



C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures Wausau - Riverview Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Exterior wall bricks mildew stained.	Investigate cause and correct. Clean bricks.	\$14,000
Exterior Building	Exterior gym wall holding water.	Investigate cause and correct.	\$22,000
Exterior Building	Exterior wall control joints failed.	Fill and paint.	\$12,000
Exterior Building	Exterior window caulk failed.	Remove failed caulk and replace.	\$28,000





C.E.S.A. 10
 Facilities Management Services

Facility Improvement Measures

Wausau - Riverview Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Store front metal frames rusted.	Replace metal frames, windows, and doors.	\$6,800
Interior - Gym Flooring	Although in good overall condition, the main gym floor is scuffed and scratched.	Maintain a wood floor refinishing cycle, recommended every 5-10 years dependent on use and condition.	\$25,000
Mechanical - Boilers	Riverview Elementary is partially heated by two 20 year old standard efficiency boilers, each 1MBTU, and one 1.5MBTU newer condensing boiler. The PK boilers are holding up well, however approaching their expected useful life, and inefficient to today's standards.	Review necessary boiler plant size and work this plan into any overall HVAC modifications being considered. If the PK boiler(s) are necessary, plan to replace these boilers in the next 3-8 years.	\$225,000
Mechanical - Insulation	Missing and loose pipe/valve insulation. Recent domestic hot water project was never reinsulated.	Replace and repair missing and loose insulation.	\$3,000





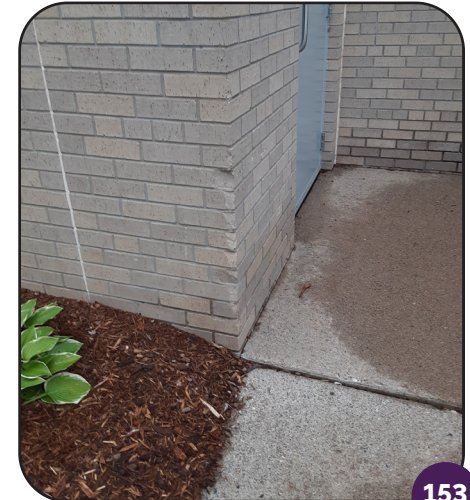
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Facilities Management Services

Facility Improvement Measures

Wausau - Riverview Elementary School

Building System	General Description	Recommendation	Cost Estimate
Electrical - Whole Building Lighting Upgrade	The facility is in need of a whole building lighting upgrade from fluorescent to LED in approx. 2/3 of its square footage. Many classrooms were noted having fabric light filters hung over fixtures due to the harshness and intensity of existing lighting systems. Interior lighting projects provide roughly a 6 year simple payback, along with giving building occupants the ability to adjust light levels to their liking. Additionally, the systems have a 20+ year lifespan, drastically reducing maintenance required to change lamps and ballasts.	Replace classrooms, offices, corridors and common large spaces (gym) with appropriate LED fixtures, occupancy sensors, and dimming controls. Complete this project at the same time of any major HVAC/ceiling work. Pricing given to update 2/3 of the school interior.	\$100,000
Exterior Building	Exterior face brick wall tuck pointing needed.	Re-tuck walls and exterior masonry.	\$65,000
Exterior Building	Exterior window sill drip edges causing wall staining.	Redirect flow to keep water discharge off wall.	\$18,000
Exterior Building	Exterior wall corner bricks chipped.	Replace chipped bricks. Consider replacing as part of larger masonry project.	\$5,500





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Facilities Management Services

Facility Improvement Measures Wausau - Riverview Elementary School

Building System	General Description	Recommendation	Cost Estimate
Interior - Flooring	Although most of the facility flooring is in good condition, spot areas of traffic worn carpeting are evident.	Replace stained and foot traffic worn carpeting as desired. Pricing given to address 5,000 sq ft of carpet.	\$40,000
Mechanical - Multi Ceiling Fans	No Multipurpose room destratification fans are present. Ceiling fans in high ceiling spaces help distribute heat from the ceiling to the occupants in winter, and can help maintain comfort in spring/fall.	Install destrat fans. Include schedulable control through the DDC system so fans can automatically turn on and off as desired.	\$20,000
Electrical - Door Access	Card Access systems across the district are in need of upgrade to their board controllers. Information was compiled through district IT interviews and recommended per school individual need.	Replace HID Vertx boards to Mercury LP1502's.	\$14,000





Riverview Strategic Plan

Wausau - Riverview ES

Project	Estimated Cost
1-2 Year Needs	
Major HVAC Renovation	\$2,400,000
Replace Roof Sections A-K	\$1,280,000
Demo Old Boiler Stack	\$20,000
Replace Switches with Slider Dimmers (2016 Addition)	\$10,000
Repair Leaky Boiler Pumps and Re-insulate	\$5,000
Clean Exterior Window Frames and Sills	\$4,500
Improve Courtyard Landscaping	\$3,500
Take Down Overhanging Trees and Remove Stumps	\$3,500
Extend Roof Scupper	\$3,200
Remove Vegetation Encroaching on Door Landings	\$2,500
Seal Leaking Roof Flashing and Clean Stained Wall	\$2,500
Patch and Seal Exterior Wall Base Cracks	\$2,500
Replace Metal Storage Doors and Frames	\$2,500
Clean and Remove Stains from Concrete Walk	\$1,500
Remove Vegetation Growing Around Building Perimeter	\$1,500
Remove Stump From Planters	\$1,000
Replace Rooftop Rotted Wood	\$1,000
Repair Open Exterior Roof Flashings	\$1,000
Repair Exterior Metal Door Dent and Paint	\$1,000
De-clutter and Organize Storage Spaces	\$1,000
Organize Art Kiln Space and Remove Combustibles	\$1,000
Total	\$3,748,700



Riverview Strategic Plan

Wausau - Riverview ES

Project	Estimated Cost
3-5 Year Needs	
HVAC Modifications	\$225,000
Lighting Upgrade From Fluorescent to LED	\$100,000
Replace Failed Window Caulk	\$28,000
Replace Rusted and Deteriorating Dock	\$25,000
Refinish Main Gym Floor	\$25,000
Replace Cracked Concrete Walk Slabs	\$22,000
Investigate Cause and Repair Gym Wall Holding Water	\$22,000
Replace Concrete Curbs	\$18,000
Address failed Concrete Walk Slab Joints	\$17,000
Clean Mildew Stained Bricks	\$14,000
Card Access System	\$14,000
Add Concrete Pads for Dumpsters	\$12,800
Replace Wall Panel and Louvers	\$12,500
Patch or Replace Concrete Roll Over Curb Joints	\$12,000
Fill and Paint Failed Exterior Wall Control Joints	\$12,000
Enclose Mechanical Equipment	\$10,000
Secure Electric Generator	\$7,500
Replace Rusted Metal Frames, Windows, and Doors	\$6,800
Fix Planter Bushes too Close to Building	\$6,500
Enclose Gas Tree, Valve, and Access to Vertical Pipe	\$4,500
Repair Missing and Loose Insulation	\$3,000
Total	\$597,600



