

LJSD Board of Trustees
Facilities Report - November 19, 2025

Updates:

- Concrete: We have put the contractor on notice that we may go outside to get a new contractor at their expense, or we will call the bond to fix the project to our satisfaction per the specs. The punch list for the project has been included as an attachment for your reference.

A sampling of completed work since the last board meeting:

- 187 work orders completed in October
- Mowing is mostly complete. With the warm weather lately, we will need to touch up before the snow.
- Working on trimming trees, fence lines, and in front of buildings.
- Treated baseball and softball infields with weed kill to help with spring ball.
- Obtained 50-gallon plastic barrels with lids for sand at the entry for all schools with new concrete. In the process of filling with sand.
- The concrete pad for the TLE boiler has been poured. Atlas to install the boiler later this week.
- Constant issues with HVAC systems, trying to regulate heat in buildings.
 - Systems have a temp swing of 2-5 degrees. Can't keep perfect temps.
- DOPL ID state inspector just finished up inspections. Last year's reports went missing. He'll personally make sure we get this year's soon. He's making it a priority.
- Fixed gas issue at THS - water heater was bypassing a very small amount of gas due to a pressure issue, which appears to be fixed. We will monitor. Just enough gas bypassed the system to enter the ductwork and smell up the building - no danger of fire or explosion, just a bad smell.
- The old vacuum that we can't find parts for had a broken aluminum face plate. Jeff was able to fabricate the part and weld it back together in a short time, saving us from buying a new vacuum.

A sampling of projects in progress:

- Replace the boiler at TLE.
- THS has a bad heat pump compressor in the Library that we're working on - may need replacement.
- Doors to the wrestling room, getting bids now.
 - Met with Continental doors onsite to go over options, waiting on bids
- Concrete at 6 schools - repairs and punchlist items

Upcoming Projects:

- Modernization funds - Specs are almost complete. Will be ready for public bid within a month or so.

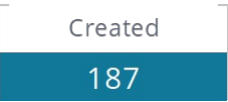
****Attached is a copy of the workflow from FMX. This gives a sampling of the workflow for October.****

Work Summary Dashboard

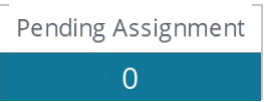
Filters:

Module: Exclude: Technology Request, Schedule Request
Type: Include all
Building: Include all
Current Status: Include all
Due Date: Include all
Created Date: 1/1/25 to 10/31/25
Completed Date: Last Month

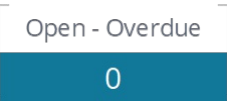
Work Requests



Work Requests



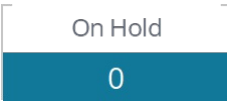
Work Requests



Work Requests



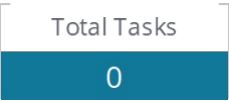
Work Requests



Work Requests



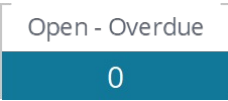
Planned Maintenance



Planned Maintenance



Planned Maintenance



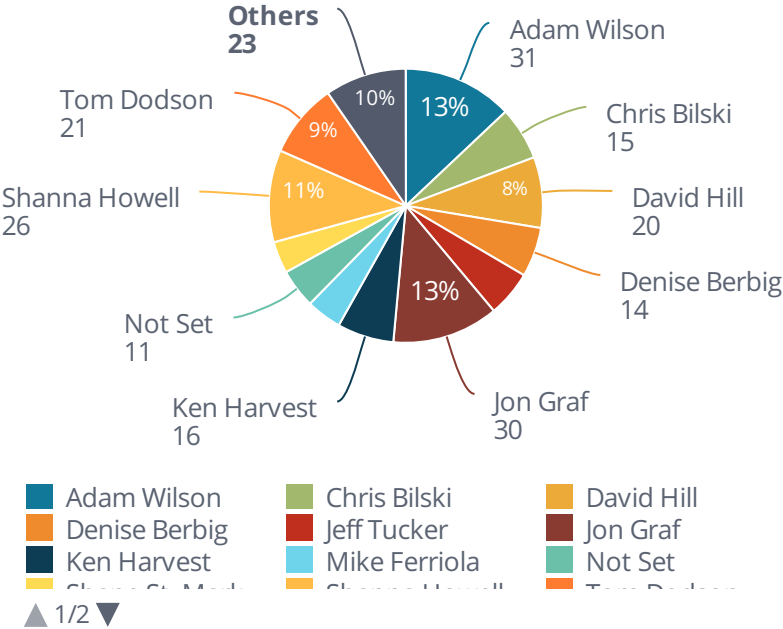
Planned Maintenance



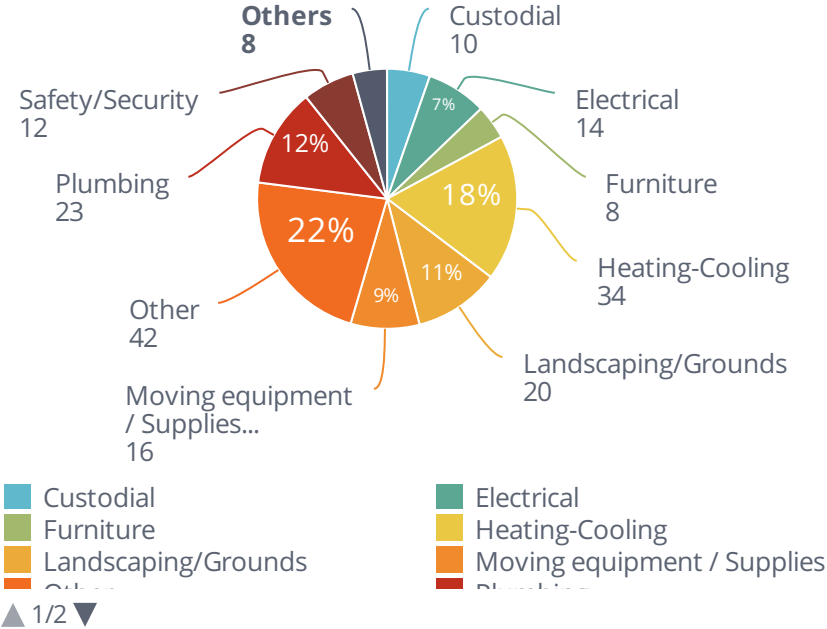
Planned Maintenance



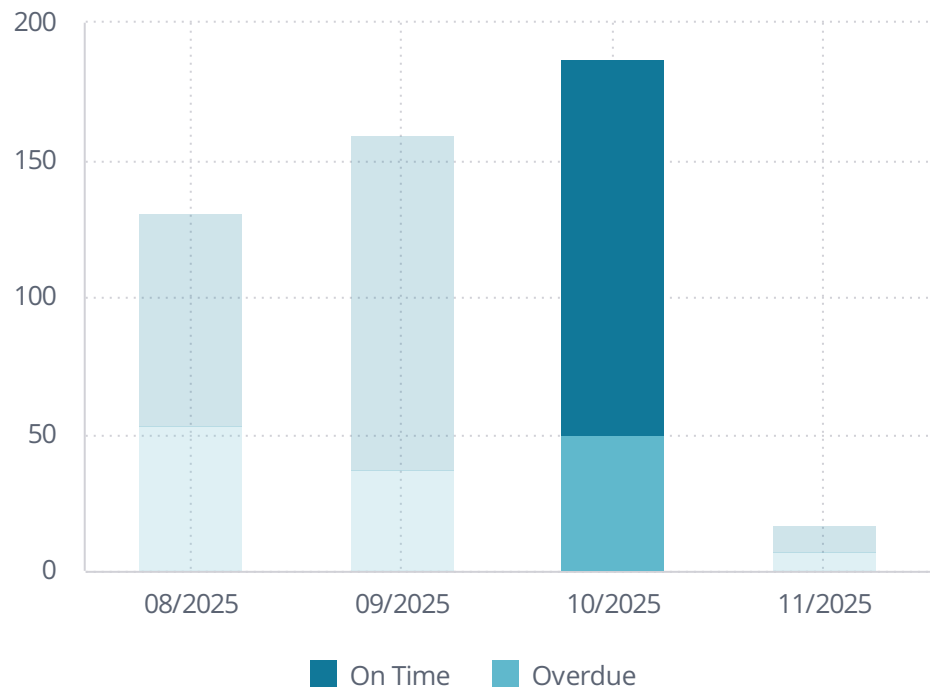
PM and Work Requests Assigned By User



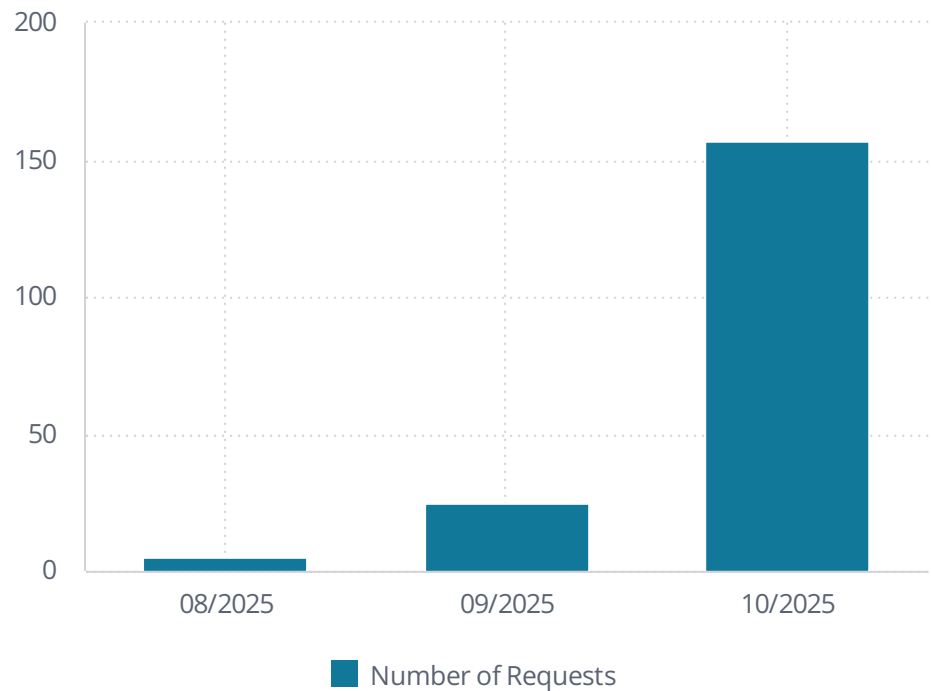
PM and Work Requests By Type



Trend of Requests Completed Per Month





Trend of Work Requests Created Per Month



Request Details

Module	Request	Type	Building	Create Date
Maintenance Request	8034459 - running sink	Plumbing	Timberlake High School	8/4/
	8068998 - remove old boiler ...	Heating-Cooling	Timberlake Middle School	8/14
	8084542 - More playground b...	Landscaping/Grounds	Twin Lakes Elementary	8/19
	8107015 - Remove Ice melt	Moving equipment / Supplies	Maintenance - Facilities Building	8/25
	8107335 - Move wire for gym ...	Sports	Timberlake High School	8/25
	8141806 - Can we replace the...	Plumbing	Timberlake Middle School	9/4/
	8144724 - Mailbox	Other	Mountain View Alternative	9/5/
	8155440 - tables	Moving equipment / Supplies	Timberlake High School	9/9/
	8155450 - weeds	Landscaping/Grounds	Timberlake High School	9/9/
	8156849 - room hot	Heating-Cooling	Twin Lakes Elementary	9/9/
	8158276 - Remove furniture	Furniture	John Brown Elementary	9/10
	8165953 - Paint Handicap sid...	Other	Lakeland High School	9/11
	8169171 - Armed Guard stati...	Electrical	Athol Elementary	9/12
	8171097 - Safety light	Safety/Security	John Brown Elementary	9/15
	8184569 - Sensory swing	Other	Garwood Elementary	9/18
	8193744 - Power for radon fa...	Electrical	Spirit Lake Elementary	9/22
	8196667 - Dept. Roach new d...	Furniture	Twin Lakes Elementary	9/23



