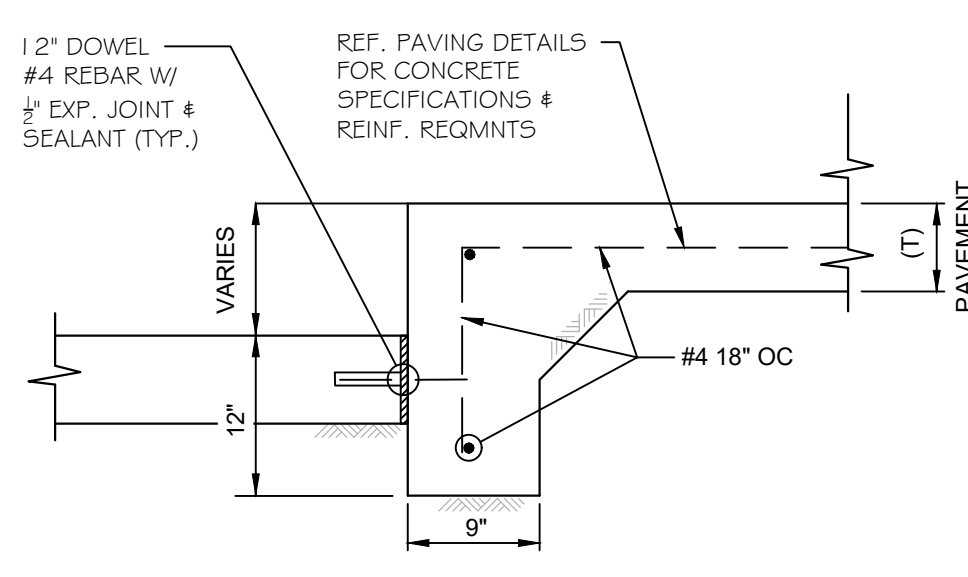
TYPICAL WING WALL DETAIL

N.T.S.



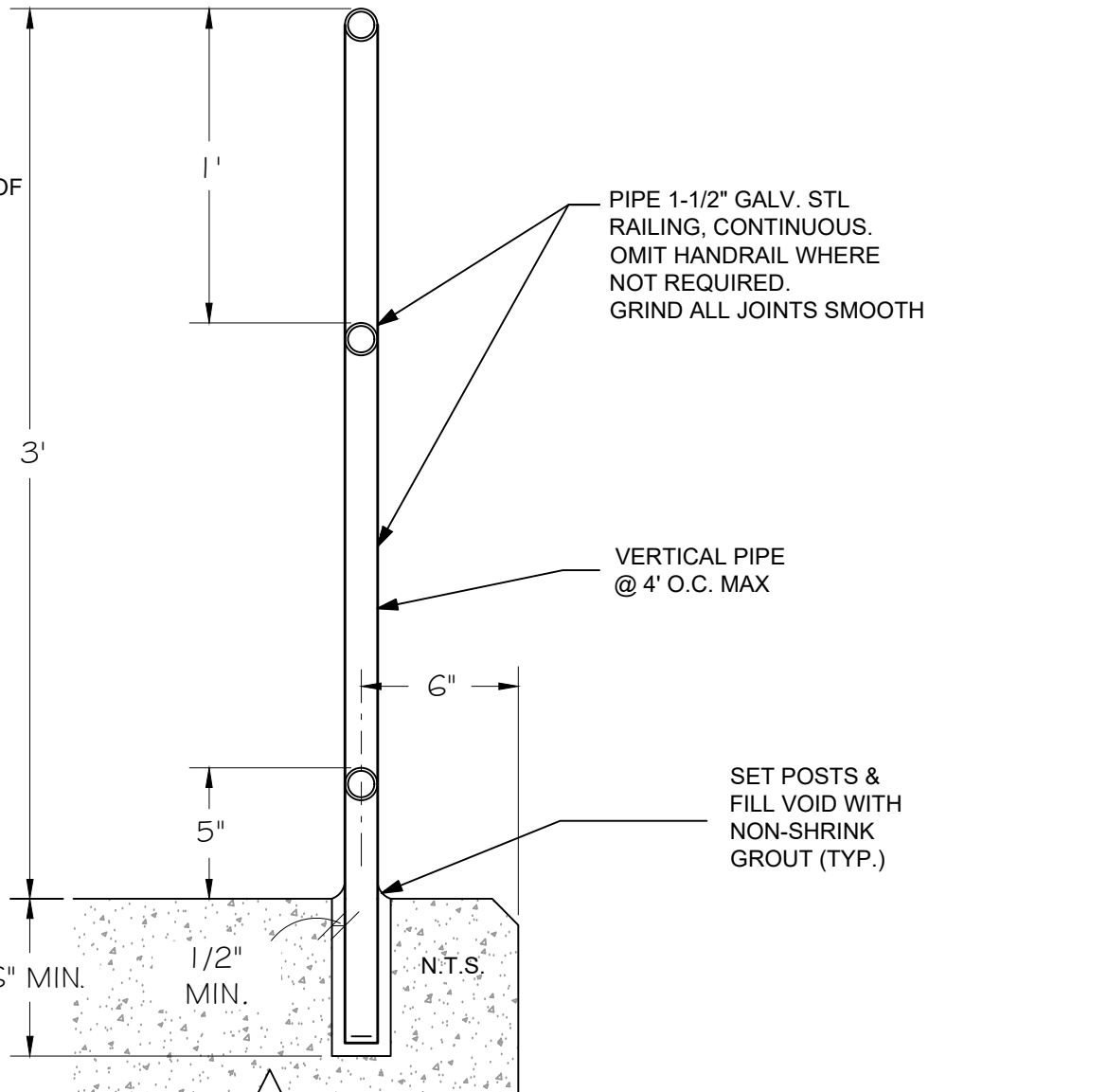
TYPICAL JOINT LAYOUT

N.T.S.