Riverview Strategic Plan

Wausau - Riverview ES

Project	Estimated Cost
5-10 Year Needs	
Re-tuck Walls and Exterior Masonry	\$65,000
Replace Stained and Worn Carpeting	\$40,000
Install Destrat Fans	\$20,000
Address Window Sill Drip Edges and Staining	\$18,000
Replace Chipped Exterior Corner Wall Bricks	\$5,500
Total	\$148,500

Wausau - Riverview ES

Project	Estimated Cost
Recommended Standardization Upgrades	
FF&E	\$400,000
Minor Renovation	\$150,000
Total**	\$550,000

****Additional renovation may be needed depending on long-term plan.**

South Mountain Facility Analysis

The South Mountain Elementary School is located at 5400 Bittersweet Road, Wausau, Wisconsin.

CESA 10 technical experts paid close attention to the site’s lighting, building envelope, and security concerns. Items identified in this report are meant to improve the facility’s efficiency over the next five to ten years while reducing future operation and maintenance costs.

Wausau School District - South Mountain ES

Year Built	1997
Building Addition	2022
Square Footage	59,000
Annual Electric Usage (kWh)	276,713

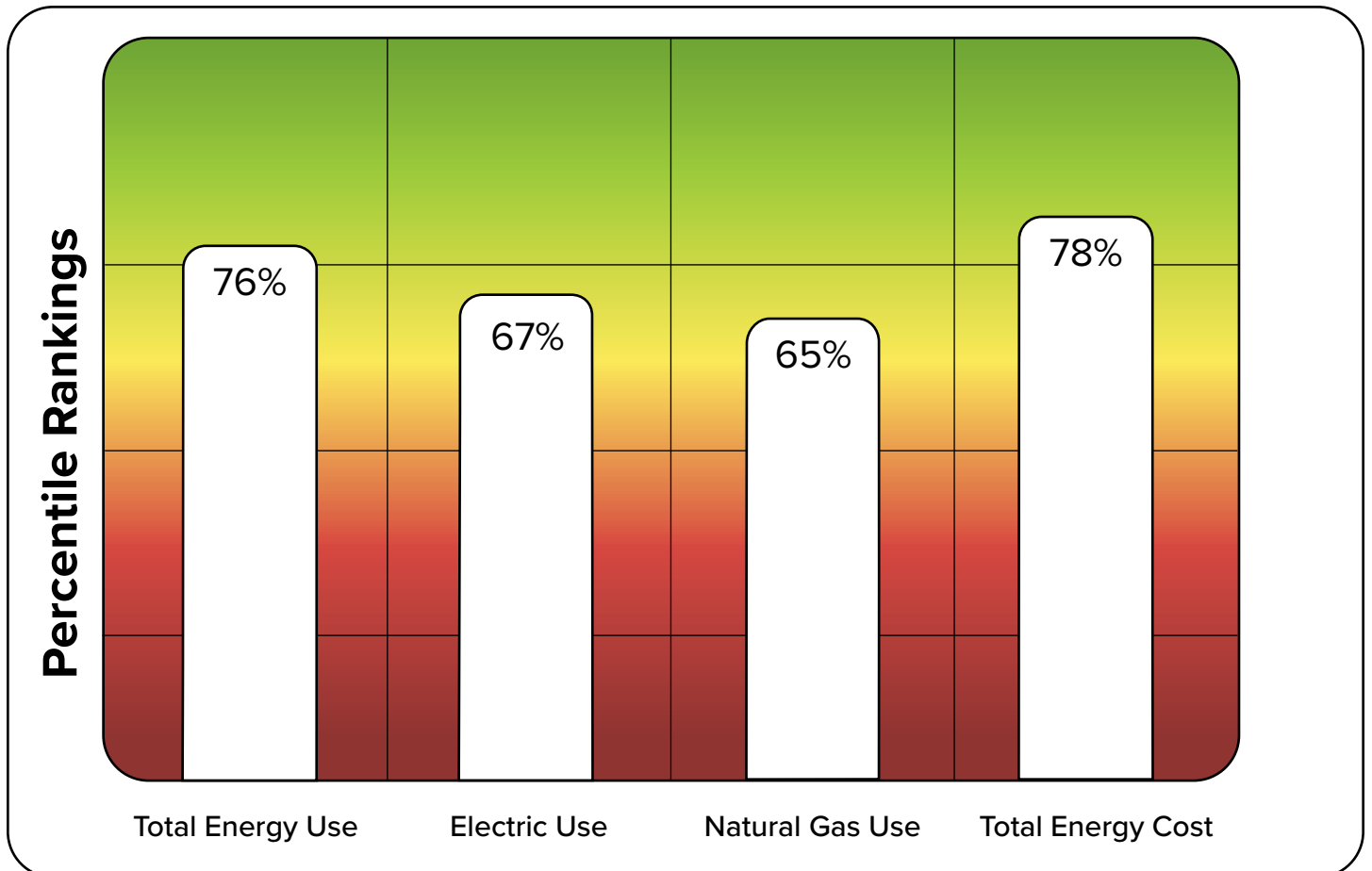


South Mountain Utility Analysis

ENERGY USE

The following benchmarking analysis compares South Mountain Elementary to an average elementary school in Wisconsin.