SITE PUNCHLIST OBSERVATIONS		
Item No.	Notes:	
	See sheet L1.51 for item callout.	
1		<p>Red fire lane painted curb not installed.</p> <p>Scoring not per plan.</p>
2		<p>Concrete does not meet and match.</p> <p>Recommend replacing adjacent panel.</p>

3



Scoring not per plan.

4



Concrete edge and adjacent area
contain excess concrete and debris
requiring cleanup.

Typical note throughout site.

5



Integral curb is cracking.

Area not scored per plan.

6







Integral curb not installed.

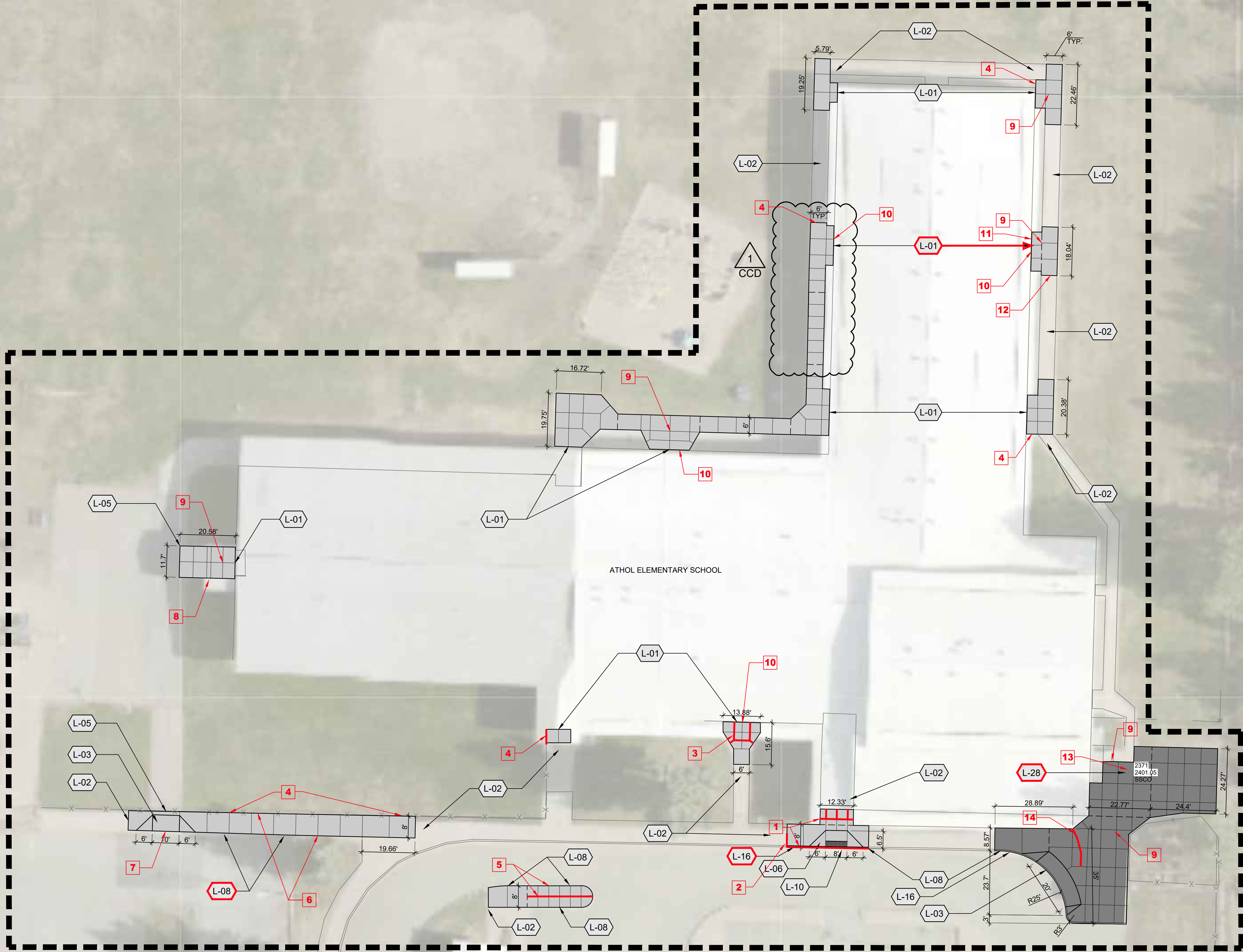
Damage to fence along expansion joint of concrete.



7		<p>Base of concrete shows a rough and uneven finish at asphalt edge. condition not consistent with specified smooth, uniform finish and clean edges</p> <p>Concrete does not meet and match flush.</p>
8		<p>Base of pillar cracked.</p>

9		<p>Joint finish is rough and inconsistent with specified requirements. Surface at joint is not uniform or smooth</p>
10	<p>Contractor to review the approved door threshold detail and correct all non-compliant installations to meet specified concrete/base depth and expansion material requirements. Provide updated photos of anchor installation for record.</p>	
11		<p>Concrete does not provide positive drainage away from doorway.</p>

12	New concrete does not meet and match existing concrete flush.
13	 <p data-bbox="1029 457 1333 569">Concrete is not flush with sanitary sewer clean out rim elevation.</p>
14	 <p data-bbox="1008 1335 1273 1409">Crack in concrete. Not scored per plan.</p>



LEGEND

CONSTRUCTION LIMITS

GENERAL NOTES

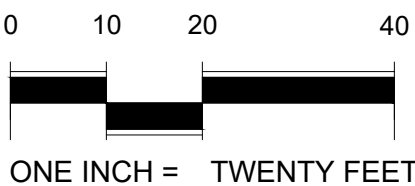
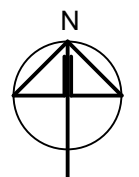
- REFER CLOSELY TO BUILDING LAYOUT DRAWINGS IN RELATION TO SITE LAYOUT ITEMS.
- CONTRACTOR TO VERIFY LISTED DIMENSIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS OR CENTER OF POST.
- CONTRACTOR RESPONSIBLE FOR ANY DAMAGE TO NEW OR EXISTING IMPROVEMENTS INCLUDING LANDSCAPE AREAS AS A RESULT OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NEW CONCRETE WORK OUTSIDE THE DEFINED DEMOLITION LIMITS. THIS INCLUDES ALL ASSOCIATED PREPARATION SUCH AS SUBGRADE GRADING, COMPACTION, INSTALLATION OF BASE COURSE, REINFORCEMENT, CONCRETE PLACEMENT, FINISHING, AND CURING AS REQUIRED BY THE PROJECT SPECIFICATIONS.**

GRADING NOTES

- VERIFY DEPTH AND COMPACTION OF EXISTING BASE COURSE. ENSURE PROPER DEPTHS AND COMPACTION ARE MET AND MEET THE DETAIL AND SPECIFICATION REQUIREMENTS.
- ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.
- ALL CURBS TO BE SIX INCHES (6") IN HEIGHT UNLESS OTHERWISE NOTED.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- PROVIDE POSITIVE DRAINAGE TO DRAINAGE STRUCTURES. MINIMUM OF 1.5% & MAXIMUM 2% CROSS SLOPE ON CONCRETE FLATWORK UNLESS OTHERWISE NOTED.

LAYOUT KEYED NOTES

SYMBOL	DESCRIPTION	DETAIL
Layout		
L-01	CONCRETE TO MEET AND MATCH EXISTING THRESHOLDS (TYP). PROVIDE POSITIVE DRAINAGE AWAY FROM DOORWAYS. RE-INSTALL EXISTING DOOR STOPS.	
L-02	CONCRETE TO MEET AND MATCH EXISTING CONCRETE FLATWORK	
L-03	INSTALL CONCRETE DRIVE APPROACH PER DETAIL. SEE PLAN FOR WIDTHS	1/L 1.71
L-05	CONCRETE TO MEET AND MATCH EXISTING ASPHALT	7/L 1.70
L-06	INSTALL CURB CUT RAMP WITH SCORING PER DETAIL	4/L 1.70
L-08	INSTALL INTEGRAL CURB AND SIDEWALK PER DETAIL. HEIGHT TO MATCH EXISTING	1/L 1.70
L-10	INSTALL ACCESSIBLE INTEGRAL CURB CUT RAMP WITH TRUNCATED DOMES PER DETAIL	8/L 1.70
L-16	INSTALL PAINTED CURB TO INDICATE FIRE LANE. COLOR: RED. VERIFY WITH FIRE DEPARTMENT FOR EXACT LOCATION AND EXTENTS	
L-28	CONCRETE TO MEET AND MATCH EXISTING SANITARY SEWER CLEAN OUT RIM ELEVATION.	
	INSTALL CONCRETE FLATWORK AS SPECIFIED AND PER DETAIL.	2/L 1.70
	INSTALL REINFORCED CONCRETE AS SPECIFIED AND PER DETAIL.	3/L 1.70
	Construction joint	
	Isolation joint	



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LANDSCAPE ARCHITECT
ARCHITECTS WEST

LAKELAND JOINT SCHOOL DISTRICT 272
ATHOL ELEMENTARY
6333 E MENSER AVE, ATHOL, ID 83801
ALTERNATE #3 - LAYOUT PLAN - PUNCH

PROJECT NO.	23005
DESIGNED BY	MT
DRAWN BY	HC
ISSUE DATE	4/7/2025
PHASE	BID SET
CHECKED BY	MT
REVISION	SITE PUNCH 10-17-25
SHEET NO.	