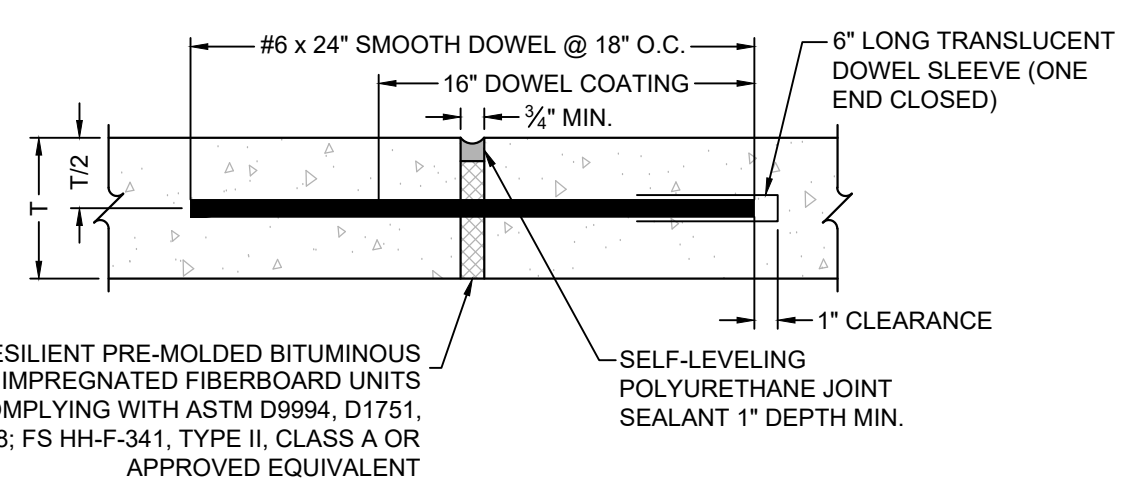


THICKENED PAVEMENT EDGE

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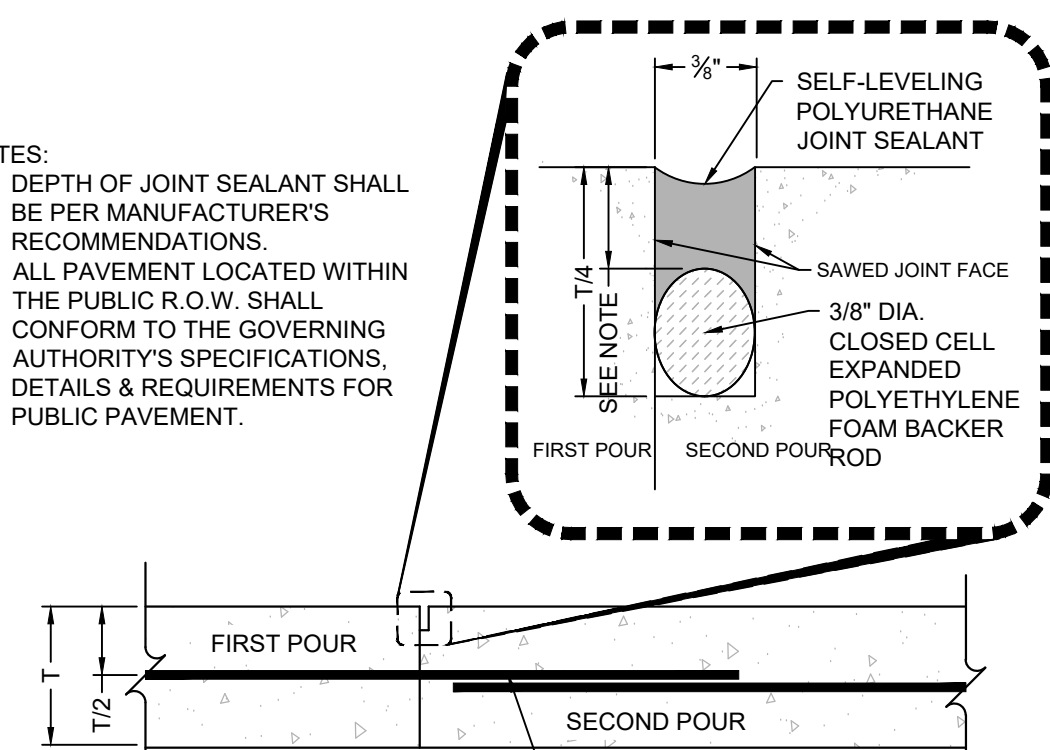