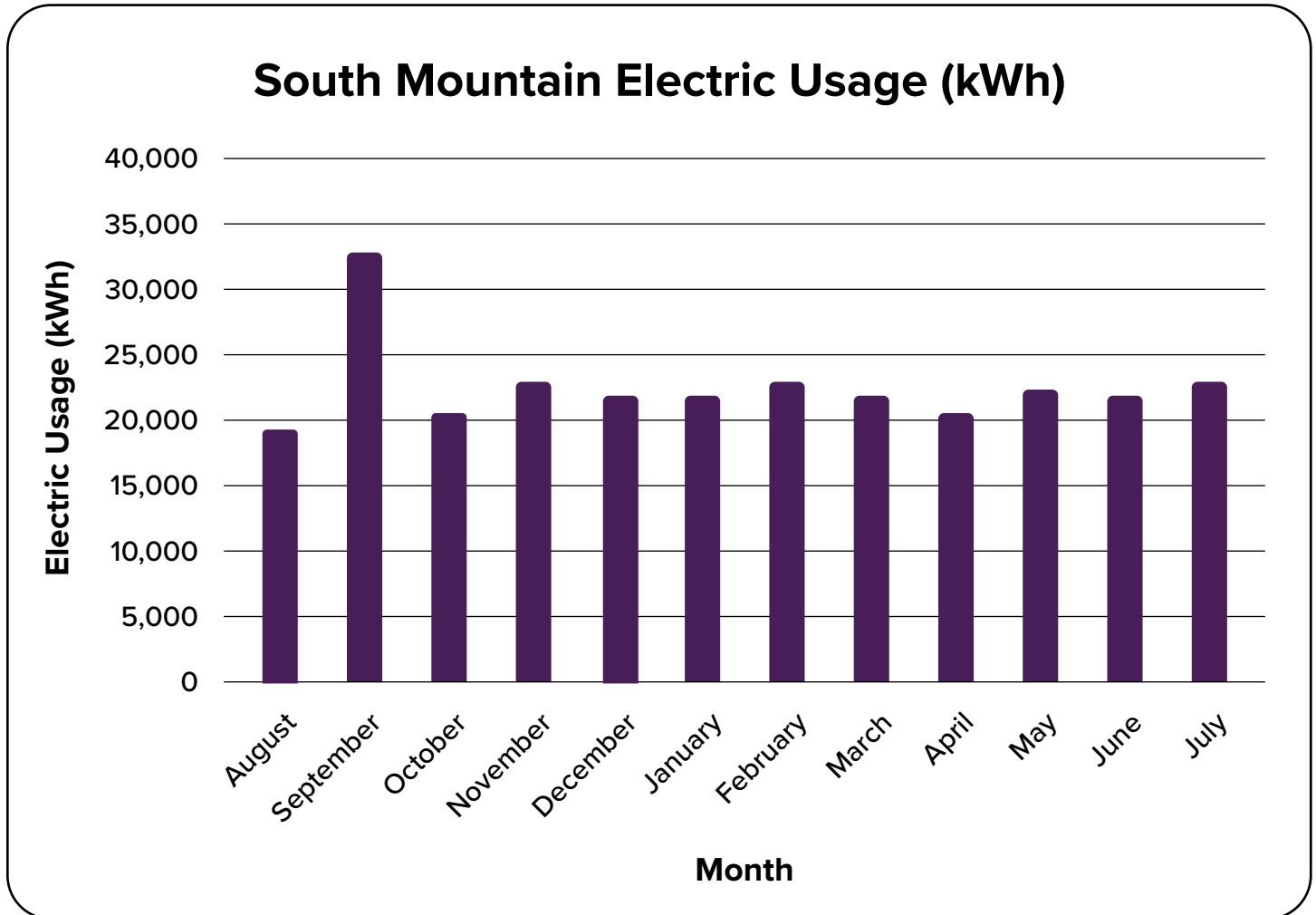
Wausau School District • Benchmarking				
	Total Energy Use kBtu/ft ²	Electric Use kWh/ft ²	Natural Gas Use Btu/ ft ² /HDD	Total Energy Cost \$/ft ²
Average Elementary School in WI	78.02	5.7	6.9	\$1.24
South Mountain ES	59.9	4.7	6.1	\$0.91
Percentile Rankings	76%	67%	65%	78%



South Mountain Utility Analysis

UTILITY ANALYSIS

The utility graph below demonstrates the electrical consumption at the South Mountain Elementary School from August 2023 through July 2024.





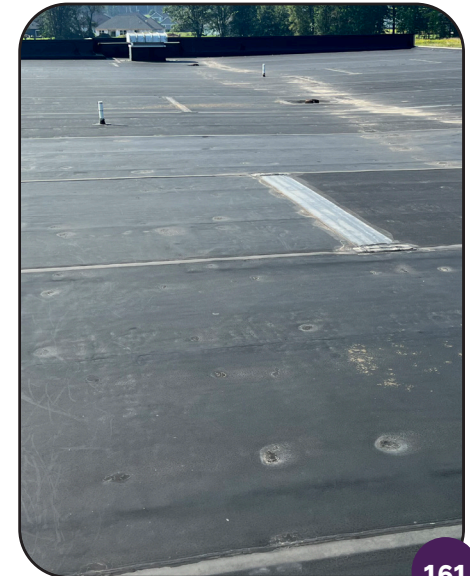
C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

South Mountain - South Mountain Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Set routine asphalt maintenance schedule with area rotation.	Continue crack clean and crack fill as needed. Include every 3-5 years seal, and repaint asphalt.	\$5,500
Site & Landscape	Dumpsters on asphalt.	Install concrete pads for dumpsters.	\$6,800
Site & Landscape	Planter mulch above and blocking exterior wall weeps and runoff away from building.	Refresh and retain mulch to an elevation lower than wall weeps, drip edges, border, walk, or turf. Consider crushed gravel in lieu of mulch in planters.	\$2,000
Exterior Building Roofing	Roof sections A-E are 27 years old, out of warranty, and past their expected useful life. Inspection showed peeling seams, failing patches, and evidence of ponding water. Parapet stretching and failures needing patching have occurred.	Replace sections A-E in the next 1-5 years with an adhered 60 mil black EPDM 20 year warranty roof. Recommend completing all roofs at once.	\$437,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

South Mountain - South Mountain Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building Roof	Abandoned antennae and CMU blocks on roof. Abandoned equipment and materials will work their way through the roofing membrane causing leaks.	Remove and discard abandoned equipment.	\$500
Exterior - Doors	Although minimal, some sets of exterior steel doors are deteriorating. One set of gym doors has rusted through completely.	Complete a through facility exterior door inventory and replace as necessary. Expect to replace several door sets in the next 1-5 years.	\$20,000
Exterior - Gym EIFS Walls Water Infiltration	The S. Mtn. gym has a significant moisture intrusion problem needing to be addressed quickly. The issue seems to be associated with control joint locations, however the upper exterior of the gym is EIFS, a frequent cause of moisture problems. Drawings of the facility were not available at the time of auditing.	As a first step, replace all gym control joints interior and exterior. This issue has the potential to be costly if existing EIFS needs to be removed to reflash and install new air and moisture barrier. Consider replacing the EIFS with brick veneer masonry cavity wall if existing construction conditions permit.	\$150,000
Exterior Building	Exterior wall face brick effervescence.	Identify and eliminate cause. Clean brick and mortar.	\$14,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