L1.51

Lakeland School District – Garwood Elementary


SITE PUNCH LIST-01

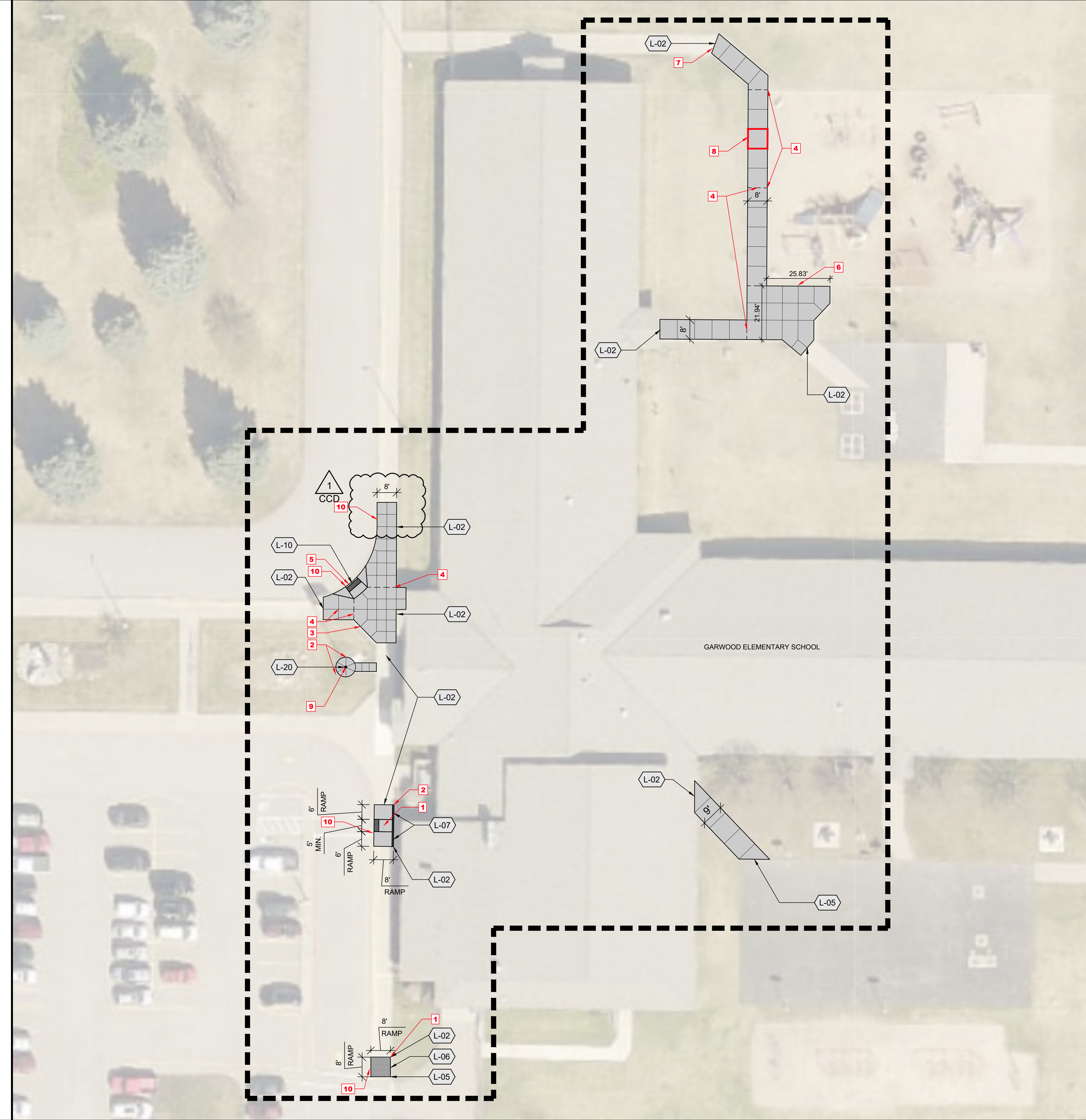
Report Date: 10/17/25 Time on Site: 11:00 am – 11:30 pm



SITE PUNCHLIST OBSERVATIONS	
Item No.	Notes:
1	See sheet L1.41 for item callout. Ramps need to be replaced per Correction Notice 01.
2	 <p>Concrete edge clean up required for entire school site. All excess concrete and forms to be removed.</p> <p>Adding dirt over concrete is not acceptable. Remove excess concrete and ensure uniform, straight edges.</p> <p>Surface is not uniform or smooth per specifications.</p>
3	 <p>Scoring not per plan.</p>

4		<p>Joint finish is rough and inconsistent with specified requirements.</p> <p>Surface at joint is not uniform or smooth.</p> <p>Expansion material not installed throughout entire site.</p>
5		<p>Top of concrete and top of asphalt do not meet and match. Concrete 1-2" higher than asphalt.</p> <p>Surface is not uniform or smooth per specifications. Splatter on adjacent panels.</p> <p>Replace Ramp.</p>
6		<p>Remove excess concrete to ensure straight and smooth edges. Railroad tie should sit flush at edge of walk.</p>

7	New concrete does not meet and match flush with existing walk.
8	Panel does not have smooth and uniform surface. Replace.
9	<p>Flagpole to be installed in aluminum or galvanized sleeve. Top of sleeve to be grouted or sealed to prevent water intrusion.</p> <p>Complete installation and verify metal sleeve is in place.</p>
10	 <p>Voids and gaps are present between the existing asphalt and the new concrete curb, and a clean, sawcut joint was not provided.</p> <p>Patch asphalt to create a tight, uniform connection and fill all voids along the curb line.</p>
	<p><i>Note:</i></p> <p><i>Concrete paving and ADA ramp installations shall remain under warranty for one year from Substantial Completion. Any cracking, scaling, or joint failure observed during this period shall be repaired or replaced at no cost to Owner, per Specification.</i></p>



LEGEND

CONSTRUCTION LIMITS LINE

GENERAL NOTES

1. REFER CLOSELY TO BUILDING LAYOUT DRAWINGS IN RELATION TO SITE LAYOUT ITEMS. CONTRACTOR TO VERIFY LISTED DIMENSIONS PRIOR TO CONSTRUCTION.

2. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY.

3. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING.

4. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS OR CENTER OF POST.

5. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE TO NEW OR EXISTING IMPROVEMENTS INCLUDING LANDSCAPE AREAS AS A RESULT OF CONSTRUCTION ACTIVITIES.

6. THE CONTRACTOR IS RESPONSIBLE FOR ALL NEW CONCRETE WORK OUTSIDE THE DEFINED DEMOLITION LIMITS. THIS INCLUDES ALL ASSOCIATED PREPARATION SUCH AS SUBGRADE GRADING, COMPACTION, INSTALLATION OF BASE COURSE, REINFORCEMENT, CONCRETE PLACEMENT, FINISHING, AND CURING AS REQUIRED BY THE PROJECT SPECIFICATIONS.

GRADING NOTES

1. VERIFY DEPTH AND COMPACTION OF EXISTING BASE COURSE. ENSURE PROPER DEPTHS AND COMPACTION ARE MET AND MEET THE DETAIL AND SPECIFICATION REQUIREMENTS.

2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.

3. ALL CURBS TO BE SIX INCHES (6") IN HEIGHT UNLESS OTHERWISE NOTED.

4. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.

5. PROVIDE POSITIVE DRAINAGE TO DRAINAGE STRUCTURES. MINIMUM OF 1.5% & MAXIMUM 2% CROSS SLOPE ON CONCRETE FLATWORK UNLESS OTHERWISE NOTED.

LAYOUT KEYED NOTES

SYMBOL	DESCRIPTION	DETAIL
Layout		
L-02	CONCRETE TO MEET AND MATCH EXISTING CONCRETE FLATWORK	
L-05	CONCRETE TO MEET AND MATCH EXISTING ASPHALT	7/L1.70
L-06	INSTALL CURB CUT RAMP WITH SCORING PER DETAIL	4/L1.70
L-07	INSTALL DETECTABLE WARNING STRIP SCORING PER DETAIL	6/L1.70
L-10	INSTALL ACCESSIBLE INTEGRAL CURB CUT RAMP WITH TRUNCATED DOMES PER DETAIL	8/L1.70
L-20	INSTALL EXISTING FLAGPOLE, IN LOCATION SHOWN, PER DETAIL	7/L1.71
	INSTALL CONCRETE FLATWORK AS SPECIFIED AND PER DETAIL.	2/L1.70

Construction joint

Isolation joint

811

Know what's below.
Call before you dig.

N

0 10 20 40

ONE INCH = TWENTY FEET

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04.07.2025

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LANDSCAPE ARCHITECT
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LAKELAND JOINT SCHOOL DISTRICT 272
GARWOOD ELEMENTARY
17506 N RAMSEY RD, RATHDRUM, ID 83858
ALTERNATE #2 - LAYOUT PLAN - PUNCH

PROJECT NO. 23005
DESIGNED BY MT
DRAWN BY NM
ISSUE DATE 4/7/2025
PHASE BID SET
CHECKED BY MT
REVISION SITE PUNCH 10-17-25
SHEET NO.

L1.41

11.19.25 LJSD - Facilities Update

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Lakeland School District – John Brown Elementary

SITE PUNCH LIST-01



Report Date: 10/17/25 Time on Site: 8:30 am – 9:15 am



SITE PUNCHLIST OBSERVATIONS		
Item No.	Notes:	
	See sheet L1.31 and L1.32 for item callout.	
1	 <p>No expansion joint installed between panels. Scoring not per plan.</p> <p>Splatter on adjacent panel. Not smooth and uniform per specifications.</p> <p>Concrete edge and adjacent area contain excess concrete and debris requiring cleanup.</p>	
2	 <p>Remove concrete splatter from sign posts.</p>	
3	 <p>Wheelstop broken. Adjacent one is cracked. Replace</p>	

<p>4</p>		<p>Tooled joint to depict curb across top of entire curb line not installed.</p> <p>Concrete is flush with asphalt which does not match the grading plan but will now require detectable warning surface between the two.</p> <p>Remove and reinstall to correct elevations, or sawcut a 24" section and install a detectable warning surface where concrete and asphalt are flush.</p>
<p>5</p>		<p>Flagpole to be installed in aluminum or galvanized sleeve. Top of sleeve to be grouted or sealed to prevent water intrusion.</p> <p>Complete installation and verify metal sleeve is in place.</p> <p>Caulking compound to be used to secure flagpole collar.</p>
<p>6</p>	<p>ADA striping and signage not installed. Striping along Washington street not installed.</p>	

7		<p>Clean sawcut line not provided. Excess concrete filling voids is not consistent with specified smooth, uniform finish and clean edges.</p> <p>Typical of many locations across the project.</p> <p>Repair or replace.</p>
8		<p>No expansion joint installed between panels.</p> <p>Splatter on adjacent panel. Not smooth and uniform per specifications.</p>
9		<p>Concrete edge clean up required for entire school site. All excess concrete and forms to be removed.</p> <p>Adding dirt over concrete is not acceptable. Remove the concrete.</p>

<p>10</p>		<p>Detectable warning surfaces are not continuous, not straight, lack the required $\frac{1}{4}$" depth, and are inconsistent throughout the project.</p> <p>Correct installation to ensure a uniform, straight, continuous surface at the proper $\frac{1}{4}$" depth.</p>
<p>11</p>	<p>Concrete not installed at grate location. Per discussions on 9/4, grate is to be removed. Metal frame can stay and concrete be installed within void space.</p>	
<p>12</p>		<p>All bollards should be at concrete grade or slightly higher.</p> <p>Per bollard manufacturers recommended installation, the concrete should be slightly raised up towards the top edge of the receiver to create a slight berm.</p> <p>Remove and replace bollards set below finish grade.</p>

13



Bollard was not installed at the scored intersection as indicated, resulting in improper placement. The offset installation has weakened the concrete panel and may lead to cracking or failure. Remove and reinstall bollard at the correct scored intersection to restore structural integrity and alignment.