HANDRAIL



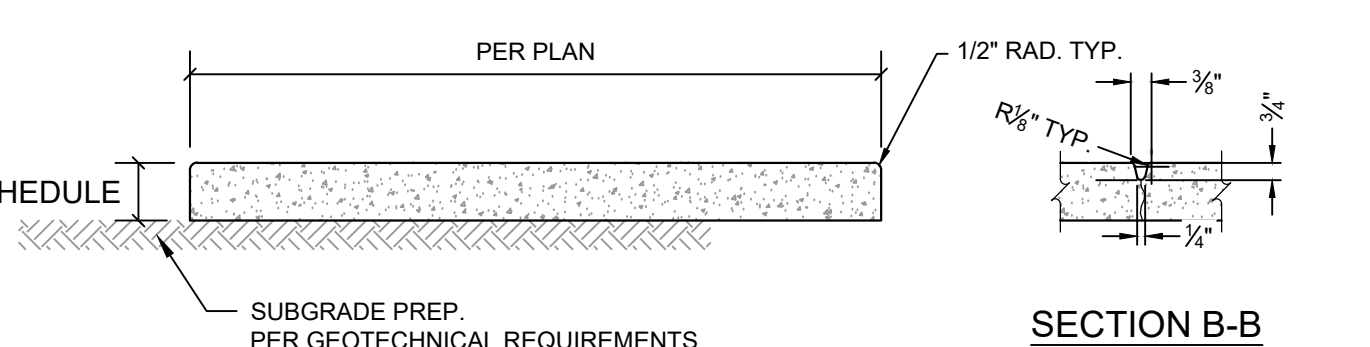
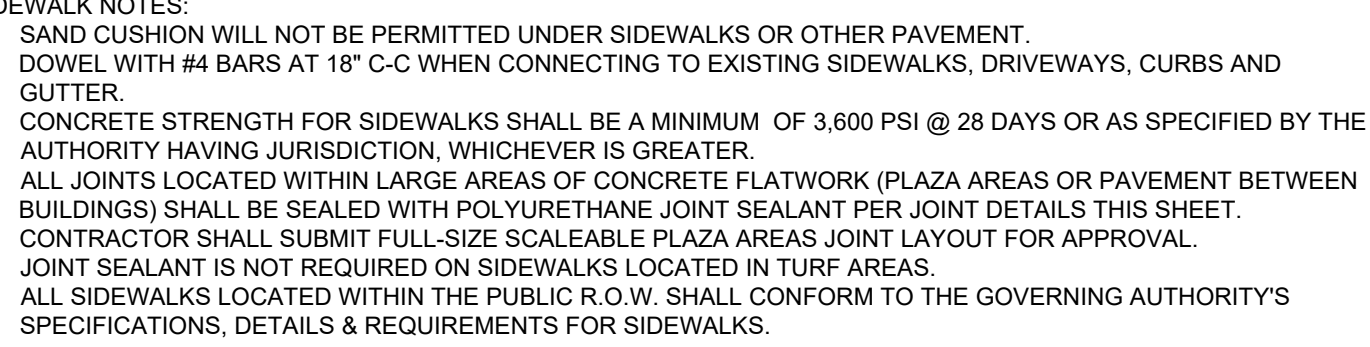
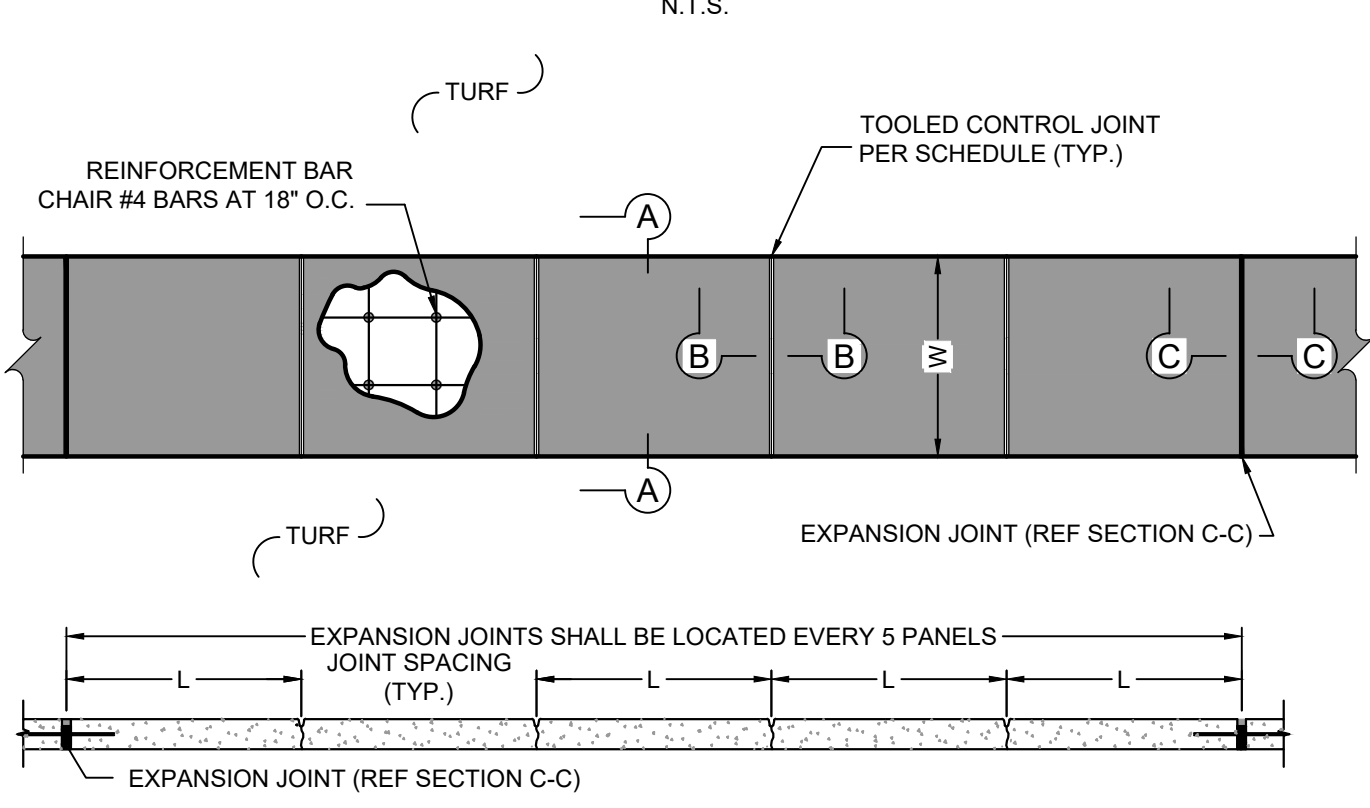
EXPANSION JOINT (ISOLATION)

N.T.S.