South Mountain - South Mountain Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Exterior upper library wall just under roof edge severely stained. Immediate observation for visitors to site.	Identify and eliminate cause. Clean stained wall areas.	\$35,000
Site & Landscape	Asphalt parking area has failed.	Replace parking lot. Ensure adequate below grade base fill is added. (Especially around edges of lot area and drive entries).	\$92,000
Site & Landscape	Concrete walk slabs cracked.	Replace cracked concrete walk slabs.	\$18,000
Site & Landscape	Many concrete walk slabs joints have deteriorated.	Replace concrete walk concrete slabs with deteriorated joints.	\$35,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

South Mountain - South Mountain Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Outbuilding storage door frames damaged (Overhead & pass through).	Repair both overhead and pass through door frames.	\$1,000
Site & Landscape	Existing perimeter fencing is too low.	Replace 4' fence with 6' fence.	\$24,000
Site & Landscape	Standing water between two building sections.	Add yard rains under service drive to site runoff area.	\$18,000
Exterior Building	Exterior metal doors faded and frames rusted.	Prepare, paint, and repair frames. Replace if frame bases are not repairable.	\$25,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

South Mountain - South Mountain Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Exterior stone window sills stained.	Professionally clean stained window sills.	\$10,000
Exterior Building	Exterior stone window sills caulk deteriorated.	Remove failed caulk and replace.	\$8,500
Interior - Gym Flooring	Although in good overall condition, the main gym floor is scuffed and scratched, the gym is also used as a lunchroom in this facility.	Maintain a wood floor refinishing cycle, recommended every 5-10 years dependent on use and condition.	\$25,000
Interior - Painting	Wear and tear was seen in several areas across the facility with minor painting needed. Photo shown from IMC.	Remove, prep, and paint steel doors needing attention. Repair and paint damaged walls.	\$5,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

South Mountain - South Mountain Elementary School

Building System	General Description	Recommendation	Cost Estimate
Interior - Flooring	Although minimal, several classrooms were noted having stained and dated carpeting.	Replace carpeting as needed, pricing given for three classrooms.	\$20,000
Electrical - Door Access	Card Access systems across the district are in need of upgrade to their board controllers. Information was compiled through district IT interviews and recommended per school individual need.	Replace HID Vertx boards to Mercury LP1502's.	\$12,000
Mechanical - Boilers	South Mountain is heated by two 27 year old 1500MBH boilers. Although the boilers have been running well, and are known to be a robust design, they are inefficient by today's standards, have antiquated controls, and are at their expected useful life.	Replace the boilers with high efficiency condensing boilers in the next 3-6 years, along wit their corresponding building heating pumps.	\$300,000
Mechanical - HVAC	The HVAC system is in overall good condition. 1997 vintage AHU's and VAV's serve the original building section. This equipment is approaching 30 years old and reaching the end of it's expected useful life. Remaining equipment is modern and in excellent condition. Some AHU's were found in need of cleaning with air filters dated four years old.	Aggressive maintenance to extend the life of the 1997 equipment 10+ years. Inspect VAV duct systems for leaks. Perform coil cleaning on all 1997 AHU's and VAV's. Recommission the equipment with your controls provider and a testing & balancing contractor.	\$40,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

South Mountain - South Mountain Elementary School

Building System	General Description	Recommendation	Cost Estimate
Electrical - Whole Building Lighting Upgrade	The original facility is in need of a whole building lighting upgrade from fluorescent to LED. Classrooms were noted having fabric light filters hung over fixtures due to the harshness and intensity of existing lighting systems. Interior lighting projects provide roughly a 6 year simple payback, along with giving building occupants the ability to adjust light levels to their liking. Additionally, the systems have a 20+ year lifespan, drastically reducing maintenance required to change lamps and ballasts.	Replace original building classrooms, offices, and corridors with appropriate LED fixtures, occupancy sensors, and dimming controls. Estimate given for older portion of the facility not converted to LED. Gym lighting controls should be replaced along with lighting controls of newer LED fixtures.	\$90,000
Electrical - Code Violation	Door to boiler room swings in front of main electrical switchgear, an inch from the main breaker. Clearance is required in front of all electrical panels.	Consider remounting the boiler room doors and swinging into the maintenance receiving room if egress code allows. Boiler room doors could be relocated to the north.	\$7,500
Electrical - Bell/PA & Communication	PA/Bell/Clock/mass communication systems due for upgrade. Existing system is obsolete using decades old technology.	Replacement recommended to Single-wire standard.	\$240,000
Site & Landscape	No security area lighting on back play lot areas.	Add LED area lighting for security and safety (site opening during inclement weather)	\$18,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - South Mountain Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Existing parking area pole lighting non-LED.	Replace non-LED Lighting with LED.	\$8,500





South Mountain Strategic Plan

Wausau - South Mountain ES

Project	Estimated Cost
1-2 Year Needs	
Replace Roof Section A-E	\$437,000
Address Gym Moisture Intrusion Problem	\$150,000
Address Stained Upper Library Wall	\$35,000
Exterior Door Inventory and Replacement	\$20,000
Repair Exterior Wall Face Brick Effervescence	\$14,000
Install Concrete Pads for Dumpsters	\$6,800
Set Routine Asphalt Maintenance Schedule	\$5,500
Refresh and Retain Planter Mulch	\$2,000
Remove Abandoned Equipment on Roof	\$500
Total	\$670,800



South Mountain Strategic Plan

Wausau - South Mountain ES

Project	Estimated Cost
3-5 Year Needs	
Replace Boilers	\$300,000
Replace PA/Bell/Clock/Mass Communication System	\$240,000
Replace Parking Lot	\$92,000
Whole Building Lighting Upgrade	\$90,000
HVAC Maintenance	\$40,000
Replace Concrete Walk Slabs	\$35,000
Fix Faded and Rusted Exterior Metal Door Frames	\$25,000
Wood Floor Refinishing Cycle	\$25,000
Replace Perimeter Fencing	\$24,000
Replace Classroom Carpeting As Needed	\$20,000
Replace Cracked Concrete Walk Slabs	\$18,000
Upgrade Card Access Systems Across District	\$12,000
Clean Exterior Stone Window Sills	\$10,000
Repair Window Sill Caulk	\$8,500
Replace Non-LED Parking Pole Lighting with LED	\$8,500
Remount Boiler Room Doors	\$7,500
Repair and Paint Damaged Walls	\$5,000
Repair Outbuilding Storage Door Frames	\$1,000
Total	\$961,500



South Mountain Strategic Plan

Wausau - South Mountain ES

Project	Estimated Cost
5-10 Year Needs	
Add Yard Drains Under Service Drive	\$18,000
Add Security Lighting to Back Play Lot Area	\$18,000
Total	\$36,000

Wausau - South Mountain ES

Project	Estimated Cost
Recommended Standardization Upgrades	
Multipurpose Space	\$1,800,000
FF&E	\$265,000
Total	\$2,065,000

Thomas Jefferson Facility Analysis

The Thomas Jefferson Elementary School is located at 500 W Randolph Street, Wausau, Wisconsin.