14



Concrete at the base of the wall is poorly bonded and has visible gaps, cracking, and spalling along the joint. This condition allows water intrusion and potential freeze-thaw damage. Remove and replace.

15



Lid is not accessible. Concrete around it is rough and poorly installed. Repair or replace.

Splatter on adjacent panels and across face of building. Remove.

16



Voids and gaps in concrete finish. Repair or replace.

Concrete splatter on adjacent panel. Remove.

17



Clean up concrete spills and repair any damage to site.

18



Cracks observed through curb and concrete panel.

19



Voids and gaps are present between the existing asphalt and the new concrete curb, and a clean, sawcut joint was not provided.

Patch asphalt to create a tight, uniform connection and fill all voids along the curb line.

20



Concrete sloped into building and not per grading plan.

Remove and reinstall to correct elevations.

21



Sawcut and demolition limits do not match extents on demolition plan. Remove additional asphalt to match plans and provide clean, straight sawcut edges.

22

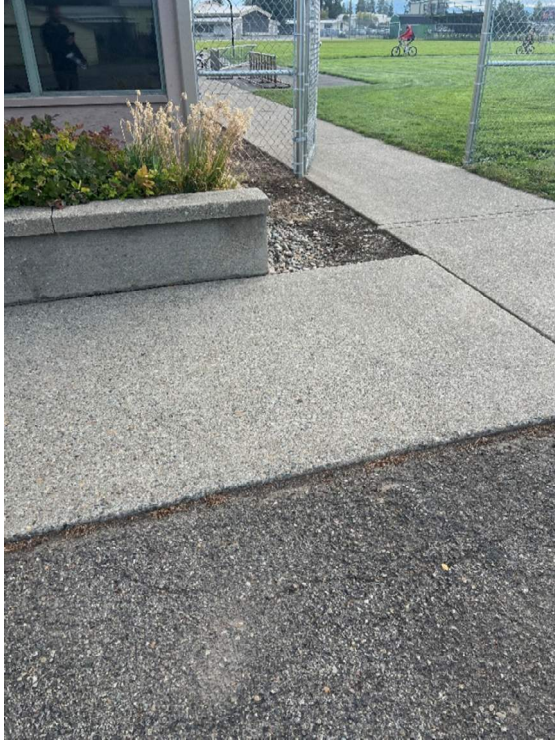


Rough patches of concrete along joints, concrete splatter, and panels with surface spalling across north side of building at playground.

No expansion material per plans.



23



Cap cracked during course
of construction.

Repair required.



24



Concrete finish at
building is rough
and uneven, with
visible tool marks
and unfinished
areas. Typical of
entire wall under
overhang.

Repair or replace.

25

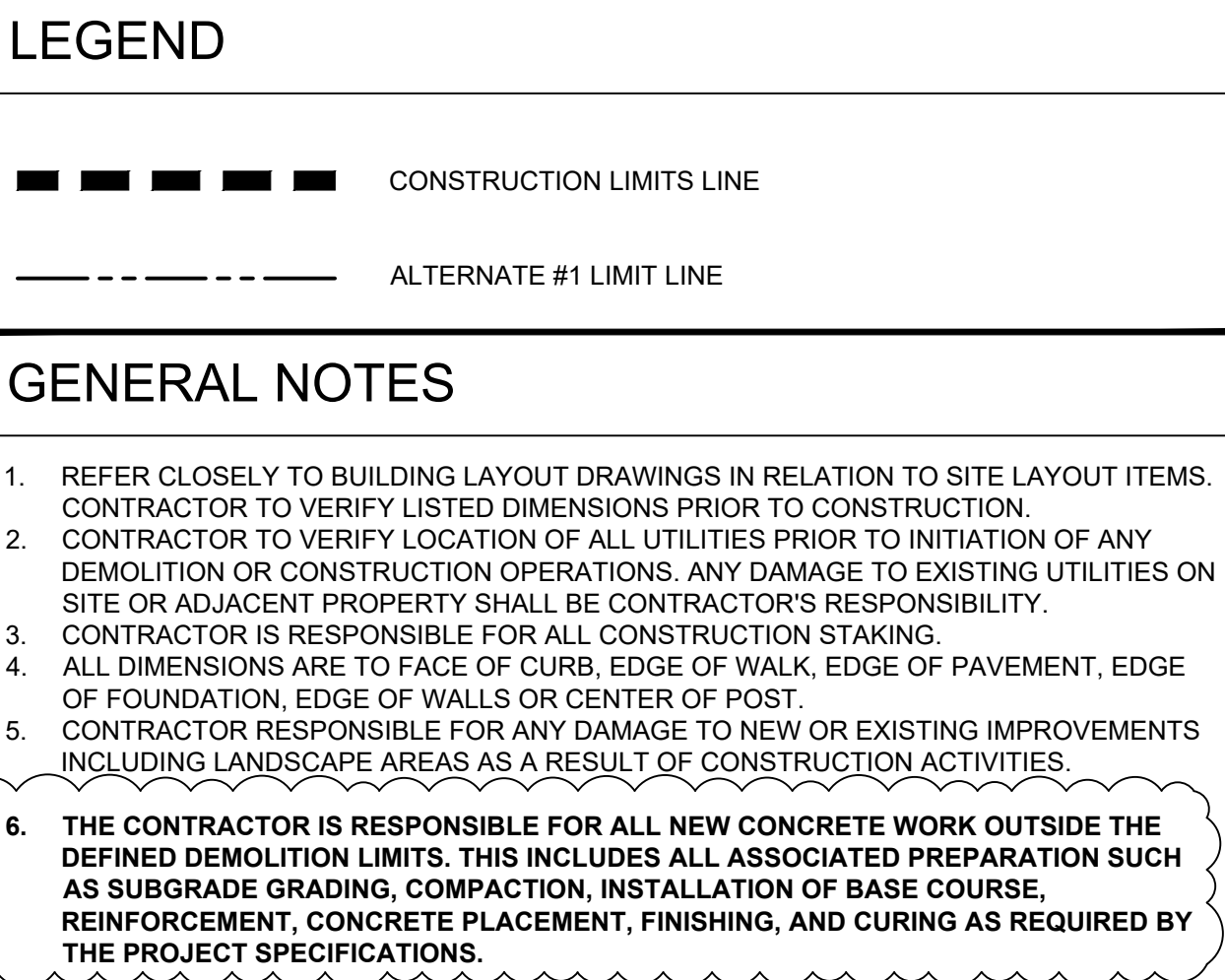


Clean edge between concrete and asphalt not provided. Concrete edge wavy and not straight. Asphalt edge crumbling and not existent in some locations.

Provide clean, straight edge and repair asphalt as needed.

Note:

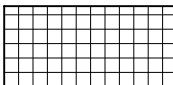
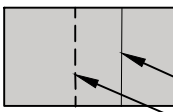
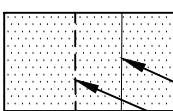
Concrete paving and ADA ramp installations shall remain under warranty for one year from Substantial Completion. Any cracking, scaling, or joint failure observed during this period shall be repaired or replaced at no cost to Owner, per Specification.





GRADING NOTES

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2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.
3. ALL CURBS TO BE SIX INCHES (6") IN HEIGHT UNLESS OTHERWISE NOTED.
4. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
5. PROVIDE POSITIVE DRAINAGE TO DRAINAGE STRUCTURES. MINIMUM OF 1.5% & MAXIMUM 2% CROSS SLOPE ON CONCRETE FLATWORK UNLESS OTHERWISE NOTED.

LAYOUT KEYED NOTES

SYMBOL	DESCRIPTION	DETAIL
Layout		
L-01	CONCRETE TO MEET AND MATCH EXISTING THRESHOLDS (TYP). PROVIDE POSITIVE DRAINAGE AWAY FROM DOORWAYS. RE-INSTALL EXISTING DOOR STOPS.	
L-02	CONCRETE TO MEET AND MATCH EXISTING CONCRETE FLATWORK	
L-05	CONCRETE TO MEET AND MATCH EXISTING ASPHALT	7/L.1.70
L-07	INSTALL DETECTABLE WARNING STRIP SCORING PER DETAIL	6/L.1.70
L-08	INSTALL INTEGRAL CURB AND SIDEWALK PER DETAIL. HEIGHT TO MATCH EXISTING	1/L.1.70
L-10	INSTALL ACCESSIBLE INTEGRAL CURB CUT RAMP WITH TRUNCATED DOMES PER DETAIL	8/L.1.70
L-12	INSTALL SIGN POST AND BASE PER DETAIL	4/L.1.71
L-13	INSTALL ADA PARKING SIGNAGE PER DETAIL	6/L.1.71
L-15	SAVE AND PROTECT EXISTING FDC	
L-18	INSTALL NEW PARKING LOT STRIPING PER DETAIL	2/L.1.71
L-19	INSTALL NEW ADA PARKING LOT STRIPING AND LAYOUT PER DETAIL	3/L.1.71
L-20	INSTALL EXISTING FLAGPOLE, IN LOCATION SHOWN, PER DETAIL	7/L.1.71
L-21	INSTALL NEW CONCRETE WHEEL STOP PER DETAIL, TYPICAL.	10/L.1.70
L-22	ASPHALT TO MEET AND MATCH EXISTING ASPHALT PER DETAIL	8/L.1.71 11/L.1.70
L-23	INSTALL 36" HEIGHT, STAINLESS STEEL REMOVABLE BOLLARD PER CUT SHEET SHOWN ON DETAIL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	
L-24	MEET AND MATCH MANHOLE RIM ELEVATION. SEE GRADING PLAN	
L-25	INSTALL CHANNEL DRAIN PER DETAIL	9/L.1.71
	INSTALL ASPHALT AS SPECIFIED AND PER DETAIL	12/L.1.70
	BASE BID - INSTALL CONCRETE FLATWORK AS SPECIFIED AND PER DETAIL —Construction joint —Isolation joint	2/L.1.70
	ALT #1 - INSTALL CONCRETE FLATWORK AS SPECIFIED AND PER DETAIL —Construction joint —Isolation joint	2/L.1.70