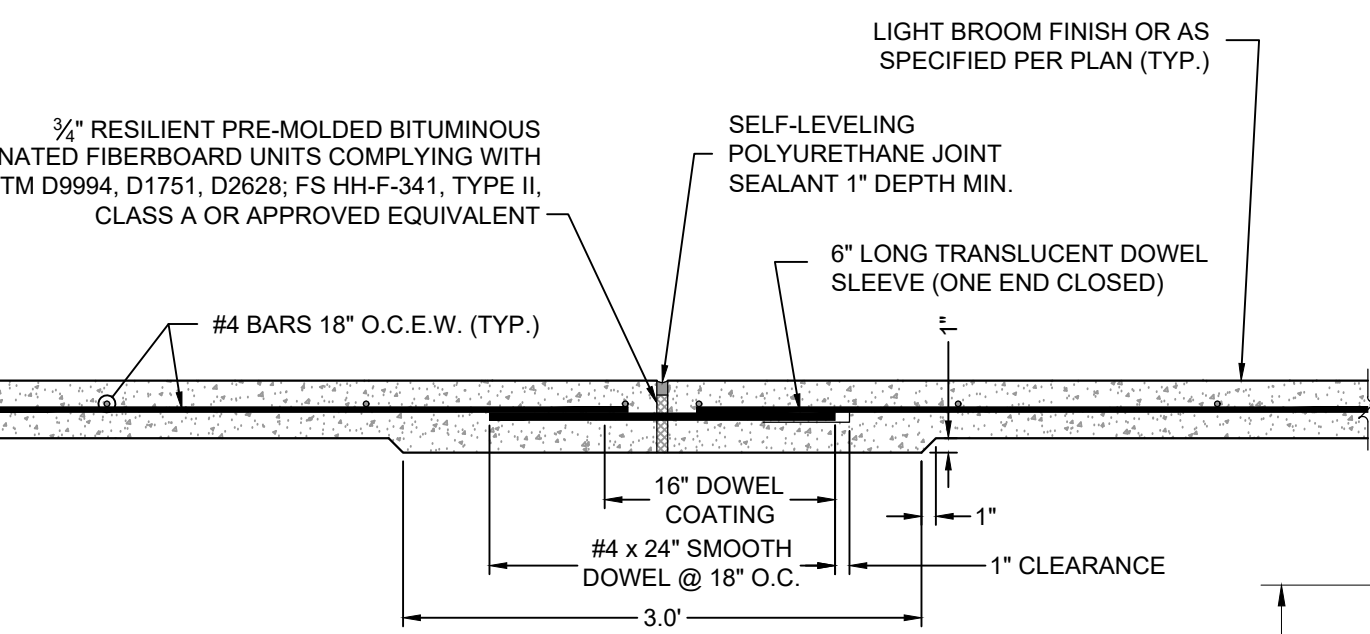
CONSTRUCTION BUTT JOINT

N.T.S.



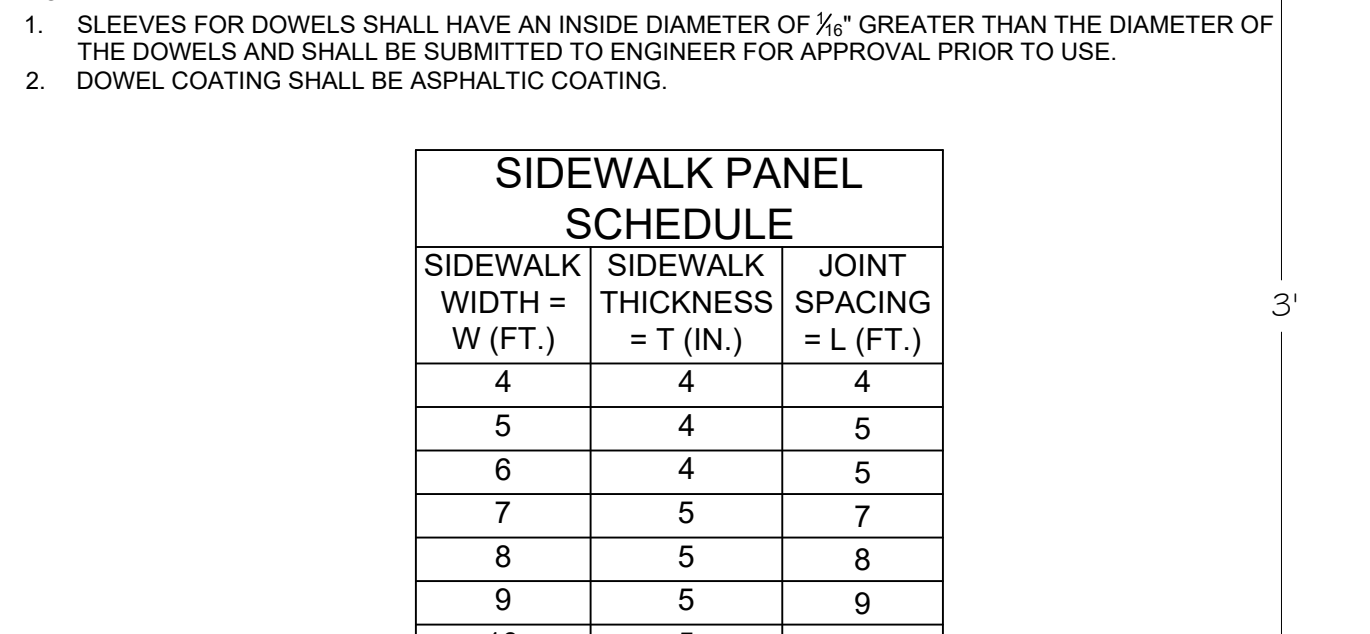
SECTION A-A

N.T.S.



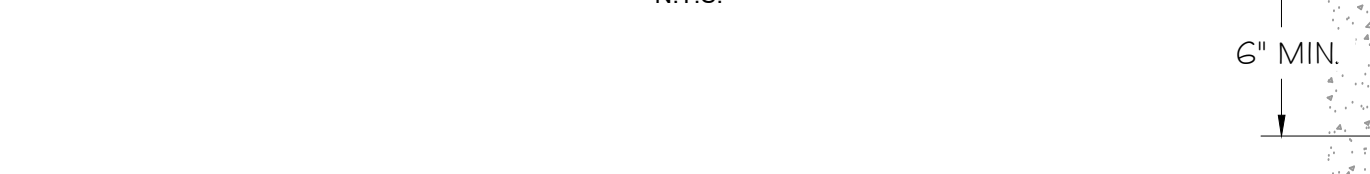
SECTION C-C

N.T.S.