CESA 10 technical experts paid close attention to the site’s lighting, building envelope, and security concerns. Items identified in this report are meant to improve the facility’s efficiency over the next five to ten years while reducing future operation and maintenance costs.

Wausau School District - Thomas Jefferson ES	
Year Built	1956
Building Addition	1984, 1997, 2016
Square Footage	90,500
Annual Electric Usage (kWh)	474,761



Thomas Jefferson Utility Analysis

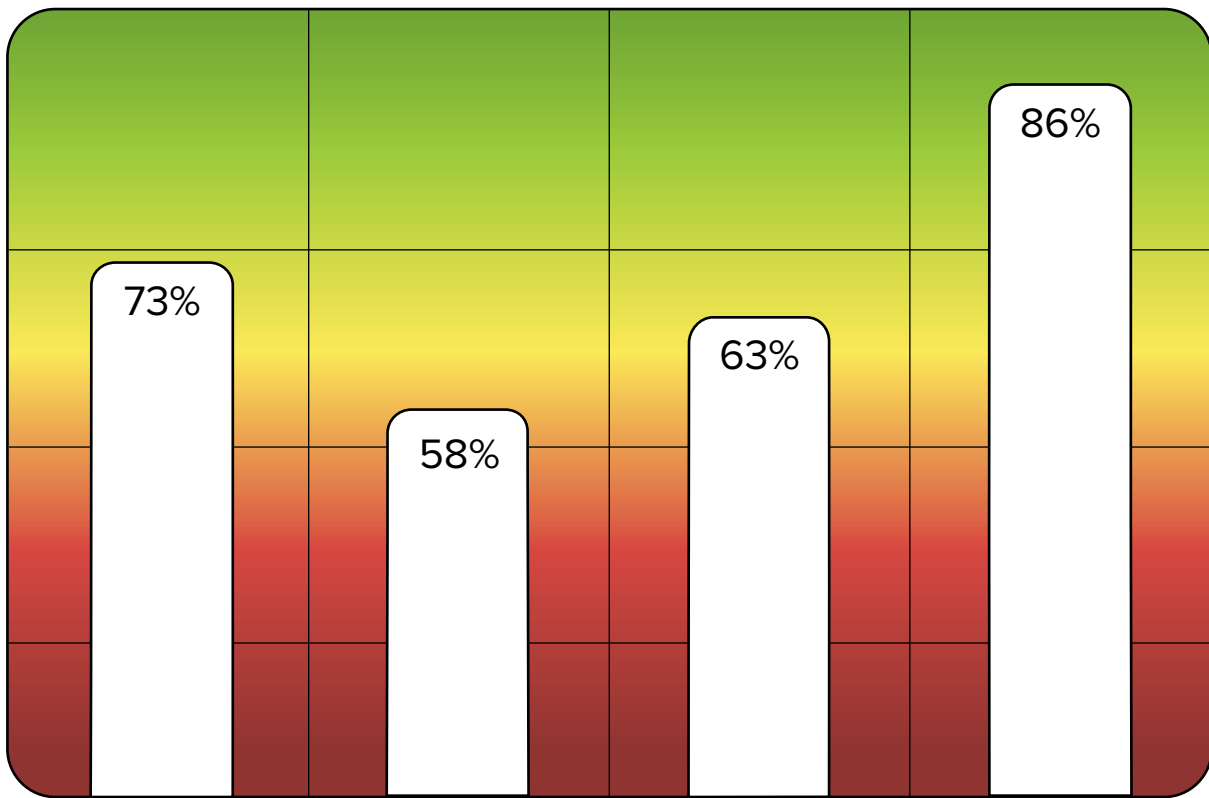
ENERGY USE

The following benchmarking analysis compares Thomas Jefferson Elementary to an average elementary school in Wisconsin.

Wausau School District • Benchmarking

	Total Energy Use kBtu/ft ²	Electric Use kWh/ft ²	Natural Gas Use Btu/ ft ² /HDD	Total Energy Cost \$/ft ²
Average Elementary School in WI	78.02	5.7	6.9	\$1.24
Thomas Jefferson ES	62.6	5.2	6.2	\$0.76
Percentile Rankings	73%	58%	63%	86%