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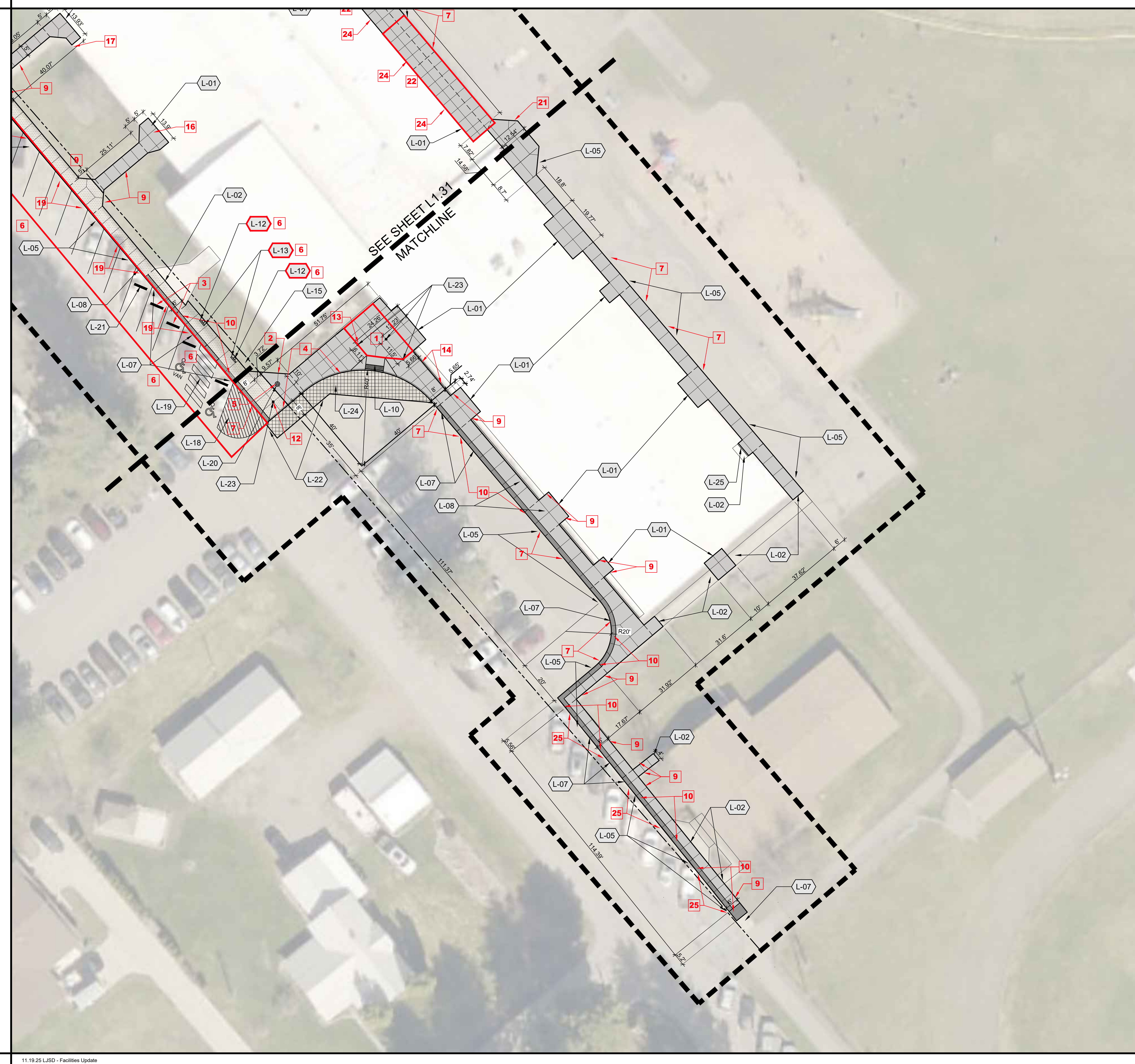
■ LANDSCAPE ARCHITECT
ARCHITECTS WEST

3	ASI 3	7-02-25
2	ASI 1	6-20-25
1	ADDENDUM 1	4-22-25
No.	Description	Date

LAKELAND JOINT SCHOOL DISTRICT 272
JOHN BROWN ELEMENTARY
15574 WASHINGTON AVE, RATHDRUM, ID 83858
LAYOUT PLAN - NORTH - PUNCH LIST

PROJECT NO.	23005
DESIGNED BY	MT
DRAWN BY	HC
ISSUE DATE	4/7/2025
PHASE	BID SET
CHECKED BY	MT
REVISION	SITE PUNCH 10-17-2
SHEET NO.	

L1.31



LEGEND

- CONSTRUCTION LIMITS LINE
- ALTERNATE #1 LIMIT LINE

GENERAL NOTES

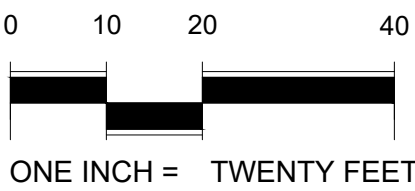
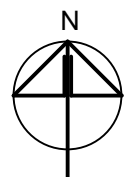
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GRADING NOTES

- VERIFY DEPTH AND COMPACTION OF EXISTING BASE COURSE. ENSURE PROPER DEPTHS AND COMPACTION ARE MET AND MEET THE DETAIL AND SPECIFICATION REQUIREMENTS.
- ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.
- ALL CURBS TO BE SIX INCHES (6") IN HEIGHT UNLESS OTHERWISE NOTED.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- PROVIDE POSITIVE DRAINAGE TO DRAINAGE STRUCTURES. MINIMUM OF 1.5% & MAXIMUM 2% CROSS SLOPE ON CONCRETE FLATWORK UNLESS OTHERWISE NOTED.

LAYOUT KEYED NOTES

SYMBOL	DESCRIPTION	DETAIL
Layout		
L-01	CONCRETE TO MEET AND MATCH EXISTING THRESHOLDS (TYP). PROVIDE POSITIVE DRAINAGE AWAY FROM DOORWAYS. RE-INSTALL EXISTING DOOR STOPS.	
L-02	CONCRETE TO MEET AND MATCH EXISTING CONCRETE FLATWORK	
L-05	CONCRETE TO MEET AND MATCH EXISTING ASPHALT	7/L.1.70
L-07	INSTALL DETECTABLE WARNING STRIP SCORING PER DETAIL	6/L.1.70
L-08	INSTALL INTEGRAL CURB AND SIDEWALK PER DETAIL. HEIGHT TO MATCH EXISTING	1/L.1.70
L-10	INSTALL ACCESSIBLE INTEGRAL CURB CUT RAMP WITH TRUNCATED DOMES PER DETAIL	8/L.1.70
L-12	INSTALL SIGN POST AND BASE PER DETAIL	4/L.1.71
L-13	INSTALL ADA PARKING SIGNAGE PER DETAIL	6/L.1.71
L-15	SAVE AND PROTECT EXISTING FDC	
L-18	INSTALL NEW PARKING LOT STRIPING PER DETAIL	2/L.1.71
L-19	INSTALL NEW ADA PARKING LOT STRIPING AND LAYOUT PER DETAIL	3/L.1.71
L-20	INSTALL EXISTING FLAGPOLE, IN LOCATION SHOWN, PER DETAIL	7/L.1.71
L-21	INSTALL NEW CONCRETE WHEEL STOP PER DETAIL, TYPICAL.	10/L.1.70
L-22	ASPHALT TO MEET AND MATCH EXISTING ASPHALT PER DETAIL	8/L.1.71 11/L.1.70
L-23	INSTALL 36" HEIGHT, STAINLESS STEEL REMOVABLE BOLLARD PER CUT SHEET SHOWN ON DETAIL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	
L-24	MEET AND MATCH MANHOLE RIM ELEVATION. SEE GRADING PLAN	
L-25	INSTALL CHANNEL DRAIN PER DETAIL	9/L.1.71
	INSTALL ASPHALT AS SPECIFIED AND PER DETAIL	12/L.1.70
	BASE BID - INSTALL CONCRETE FLATWORK AS SPECIFIED AND PER DETAIL	2/L.1.70
	ALT #1 - INSTALL CONCRETE FLATWORK AS SPECIFIED AND PER DETAIL	2/L.1.70



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LAKELAND JOINT SCHOOL DISTRICT 272
JOHN BROWN ELEMENTARY
15574 WASHINGTON AVE, RATHDRUM, ID 83858
LAYOUT PLAN - SOUTH - PUNCH LIST

PROJECT NO.	23005
DESIGNED BY	MT
DRAWN BY	HC
ISSUE DATE	4/7/2025
PHASE	BID SET
CHECKED BY	MT
REVISION	SITE PUNCH 10-17-25
SHEET NO.	

L1.32



SITE PUNCHLIST OBSERVATIONS		
Item No.	Notes:	
1	See sheet L1.21 for item callout.	
		<p>No expansion joint installed between panels. This is observed throughout entire site.</p> <p>Surface is not uniform or smooth per specifications.</p>

2		<p>Crack observed through integral curb.</p>
3		<p>Joint finish is rough and inconsistent with specified requirements. Surface at joint is not uniform or smooth.</p>

4



Panel has weakened concrete due to a joint that's been filled in. Replace.

Joint finish is rough and inconsistent with specified requirements. Surface at joint is not uniform or smooth.

Cracked panel. Replace.



5



Concrete was not removed and replaced up to door threshold. The existing concrete was not removed along a straight line, resulting in a weak corner. Replace.

Concrete at base of wall is poorly bonded and allows for water intrusion and potential freeze-thaw damage.

Concrete splatter noted on building walls, requiring clean up.

6		<p>Splatter on adjacent panel. Not smooth and uniform per specifications.</p>
7		<p>Concrete edge clean up required for entire school site. All excess concrete and forms to be removed.</p> <p>Adding dirt over concrete is not acceptable. Remove the concrete.</p>

8



Remove excess asphalt and patch hole to be uniform and flush with existing asphalt.

9



Corner of integral curb not smooth and uniform, resulting in a weakened condition.

Curb base is rough and deteriorating where it meets the asphalt. Edge is crumbling and uneven, lacking a smooth, continuous face below the asphalt surface. Repair or replace.

10



Not scored per plan.

11



Patch back asphalt where gaps exist adjacent to concrete.

Ramp not per detail with truncated domes. Bottom of ramp and top of asphalt are not flush. Remove and replace.