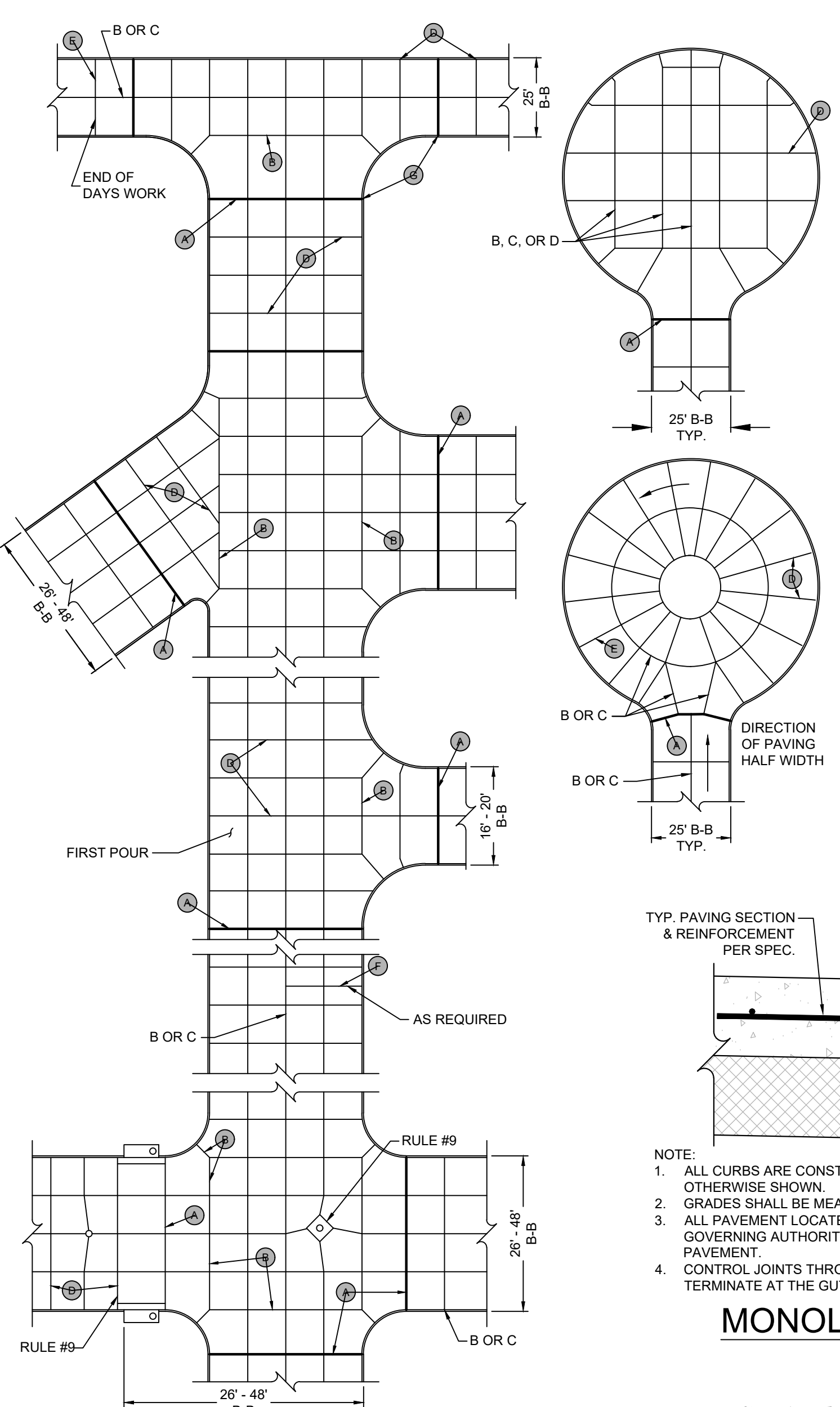
TYPICAL SIDEWALK DETAIL

N.T.S.



SIDEWALK WIDTH = W (FT.)	SIDEWALK THICKNESS = T (IN.)	JOINT SPACING = L (FT.)
4	4	4
5	4	5
6	4	5
7	5	7
8	5	8
9	5	9
10	5	10

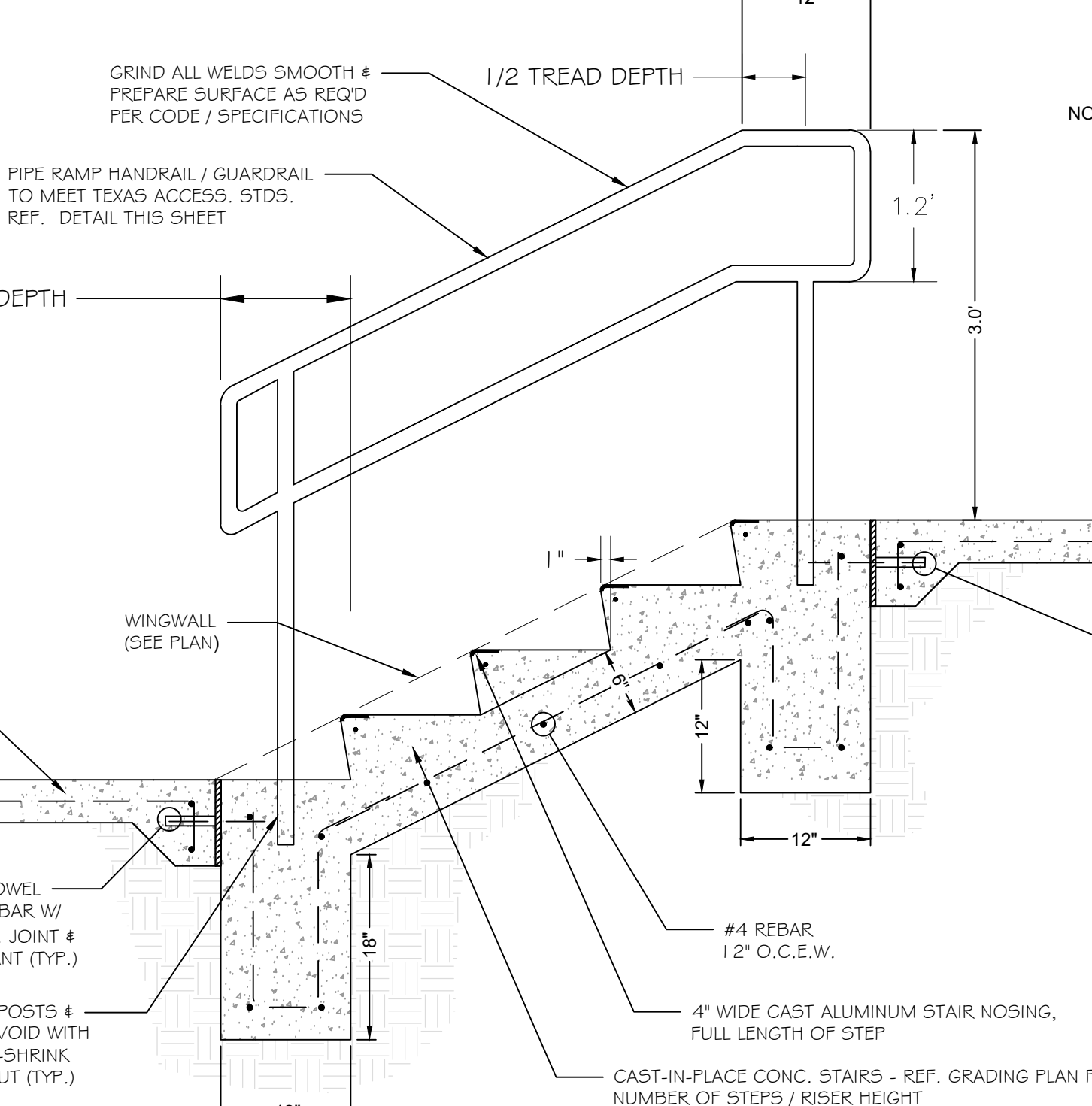
- NOTES:
- SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF 1/8" GREATER THAN THE DIAMETER OF THE DOWELS AND SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO USE.
 - EXPANSION JOINTS SHALL BE CONSTRUCTED A MAXIMUM OF 500' APART ON STRAIGHT PAVING, AND WHERE INDICATED PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA 106.1.01P (LATEST VERSION).
 - DOWEL COATING SHALL BE ASPHALTIC COATING.
 - DOWELS SHALL NOT BE TIED TO OTHER REINFORCEMENT.
 - REFER TO SIDEWALK DETAILS THIS SHEET FOR EXPANSION JOINTS IN SIDEWALK AREAS.
 - ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
 - FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/8".