Percentile Rankings



Total Energy Use

Electric Use

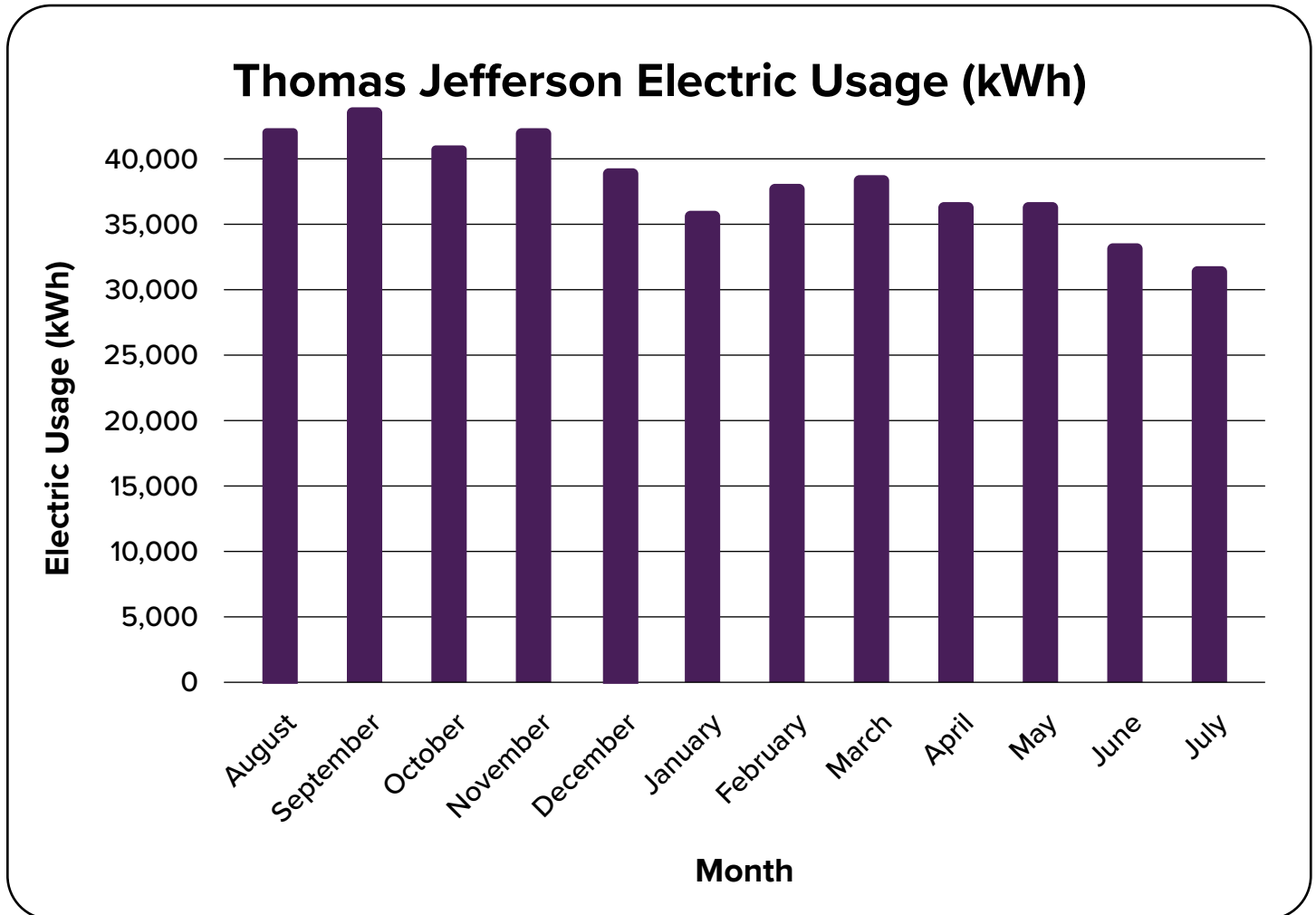
Natural Gas Use

Total Energy Cost

Thomas Jefferson Utility Analysis

UTILITY ANALYSIS

The utility graph below demonstrates the electrical consumption at the Thomas Jefferson Elementary School from August 2023 through July 2024.





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Facilities Management Services

Facility Improvement Measures

Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Set routine asphalt maintenance schedule with area rotation.	Continue crack clean and crack fill as needed. Include every 3-5 years seal, and repaint asphalt.	\$5,500
Site & Landscape	Mulch washing out on to walks.	Annually or more often if needed refresh and retain mulch to an elevation lower than border, walk, or turf. Consider crushed gravel in lieu of mulch planters along walks and buildings.	\$3,500
Site & Landscape	Mulch filling storm drain basin inside of planters.	Add screen between drain cover and basin. Clean screen seasonally.	\$1,000
Site & Landscape	Increase routine planters landscaping maintenance.	Annually or more often if needed prune, thin, and remove invasive vegetation in planters and around building perimeters, fencing, hardscape surface edges, utility supply areas.	\$5,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building Roofing	Roof sections A-M are all between 22-27 years old. All sections are out of warranty and have been problematic. Some sections appear in worse condition than others. Some sections are holding water, others with fastener backout, stretching the membrane significantly. Many of these roofs are also .045 mil, a substandard thickness prone to issues.	Replace sections A-M in the next 1-5 years with an adhered 60 mil black EPDM 20 year warranty roof. Recommend completing all roofs at once.	\$622,000
Exterior Building	Exterior door threshold concrete gap.	Fill, caulk, and seal gap to make a smooth transition to landing.	\$2,500
Exterior Building	Entrance metal beam rusty and paint missing.	Prepare and apply durable weather/salt proof coating.	\$1,000
Exterior Building	Exposed foundation wall insulation and waterproofing.	Re-adhere and waterproof foundation wall insulation below exposed grade. Back fill with traffic bond (sharp edged crushed gravel) to lock up water resistant protection along wall and above insulation.	\$13,500





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Interior - Storage Safety	Storage of miscellaneous combustible materials were noted being stored along side the boilers. Along with freeing up maintenance space and setting best practice for facilities personnel, cluttered spaces such as this create a fire hazard.	Clean, organize, and purge. Keep mechanical and electrical room spaces used only for their intended purpose.	\$500
Mechanical - HVAC Safety	One exhaust fan on the upper mezzanine mechanical room was observed operating with a missing safety shroud. Unguarded rotating equipment is a life safety hazard.	Reinstall or purchase and replace a new belt shroud.	\$500
Mechanical - Life Safety	Access to the upper mezzanine mechanical room is unsafe and not conducive to performing routine maintenance. The only access is up a two-story wall ladder with no cage and no tie-off system, the top of the ladder gives choice to either step across to the mezzanine platform, or open a vertical man door to access the roof.	Reroute piping in the mezzanine and install a man door on the south side of the mezzanine wall, accessible by walking the roof from the western penthouse. Install exterior signage at the existing door so users know they're opening a door to a ladder. Install proper fall protection on the existing ladder.	\$30,000
Electrical - Lighting Controls	The 2016 addition installed standard on/off switching vs infinite slider dimming switches on new LED fixtures. The new lighting is too bright, teachers are forced to cover new LED lighting fixtures with fabric light filters.	Replace switches with slider dimmer control.	\$15,000





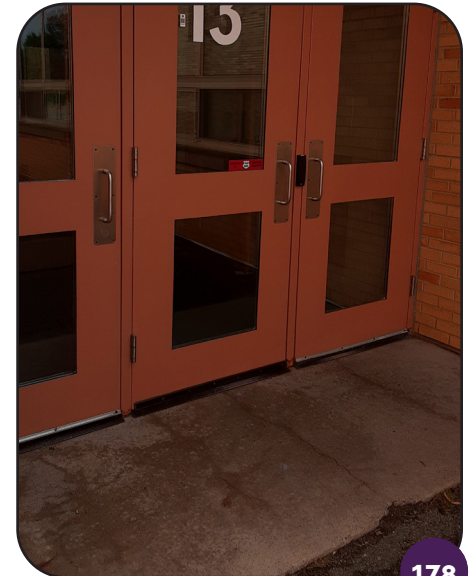
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Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Dumpsters on asphalt	Install concrete pads for dumpsters.	\$6,800
Site & Landscape	Multiple walk concrete slabs with transitional and divided cracks.	Replace cracked concrete walk slabs.	\$23,000
Site & Landscape	Cracked concrete walk around storm drain.	Cut joints and patch.	\$1,000
Site & Landscape	Cracked concrete door landing.	Replace, patch, cut, grind and/or mud jacking as needed.	\$17,500