12	Sign post and Bus Loading Signage not installed.
13	Red painted curb not installed.
14	<div data-bbox="237 369 972 1257" data-label="Image"> </div> <div data-bbox="1015 390 1393 657" data-label="Text"> <p>Panel missing integral curb scoring.</p> <p>Joint finish is rough and inconsistent with specified requirements. Surface at joint is not uniform or smooth.</p> </div>

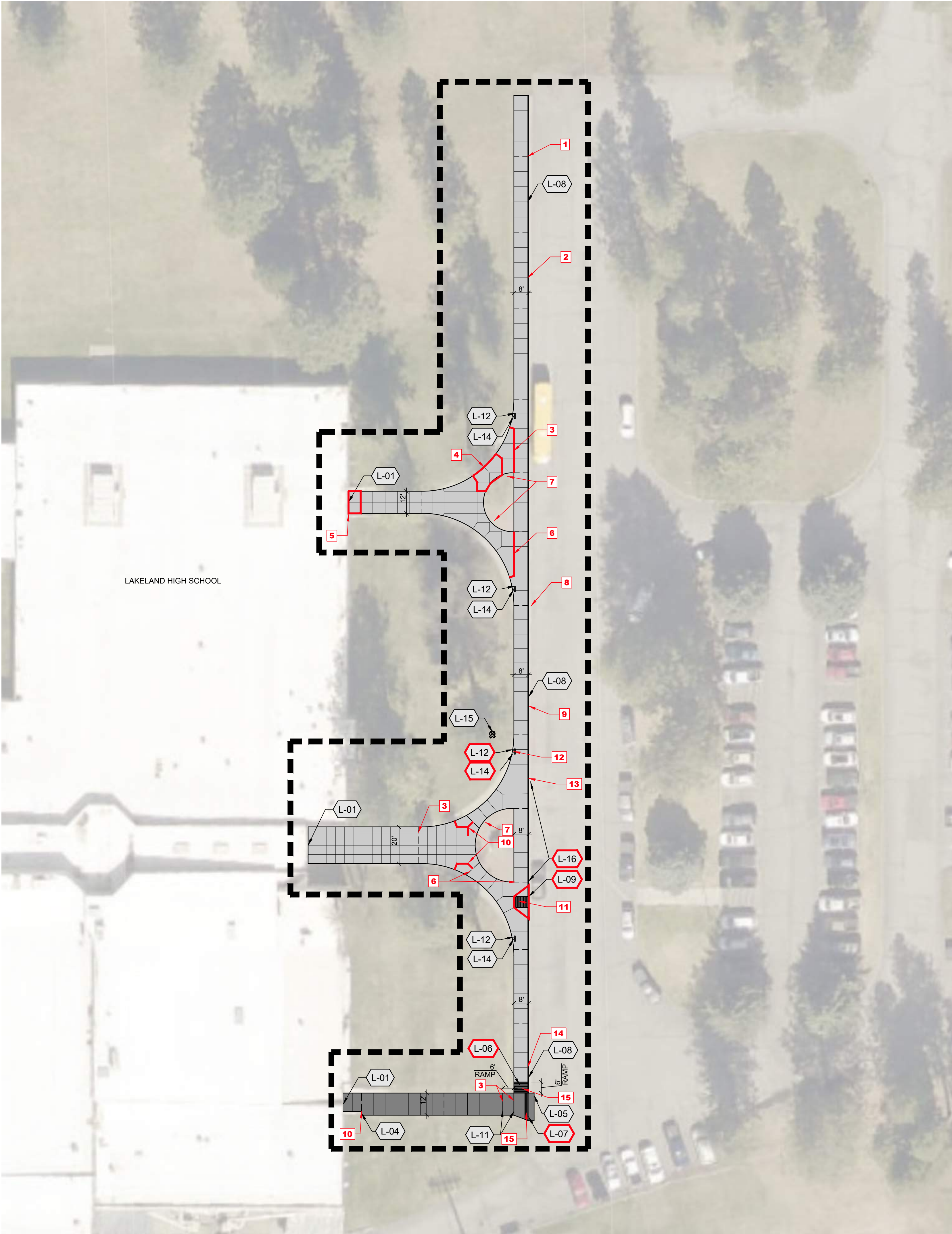
15



Detectable scoring not per detail. Inconsistent and lacks required depth.

Note:

Concrete paving installations shall remain under warranty for one year from Substantial Completion. Any cracking, scaling, or joint failure observed during this period shall be repaired or replaced at no cost to Owner, per Specification.



LEGEND

CONSTRUCTION LIMITS LINE

GENERAL NOTES

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GRADING NOTES

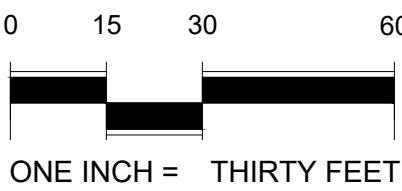
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- PROVIDE POSITIVE DRAINAGE TO DRAINAGE STRUCTURES. MINIMUM OF 1.5% & MAXIMUM 2% CROSS SLOPE ON CONCRETE FLATWORK UNLESS OTHERWISE NOTED.

LAYOUT KEYED NOTES

SYMBOL	DESCRIPTION	DETAIL
Layout		
L-01	CONCRETE TO MEET AND MATCH EXISTING THRESHOLDS (TYP). PROVIDE POSITIVE DRAINAGE AWAY FROM DOORWAYS. RE-INSTALL EXISTING DOOR STOPS.	
L-04	CONCRETE TO TERMINATE AT END OF RETAINING WALL.	
L-05	CONCRETE TO MEET AND MATCH EXISTING ASPHALT	7/L1.70
L-06	INSTALL CURB CUT RAMP WITH SCORING PER DETAIL	4/L1.70
L-07	INSTALL DETECTABLE WARNING STRIP SCORING PER DETAIL	6/L1.70
L-08	INSTALL INTEGRAL CURB AND SIDEWALK PER DETAIL. HEIGHT TO MATCH EXISTING	1/L1.70
L-09	INSTALL ACCESSIBLE CURB CUT RAMP PER DETAIL	8/L1.70
L-11	TRANSITION FROM ASPHALT ELEVATION TO +6" TO MEET AND MATCH EXISITNG GRADE OVER 6' AS INDICATED	
L-12	INSTALL SIGN POST AND BASE PER DETAIL	4/L1.71
L-14	INSTALL BUS LOADING ZONE SIGNAGE PER DETAIL	5/L1.71
L-15	SAVE AND PROTECT EXISTING FDC	
L-16	INSTALL 50' LENGTH PAINTED CURB TO INDICATE FIRE LANE. COLOR: RED. VERIFY WITH FIRE DEPARTMENT FOR EXACT LOCATION AND EXTENTS	
	INSTALL CONCRETE FLATWORK AS SPECIFIED AND PER DETAIL Construction joint Isolation joint	2/L1.70
	INSTALL REINFORCED CONCRETE AS SPECIFIED AND PER DETAIL Construction joint Isolation joint	3/L1.70



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1 ADDENDUM 1 4-22-25

No. Description Date

LAKELAND JOINT SCHOOL DISTRICT 272
LAKELAND SENIOR HIGH SCHOOL
7006 ID-53, RATHDRUM, ID 83858

LAYOUT PLAN - PUNCH LIST

PROJECT NO. 23005
DESIGNED BY MT
DRAWN BY NM
ISSUE DATE 4/7/2025
PHASE BID SET
CHECKED BY MT
REVISION SITE PUNCH 10-17-25
SHEET NO.

L1.21



SITE PUNCHLIST OBSERVATIONS		
Item No.	Notes:	
	See sheet L1.11 for item callout.	
1		<p>ADA Striping not located per plan.</p> <p>Provide additional ADA “VAN” Striping and signage. Locate ADA signage per plan.</p> <p>Per detail, international symbol of access and border shall be white. Inside border shall be blue and aisles shall be white.</p> <p>Remove and relocate per plan and detail.</p>
2		<p>Detectable warning surfaces are not continuous, not straight, lack the required ¼” depth, and are inconsistent throughout the project.</p> <p>Correct installation to ensure a uniform, straight, continuous surface at the proper ¼” depth.</p>

3



No expansion joint installed throughout site.



Joint finish is rough and inconsistent with specified requirements. The scoring observed was not straight and uniform.

4



Bollard was not installed along the joint line as indicated, resulting in improper placement. The offset installation has weakened the concrete panel and may lead to cracking or failure. Remove and reinstall bollard at the correct scored intersection to restore structural integrity and alignment.

Refer to manufacturer's recommendations for installation of base to ensure a solid and proper placement. Bollard was noted to shift vertically.

<p>5</p>		<p>Concrete not scored per plan. A crack is observed through all four panels. Replace.</p>
<p>6</p>		<p>Concrete edge clean up required for entire school site. All excess concrete and forms to be removed.</p> <p>Adding dirt over concrete is not acceptable. Remove the concrete and associated debris.</p> <p>Contractor responsible for any damage to new or existing improvements including landscape areas.</p> <p>Remove dead sod.</p>

7



Striping not installed.

8



Cracks observed through curb.

9



Concrete splatter observed on siding throughout site. Ensure entire doorway is clear of splatter and clean.



10



Not scored per plan.