- KEY NOTES:
- EXPANSION JOINT (ISOLATION)
 - LONGITUDINAL CONSTRUCTION JOINT
 - LONGITUDINAL CONTROL JOINT (CONTRACTION)
 - TRANSVERSE CONTROL JOINT (CONTRACTION)
 - PLANNED TRANSVERSE CONSTRUCTION JOINT
 - EMERGENCY TRANSVERSE CONSTRUCTION JOINT
 - PLACE 1/2" EXPANSION JOINT FILLER IN TOP OF CURB ONLY AT ALL RADIUS POINTS
- RULES:
- AVOID ODD-SHAPED SLABS.
 - MAXIMUM TRANSVERSE JOINT SPACING FOR PAVEMENT SHOULD EITHER BE 24 TO 30 TIMES THE SLAB THICKNESS OR 15ft.
 - LONGITUDINAL JOINT SPACING SHOULD NOT EXCEED 12.5ft.
 - KEEP SLABS AS SQUARE AS POSSIBLE. LONG NARROW SLABS TEND TO CRACK MORE THAN SQUARE ONES.
 - ALL TRANSVERSE CONSTRUCTION JOINTS MUST BE CONTINUOUS THROUGH THE CURB AND HAVE A DEPTH EQUAL TO 1/2 THE PAVEMENT THICKNESS.
 - IN ISOLATION JOINTS, THE FILLER MUST BE FULL DEPTH AND EXTEND THROUGH THE CURB.
 - IF THERE IS NO CURB, LONGITUDINAL JOINTS SHOULD BE TIED WITH DEFORMED BARS.
 - OFFSETS AT RADIUS POINTS SHOULD BE AT LEAST 1.5x WIDE. JOINT INTERSECTION ANGLES LESS THAN 60° SHOULD BE AVOIDED.
 - MINOR ADJUSTMENTS IN JOINT LOCATION MADE BY SHIFTING OF SKEWING TO MEET INLETS AND MANHOLES WILL IMPROVE PAVEMENT PERFORMANCE.
 - WHEN THE PAVEMENT AREA HAS DRAINAGE STRUCTURES, PLACE JOINTS TO MEET THE STRUCTURES IF POSSIBLE.

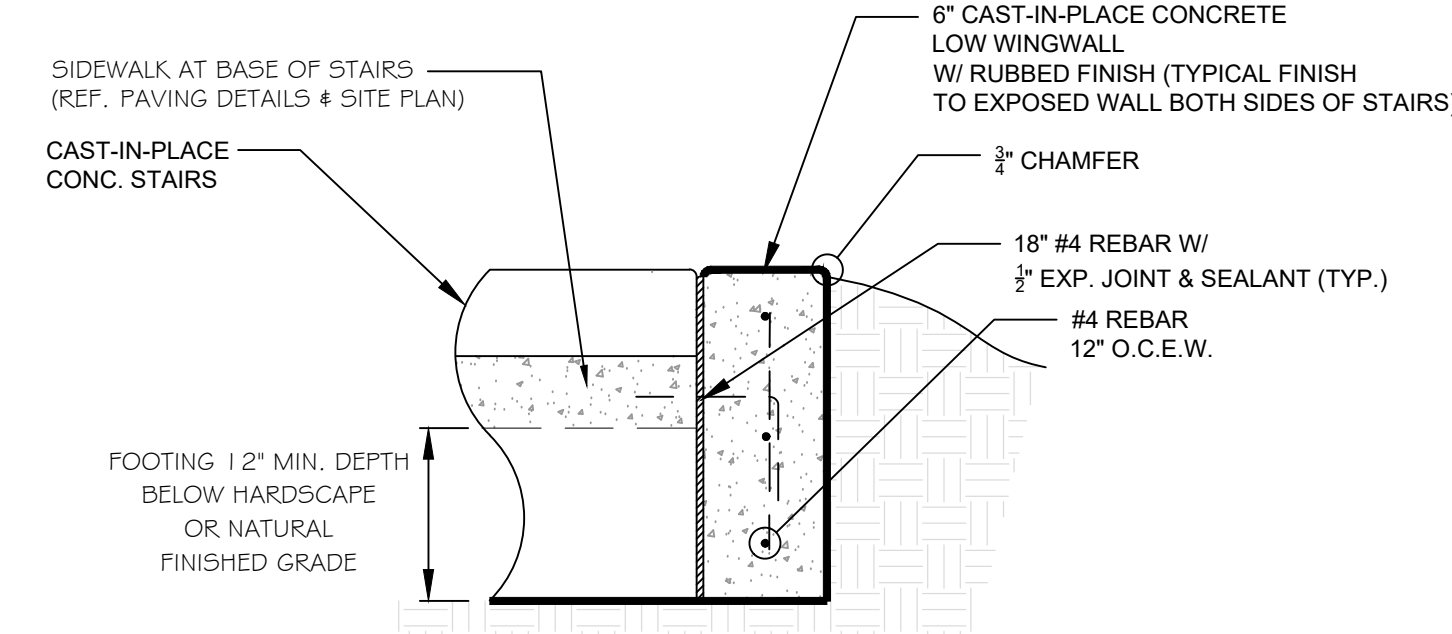
MONOLITHIC CURB DETAIL

N.T.S.