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Uneven transition between concrete door landing and walk.	Replace, patch, cut, grind and/or mud jacking as needed.	\$17,500
Site & Landscape	Building perimeter and hardscape gaps.	Back fill gaps with sand and backer rod. Caulk and seal with appropriate joint filler. Heat melt in place material recommended for smooth, clean appearance.	\$3,500
Site Utilities	Gas valve on side of building not secured inside of fencing and potential climbing assistance to roof.	Enclose, secure valve access, and eliminate potential climbing assistance.	\$4,500
Site Utilities	Failed front sign base.	Replace base and upgrade sign. Consider complete upgrade replacement for sign.	\$35,000





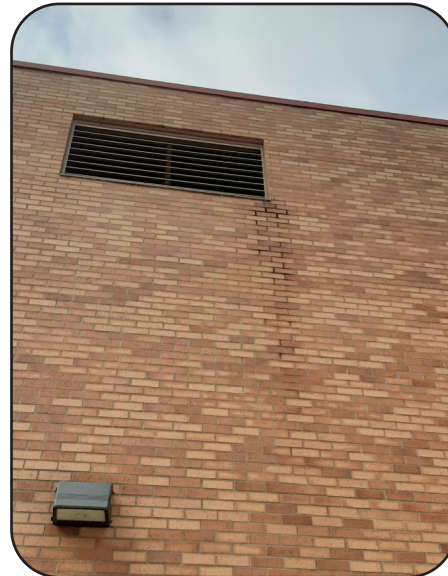
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Facility Improvement Measures

Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior - Doors	Although minimal, some sets of exterior steel doors are deteriorating. One set of gym doors is rusting through.	Complete a through facility exterior door inventory and replace as necessary. Expect to replace several door sets in the next 1-5 years.	\$20,000
Exterior Building	Tuck pointing and masonry repairs needed. Stained with face brick with open, missing, and deteriorating mortar.	Re-tuck walls, replace missing and damaged masonry, and professionally clean stone and bricks.	\$45,000
Exterior Building	Exterior wall metal louver stains on face brick.	Professionally clean walls and seal. Repaint or replace rusting wall louver.	\$5,500
Exterior Building	Stained exterior window sills.	Professionally clean wall sills and decorative stone.	\$8,500





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Failed and missing window caulk, joint compound, and sealant.	Remove failed and around areas of missing caulk. Re-caulk without blocking or sealing weeps.	\$15,000
Exterior Building	Stone window sills deteriorating.	Patch and seal, or replace. Consider completion with major sill restoration project.	\$45,000
Exterior Building	Window sills internal reinforcing steel exposed.	Patch and seal or replace. Consider completion with major sill restoration project.	\$15,000
Exterior Building	Window steel lintels rusty.	Prepare and paint with weather resistant coatings. Consider completion with major sill restoration project.	\$28,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Windows lintels loose at brick face union.	Tuckpoint lintel unions and adjacent mortar on brick face. Consider completion with major sill restoration project.	\$18,000
Exterior Building	Exterior wall mildew stains from roof edge scupper discharge.	Extend or modify scupper to prevent staining. Professional clean face brick.	\$5,000
Interior Wood Doors	A fair amount of original and later vintage wood doors throughout the facility are in poor condition; de-laminating, stained, and chipped.	Replace aged and damaged interior wood doors. Estimate given for 30 doors.	\$37,500
Interior - Wall Base	A minimal amount of ceramic wall base was noted failing from the wall surface joint. Walls in this area are constructed of wood paneling, the failure is likely due to wall movement.	Until an aesthetic improvement is made to remove the paneling, scrape and grind the mortar joint and run a flexible caulk joint along the upper tile edge.	\$3,500



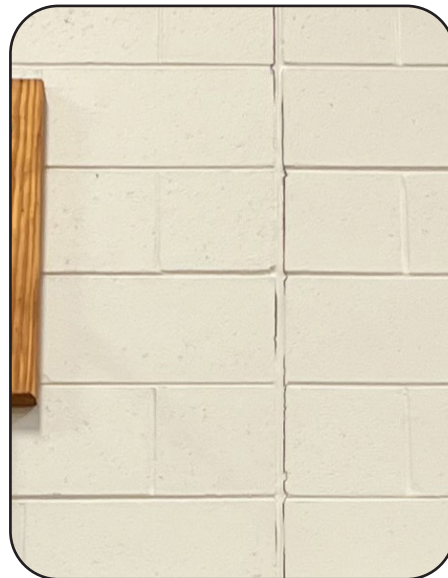


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Facilities Management Services

Facility Improvement Measures Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Interior - Gym Flooring	Although in good overall condition, the main gym floor is scuffed and scratched.	Maintain a wood floor refinishing cycle, recommended every 5-10 years dependent on use and condition.	\$25,000
Interior - Gym Control Joints	Interior caulk control joints of the gym masonry wall are dried and cracked, allowing infiltration, and no longer performing as designed.	Remove old caulk, clean and prep the joint, install new.	\$7,500
Interior -Ceilings	Several classrooms have not been updated to 2x2 ceiling tile. This tile was stained and showing it's age.	Replace classrooms with 2x4 ceiling tile with 2x2 tile in conjunction with a lighting upgrade project.	\$20,000
Interior - Flooring	Although minimal, several classrooms were noted having stained and dated carpeting.	Replace carpeting as needed, test flooring for hazardous materials prior. Pricing given for five classrooms without abatement needed.	\$30,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Mechanical - HVAC	The HVAC system in Jefferson is in overall good condition. 1997 vintage AHU's and VAV's serve the original building section. This equipment is approaching 30 years old and reaching the end of it's expected useful life. Remaining equipment is modern and in excellent condition.	Aggressive maintenance to extend the life of the 1997 equipment 10+ years. Inspect VAV duct systems for leaks. Perform coil cleaning on all 1997 AHU's and VAV's. Recommission the equipment with your controls provider and a testing & balancing contractor.	\$60,000
Plumbing - Domestic Hot Water	The two (60 & 100 gallon) gas fired water heaters are both 16 years old, at their expected useful life.	To determine the priority of each unit, consider what being without hot water for a few days in the areas they serve would mean for operations. Recommend to replace in the next 1-3 years.	\$20,000
Electrical	Several original 1955 vintage electrical panels with fused disconnects are still active in the facility. These panels are obsolete and long past their expected useful service life.	Replace panels in the next 1-3 years. Parts will be difficult or impossible to obtain upon a failure or trip.	\$60,000
Electrical - Whole Building Lighting Upgrade	The facility is in need of a whole building lighting upgrade from fluorescent to LED. Many classrooms were noted having fabric light filters hung over fixtures due to the harshness and intensity of existing lighting systems. Interior lighting projects provide roughly a 6 year simple payback, along with giving building occupants the ability to adjust light levels to their liking. Additionally, the systems have a 20+ year lifespan, drastically reducing maintenance required to change lamps and ballasts.	Replace classrooms, offices, corridors and common large spaces (gym) with appropriate LED fixtures, occupancy sensors, and dimming controls. Estimate given for older 2/3 of the facility not converted to LED.	\$113,000