11





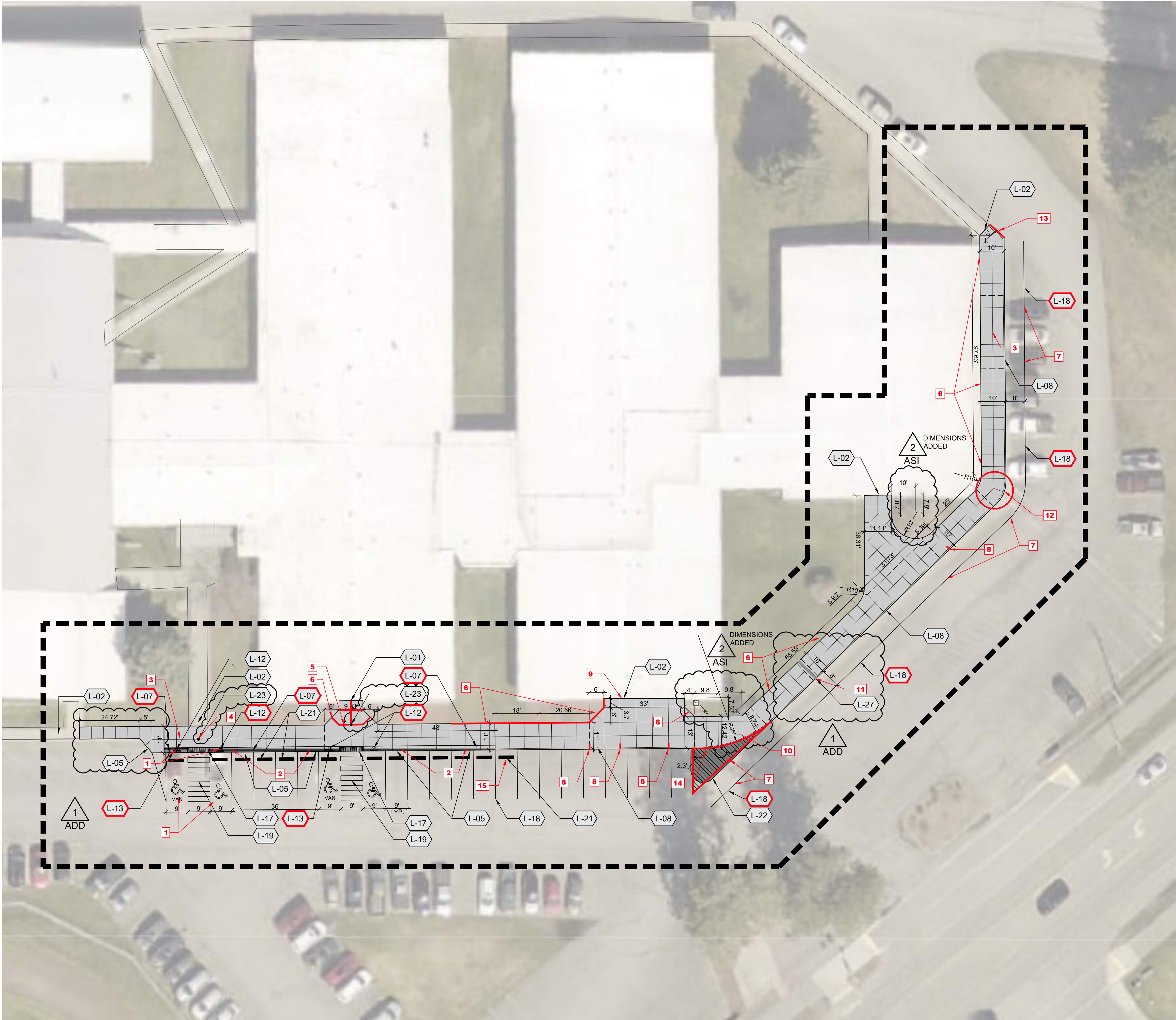
Sidewalk channel drain
installation incomplete.
Anchor steel plate on all four
corners per detail.

12



Concrete not installed per
plan. The plan indicates a
radius. Remove and reinstall
panels.

13		<p>Concrete edges and splatter extend beyond curb edge.</p> <p>Rough jointing and surfacing on panels.</p> <p>Clean up and patch back of asphalt required.</p>
14		<p>Air voids in concrete curb along base and at joint. Curb does not extend below finish grade per detail.</p> <p>Asphalt poured up along face of curb.</p> <p>Asphalt edges do not meet and match.</p>
15	Wheelstop cracked. Replace.	
	<p>General Note:</p> <p>All newly poured concrete surfaces are pitted and uneven, lacking a smooth and uniform finish. The texture and appearance do not reflect a quality product or workmanship standard, and there is concern that this condition will lead to premature wear and deterioration, particularly over the upcoming winter season.</p>	
	<p>Note:</p> <p><i>Concrete paving installations shall remain under warranty for one year from Substantial Completion. Any cracking, scaling, or joint failure observed during this period shall be repaired or replaced at no cost to Owner, per Specification.</i></p>	



LEGEND

- CONSTRUCTION LIMITS LINE
- SAWCUT LINE

GENERAL NOTES

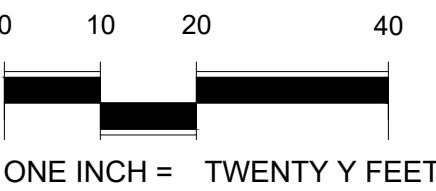
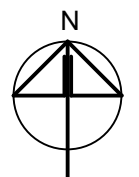
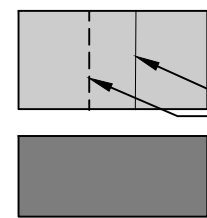
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LAYOUT KEYED NOTES

SYMBOL	DESCRIPTION	DETAIL
Layout		
L-01	CONCRETE TO MEET AND MATCH EXISTING THRESHOLDS (TYP). PROVIDE POSITIVE DRAINAGE AWAY FROM DOORWAYS. RE-INSTALL EXISTING DOOR STOPS.	
L-02	CONCRETE TO MEET AND MATCH EXISTING CONCRETE FLATWORK	
L-05	CONCRETE TO MEET AND MATCH EXISTING ASPHALT	7/L.1.70
L-07	INSTALL DETECTABLE WARNING STRIP SCORING PER DETAIL.	6/L.1.70
L-08	INSTALL INTEGRAL CURB AND SIDEWALK PER DETAIL. HEIGHT TO MATCH GRADING PLAN.	1/L.1.70
L-12	INSTALL SIGN POST AND BASE PER DETAIL	4/L.1.71
L-13	INSTALL ADA PARKING SIGNAGE PER DETAIL	6/L.1.71
L-17	INSTALL DETECTABLE WARNING TRUNCATED DOME STRIP PER DETAIL	6/L.1.70
L-18	INSTALL NEW PARKING LOT STRIPING PER DETAIL	2/L.1.71
L-19	INSTALL NEW ADA PARKING LOT STRIPING AND LAYOUT PER DETAIL	3/L.1.71
L-21	INSTALL NEW CONCRETE WHEEL STOP PER DETAIL, TYPICAL.	10/L.1.70
L-22	ASPHALT TO MEET AND MATCH EXISTING ASPHALT PER DETAIL	11/L.1.70
L-23	INSTALL 36" HEIGHT, STAINLESS STEEL REMOVABLE BOLLARD PER CUT SHEET SHOWN ON DETAIL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	8/L.1.71
L-27	INSTALL SIDEWALK CHANNEL DRAIN PER DETAIL AT EXISTING ASPHALT LOW SPOT. FIELD VERIFY LOCATION.	3/L.1.72
	INSTALL CONCRETE FLATWORK AS SPECIFIED AND PER DETAIL.	2/L.1.70
	INSTALL ASPHALT AS SPECIFIED AND PER DETAIL	12/L.1.70



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1	ADDENDUM 1	4-22-25
	ASI 2	6-25-25

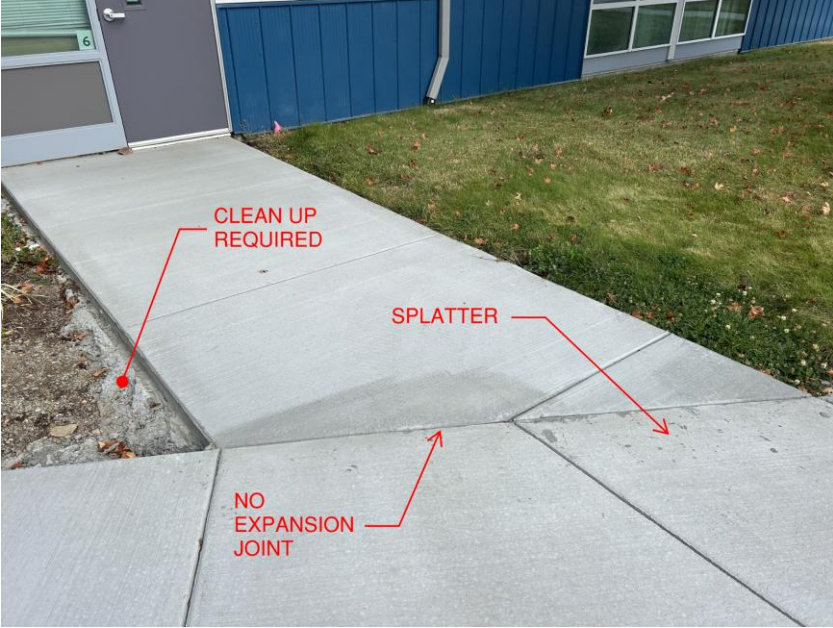

No.	Description	Date
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LAKELAND JOINT SCHOOL DISTRICT 272
LAKELAND MIDDLE SCHOOL
15601 ID-41, RATHDRUM, ID 83858
LAYOUT PLAN - PUNCH LIST

PROJECT NO.	23005
DESIGNED BY	MT
DRAWN BY	HC
ISSUE DATE	04/07/2025
PHASE	BID SET
CHECKED BY	MT
REVISION	SITE PUNCH 10-17-25
SHEET NO.	

L1.11

SITE PUNCHLIST OBSERVATIONS

Item No.	Notes:
1	<p>See sheet L1.61 for item callout.</p>  <p>No expansion joint installed between panels.</p> <p>Splatter on adjacent panel. Not smooth and uniform per specifications.</p> <p>Concrete edge and adjacent area contain excess concrete and debris requiring cleanup.</p>
2	 <p>Truncated domes not installed.</p> <p>Ramp width at bottom does not match ramp width at top.</p> <p>Replace.</p>
3	Tooled joint to depict curb across top of entire curb line not installed.
4	Curb is not painted red.

5		<p>Bollards, scoring and ramp location not per plan.</p> <p>Elevations between ada stalls and bollard locations not per grading plan.</p>
6	Concrete edge and adjacent area contain excess concrete and debris requiring cleanup.	
7		<p>Joint finish is rough and inconsistent with specified requirements.</p> <p>Surface at joint is not uniform or smooth.</p> <p>Expansion material not installed.</p>
8	Truncated domes not installed.	

9		<p>Base of concrete shows rough and uneven finish with gaps between asphalt and concrete. Voids and exposed areas present; condition not consistent with specified smooth, uniform finish and clean edges. Repair or replace.</p>
10		<p>Base of concrete shows rough and uneven finish with gaps between asphalt and concrete. Voids and exposed areas present; condition not consistent with specified smooth, uniform finish and clean edges. Repair or replace.</p> <p>Face of concrete curb line not straight or uniform. Top of curb extends over base of curb by several degrees.</p>
11		<p>ADA access aisle to be 8' wide minimum. Provide additional ADA VAN stall and ADA signage.</p> <p>Per detail, international symbol of access and border shall be white. Inside border shall be blue and aisles shall be white.</p>

12



Top of concrete and top of asphalt do not meet and match. Concrete 1-2" higher than asphalt. Typical of entire west edge of parking lot.

Replace.

13



Grooves do not meet detail requirements of 3" o.c. 1/4" in depth for width of ramp.

Replace.

14





Finish on cheek walls not smooth or uniform. Chunks missing, rebar exposed on bottom corner, and splatter throughout. Finish is unacceptable.

No expansion material at top or bottom of stairs.