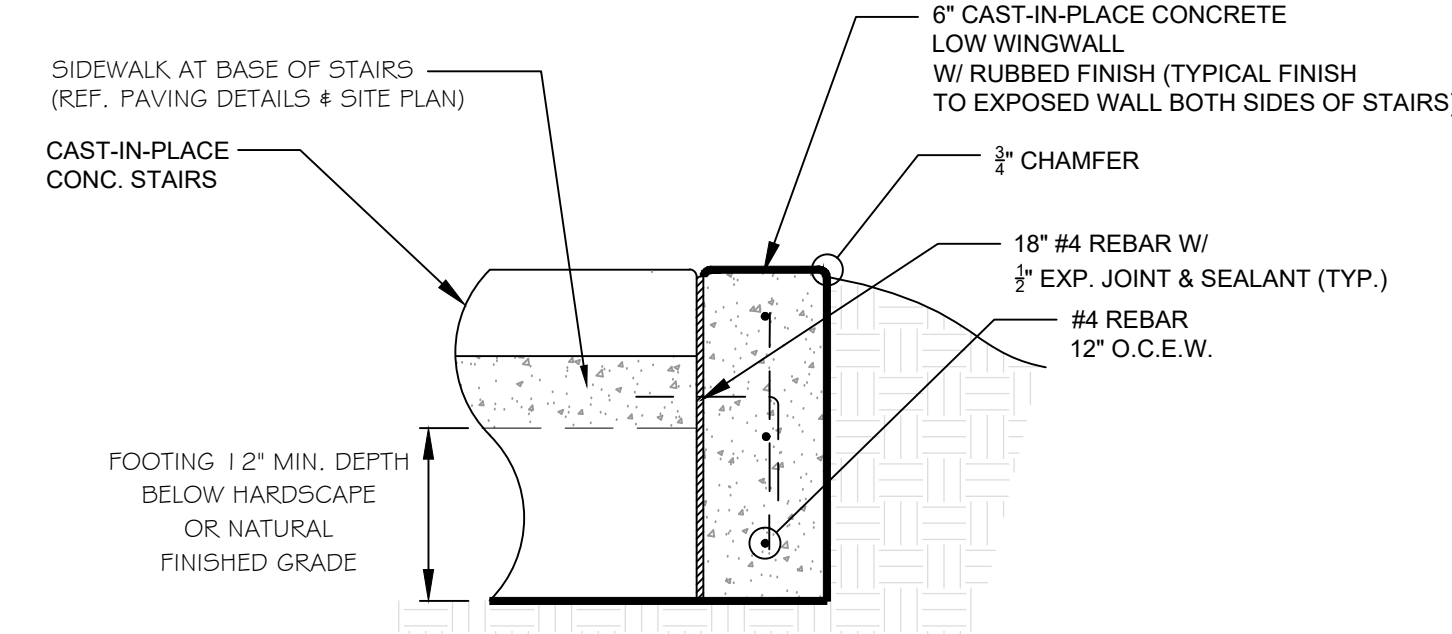
TYPICAL STAIR DETAIL

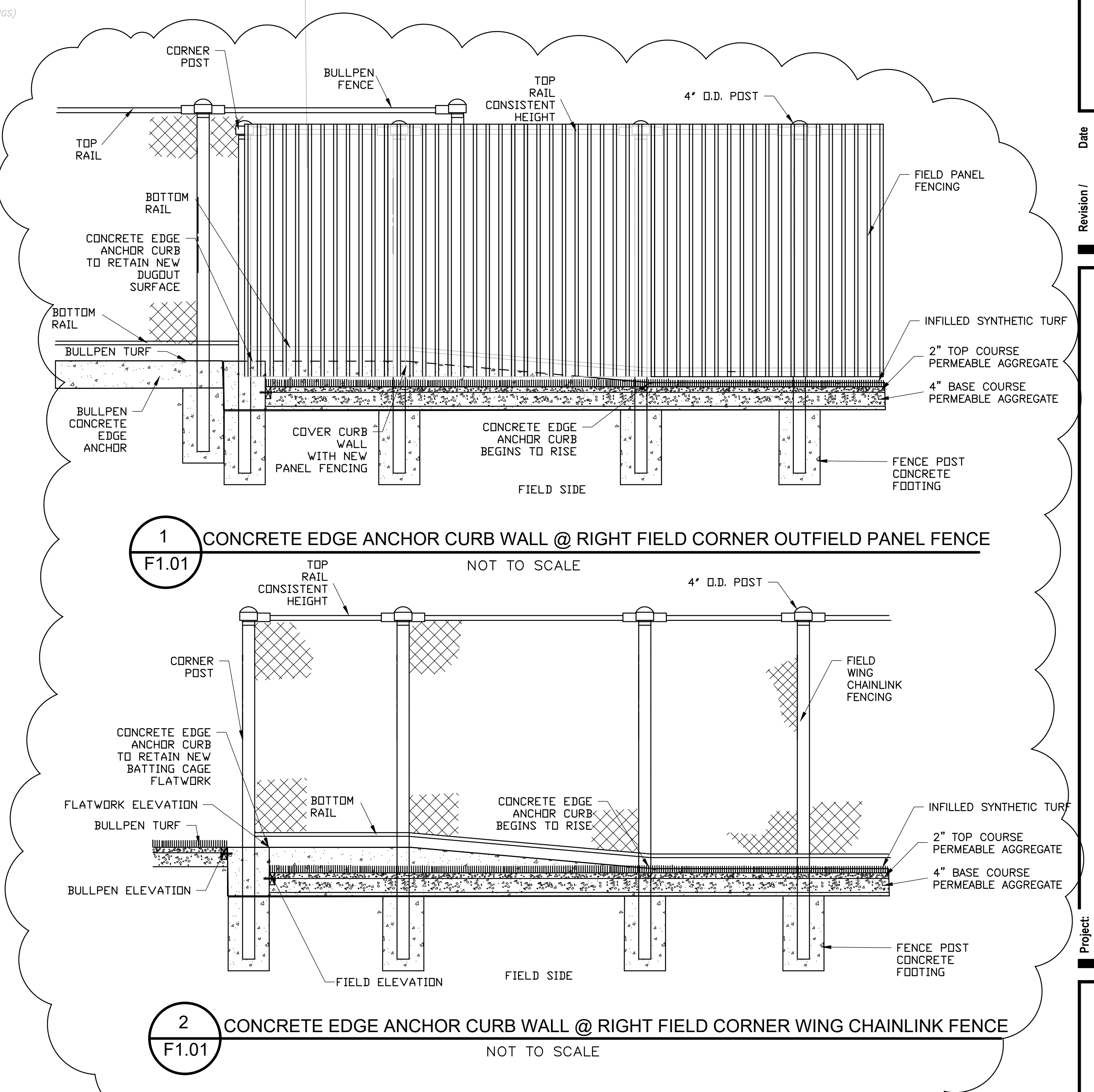
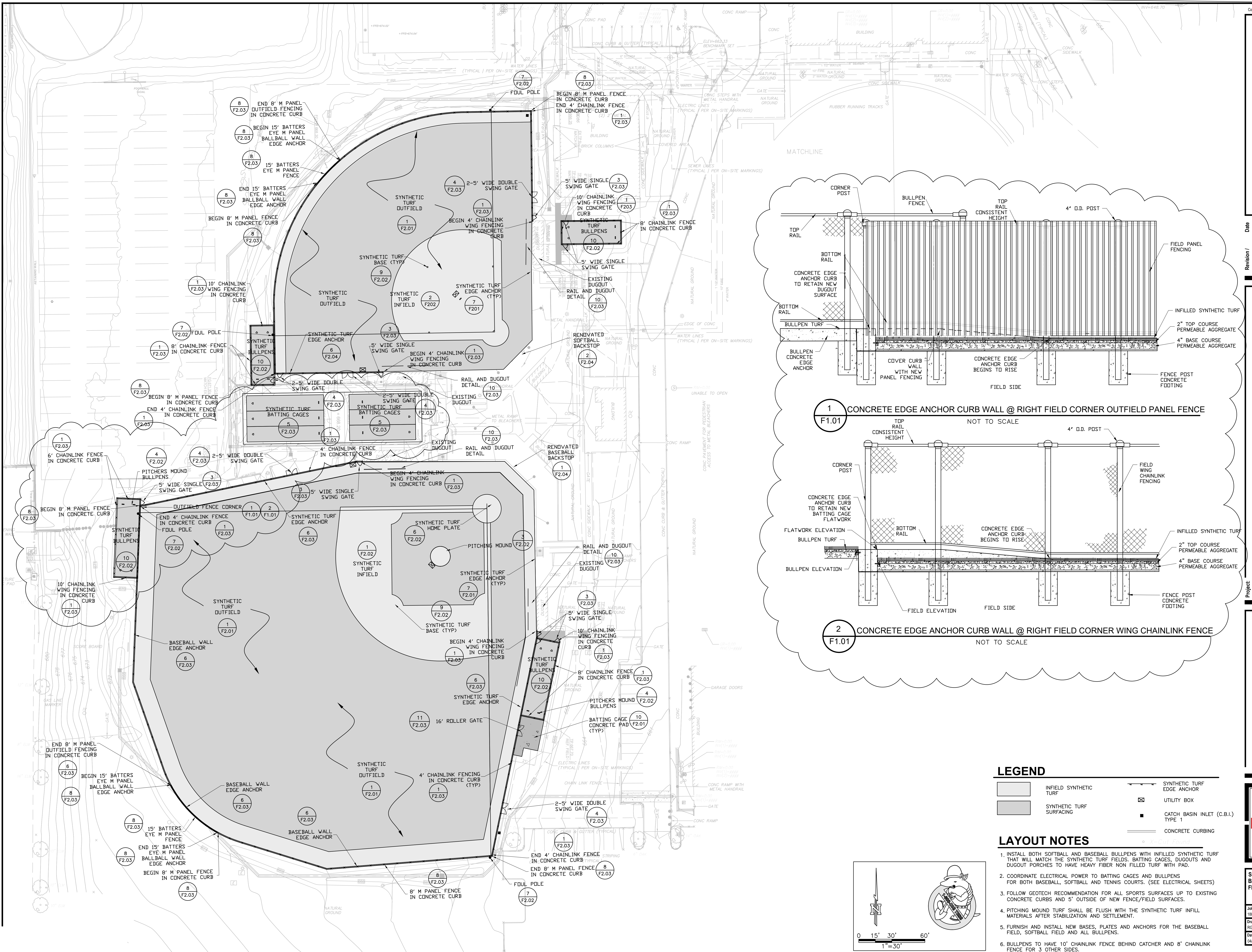
N.T.S.



TYPICAL WING WALL DETAIL

N.T.S.





LEGEND

	INFIELD SYNTHETIC TURF		SYNTHETIC TURF EDGE ANCHOR
	SYNTHETIC TURF SURFACING		UTILITY BOX
			CATCH BASIN INLET (C.B.I.) TYPE 1
			CONCRETE CURBING

LAYOUT NOTES

1. INSTALL BOTH SOFTBALL AND BASEBALL BULLPENS WITH INFILLED SYNTHETIC TURF THAT WILL MATCH THE SYNTHETIC TURF FIELDS. BATTING CAGES, DUGOUTS AND DUGOUT PORCHES TO HAVE HEAVY FIBER NON FILLED TURF WITH PAD.
2. COORDINATE ELECTRICAL POWER TO BATTING CAGES AND BULLPENS FOR BOTH BASEBALL, SOFTBALL AND TENNIS COURTS. (SEE ELECTRICAL SHEETS)
3. FOLLOW GEOTECH RECOMMENDATION FOR ALL SPORTS SURFACES UP TO EXISTING CONCRETE CURBS AND 5' OUTSIDE OF NEW FENCE/FIELD SURFACES.
4. PITCHING MOUND TURF SHALL BE FLUSH WITH THE SYNTHETIC TURF INFILL MATERIALS AFTER STABILIZATION AND SETTLEMENT.
5. FURNISH AND INSTALL NEW BASES, PLATES AND ANCHORS FOR THE BASEBALL FIELD, SOFTBALL FIELD AND ALL BULLPENS.
6. BULLPENS TO HAVE 10' CHAINLINK FENCE BEHIND CATCHER AND 8' CHAINLINK FENCE FOR 3 OTHER SIDES.