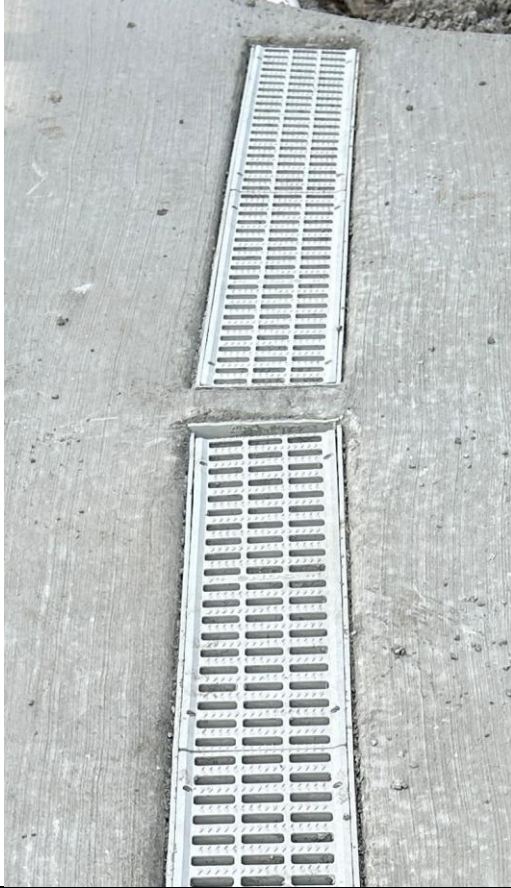
Stairs are not perpendicular to walls. Finish on stair ends rough and not uniform. Stairs are not acceptable.

Holes in cheek walls.

Replace.

15		<p>Rust observed at all joints on the stainless steel railings. Not acceptable.</p>
16	Concrete at top of stairs to meet and match existing asphalt. Extend walkway and match elevations.	
17	Concrete cracked and chipped.	
18	Clean up rebar and concrete required.	
19		<p>Cracks observed through both ramps.</p> <p>Bottom of ramp does not meet and match existing asphalt.</p> <p>Replace.</p>

20



Concrete at channel drain perimeter chipped and not smooth.

Top of grate and top of concrete do not meet and match.

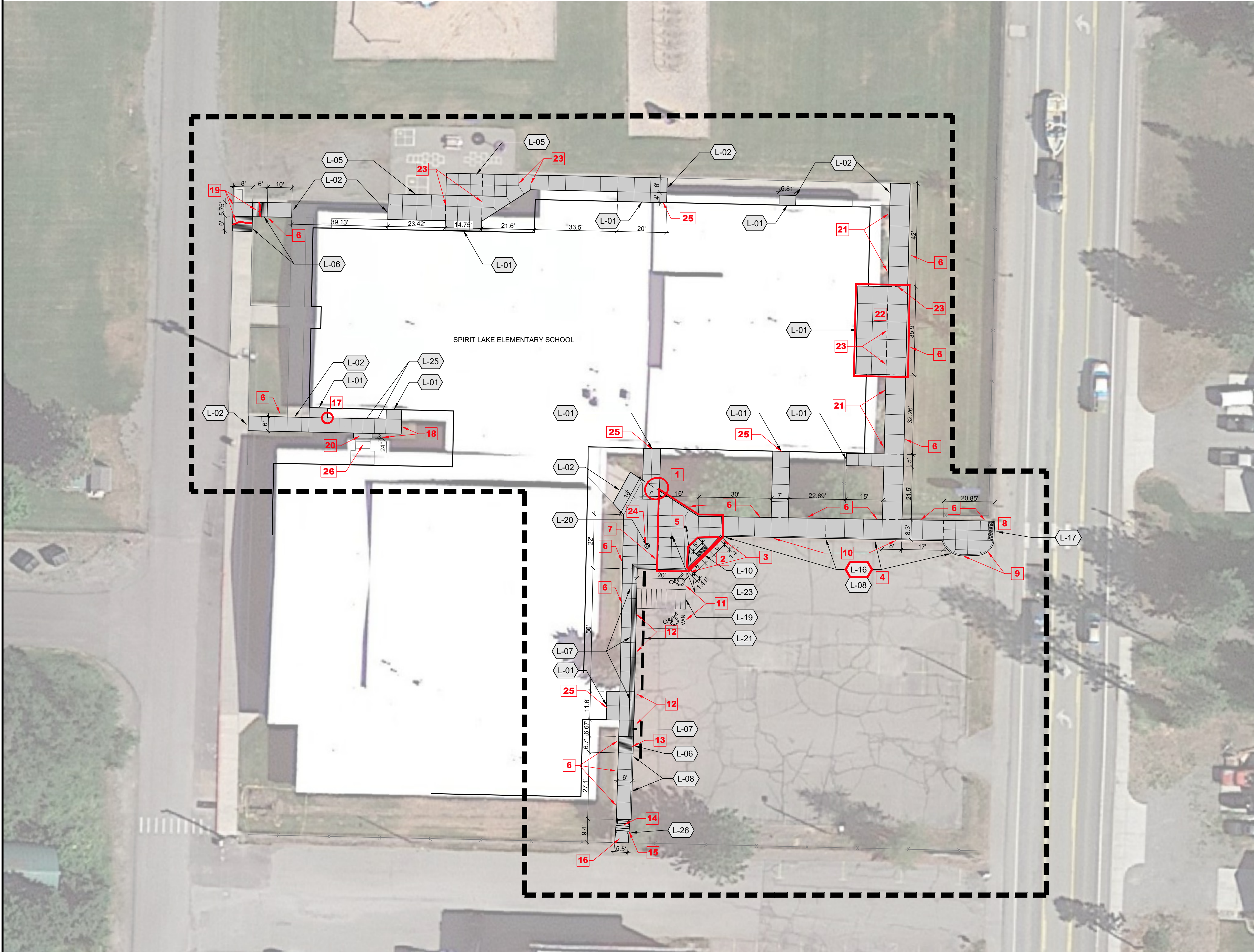
Replace.

21



Rough edge. No form was used.

22	Verify area slopes per grading plan. Doors appear to be the low point in space.	
23	Joint finish is rough and inconsistent with specified requirements. Surface at joint is not uniform or smooth.	
24	Caulking compound to be used to secure flagpole collar.	
25	 <p>The concrete installed at the door thresholds is not acceptable. There are gaps between the concrete and the thresholds that are allowing air and rodents to enter the building.</p> <p>Replace concrete to achieve a tight, uniform fit against the door thresholds, with all joints properly sealed to eliminate gaps and prevent further infiltration</p>	
26	 <p>Reinstall railings.</p>	
	<p>Note: <i>Concrete paving and ADA ramp installations shall remain under warranty for one year from Substantial Completion. Any cracking, scaling, or joint failure observed during this period shall be repaired or replaced at no cost to Owner, per Specification.</i></p>	




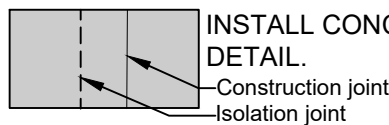
■■■■■ CONSTRUCTION LIMITS LINE

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4. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS OR CENTER OF POST.
5. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE TO NEW OR EXISTING IMPROVEMENTS INCLUDING LANDSCAPE AREAS AS A RESULT OF CONSTRUCTION ACTIVITIES.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL NEW CONCRETE WORK OUTSIDE THE DEFINED DEMOLITION LIMITS. THIS INCLUDES ALL ASSOCIATED PREPARATION SUCH AS SUBGRADE GRADING, COMPACTION, INSTALLATION OF BASE COURSE, REINFORCEMENT, CONCRETE PLACEMENT, FINISHING, AND CURING AS REQUIRED BY THE PROJECT SPECIFICATIONS.

1. VERIFY DEPTH AND COMPACTION OF EXISTING BASE COURSE. ENSURE PROPER DEPTHS AND COMPACTION ARE MET AND MEET THE DETAIL AND SPECIFICATION REQUIREMENTS.
2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.
3. ALL CURBS TO BE SIX INCHES (6") IN HEIGHT UNLESS OTHERWISE NOTED.
4. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
5. PROVIDE POSITIVE DRAINAGE TO DRAINAGE STRUCTURES. MINIMUM OF 1.5% & MAXIMUM 2% CROSS SLOPE ON CONCRETE FLATWORK UNLESS OTHERWISE NOTED.

<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>DETAIL</u>
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L-01	CONCRETE TO MEET AND MATCH EXISTING THRESHOLDS (TYP). PROVIDE POSITIVE DRAINAGE AWAY FROM DOORWAYS. RE-INSTALL EXISTING DOOR STOPS.	
L-02	CONCRETE TO MEET AND MATCH EXISTING CONCRETE FLATWORK	
L-05	CONCRETE TO MEET AND MATCH EXISTING ASPHALT	7/L1.70
L-06	INSTALL CURB CUT RAMP WITH SCORING PER DETAIL	4/L1.70
L-07	INSTALL DETECTABLE WARNING STRIP SCORING PER DETAIL	6/L1.70
L-08	INSTALL INTEGRAL CURB AND SIDEWALK PER DETAIL. HEIGHT TO MATCH EXISTING	1/L1.70
L-10	INSTALL ACCESSIBLE INTEGRAL CURB CUT RAMP WITH TRUNCATED DOMES PER DETAIL	8/L1.70
L-16	INSTALL PAINTED CURB TO INDICATE FIRE LANE. COLOR: RED. VERIFY WITH FIRE DEPARTMENT FOR EXACT LOCATION AND EXTENTS	
L-17	INSTALL DETECTABLE WARNING TRUNCATED DOME STRIP PER DETAIL	6/L1.70
L-19	INSTALL NEW ADA PARKING LOT STRIPING AND LAYOUT PER DETAIL	3/L1.71
L-20	INSTALL EXISTING FLAGPOLE, IN LOCATION SHOWN, PER DETAIL	7/L1.71
L-21	INSTALL NEW CONCRETE WHEEL STOP PER DETAIL, TYPICAL.	10/L1.70 8/L1.71
L-23	INSTALL 36" HEIGHT, STAINLESS STEEL REMOVABLE BOLLARD PER CUT SHEET SHOWN ON DETAIL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	
L-25	INSTALL CHANNEL DRAIN PER DETAIL	9/L1.71
L-26	INSTALL CONCRETE STAIR AND RAILING BETWEEN CONCRETE CHEEK WALLS PER DETAILS ON SHEET L1.72.	
		2/L1.70
INSTALL CONCRETE FLATWORK AS SPECIFIED AND PER DETAIL. Construction joint Isolation joint		



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LAKELAND JOINT SCHOOL DISTRICT 272
SPIRIT LAKE ELEMENTARY
32605 N 5TH AVE, SPIRIT LAKE, ID 83869

PROJECT NO.	23005
DESIGNED BY	MT
DRAWN BY	HC
ISSUE DATE	4/7/2025
PHASE	BID SET
CHECKED BY	MT
REVISION	SITE PUNCH 10-17-
SHEET NO.	

L1.61