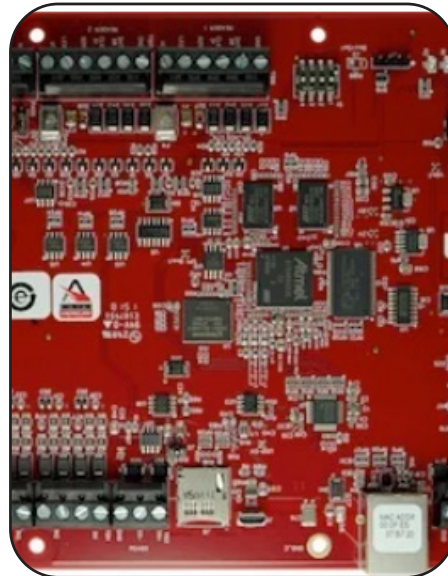
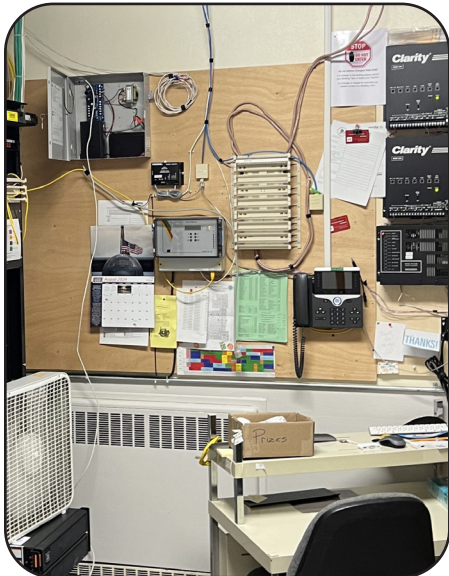


C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures Wausau - Thomas Jefferson Elementary School

Building System	General Description	Recommendation	Cost Estimate
Electrical - Bell/PA & Communication	PA/Bell/Clock/mass communication systems due for upgrade. Existing system is obsolete using decades old technology.	Replacement recommended with the district's Single-wire system standard.	\$258,000
Electrical - Door Access	Card Access systems across the district are in need of upgrade to their board controllers. Information was compiled through district IT interviews and recommended per school individual need.	Replace HID Vertx boards to Mercury LP1502's.	\$10,000
Electrical - Security Cameras	Through district IT staff interviews, certain schools were identified as in need of camera investment. Recommendations based on individual need per school.	Replace obsolete cameras and or add new.	\$18,000
Electrical	Exterior wall pack conduit bent.	Straighten and reinforce attachment.	\$1,000





Thomas Jefferson Strategic Plan

Wausau - Thomas Jefferson ES

Project	Estimated Cost
1-2 Year Needs	
Replace Roof Sections A-M	\$622,000
Address Unsafe Access to Upper Mezzanine Mechanical Room	\$30,000
Replace Light Switches with Slider Dimmer Controls (2016 addition)	\$15,000
Fix Exposed Foundation Wall Insulation and Waterproof	\$13,500
Develop Routine Asphalt Maintenance Schedule	\$5,500
Increase Routine Planter Landscaping Maintenance	\$5,000
Refresh and Retain Planter Mulch	\$3,500
Fix Exterior Door Concrete Gap	\$2,500
Add Screen in Planters	\$1,000
Repair Rusty Metal Entrance Beam	\$1,000
Organize and De-clutter Mechanical and Electrical Areas	\$500
Reinstall Upper Mezzanine Mechanical Room Exhaust Fan	\$500
Total	\$700,000

Wausau - Thomas Jefferson ES

Project	Estimated Cost
3-5 Year Needs	
Replace PA/Bell/Clock/Mass Communication System	\$258,000
Replace Fluorescent Lighting with LED	\$113,000
Aggressive Maintenance of HVAC Equipment	\$60,000



Thomas Jefferson Strategic Plan

Wausau - Thomas Jefferson ES

Project	Estimated Cost
3-5 Year Needs	
Replace Vintage Electrical Panels	\$60,000
Replace Aged and Damaged Interior Wood Doors	\$37,500
Replace Classroom Carpeting as Needed	\$30,000
Repair Rusty Steel Window Lintels	\$28,000
Maintain Wood Refinishing Cycle	\$25,000
Replace Cracked Concrete Walk Slabs	\$23,000
Replace Exterior Doors as Necessary	\$20,000
Replace Classroom Ceiling Tile as Necessary	\$20,000
Replace Gas-Fired Water Heaters	\$20,000
Replace Cameras or Add New	\$18,000
Fix Uneven Concrete Transition	\$17,500
Fix Cracked Concrete Door Landing	\$17,500
Replace Window Caulk, Joint Compound, and Sealant	\$15,000
Update Card Access System	\$10,000
Install New Gym Control Joints	\$7,500
Install Concrete Pad for Dumpsters	\$6,800
Clean Exterior Wall Metal Louver Stains on Face Brick	\$5,500
Clean Exterior Wall Mildew Stains	\$5,000
Enclose and Secure Gas Valve Access	\$4,500
Address Failing ceramic Wall Base	\$3,500
Address Building Perimeter Hardscape Gaps	\$3,500
Total	\$808,800

Thomas Jefferson Strategic Plan

Wausau - Thomas Jefferson ES

Project	Estimated Cost
5-10 Year Needs	
Tuckpointing and Masonry Repairs	\$45,000
Repair Deteriorating Stone Window Sills	\$45,000
Replace Front Sign Base	\$35,000
Address Loose Window Lintels	\$18,000
Fix Exposed Window Sill Internal Reinforcing Steel	\$15,000
Clean Stained Exterior Window Sills	\$8,500
Fix Cracked Concrete Walk Around Storm Drain	\$1,000
Fix Bent Exterior Wall Pack Conduit	\$1,000
Total	\$168,500

Wausau - Thomas Jefferson ES

Project	Estimated Cost
Recommended Standardization Upgrades	
FF&E	\$375,000
Total	\$375,000

GD Jones Facility Analysis

The G.D. Jones Elementary School is located at 1018 S 12th Ave Ct, Wausau, Wisconsin.

CESA 10 technical experts paid close attention to the site’s lighting, building envelope, and security concerns. Items identified in this report are meant to improve the facility’s efficiency over the next five to ten years while reducing future operation and maintenance costs.

Wausau School District - G.D. Jones ES

Year Built	1997
Building Addition	2016
Square Footage	95,500
Annual Electric Usage (kWh)	496,069

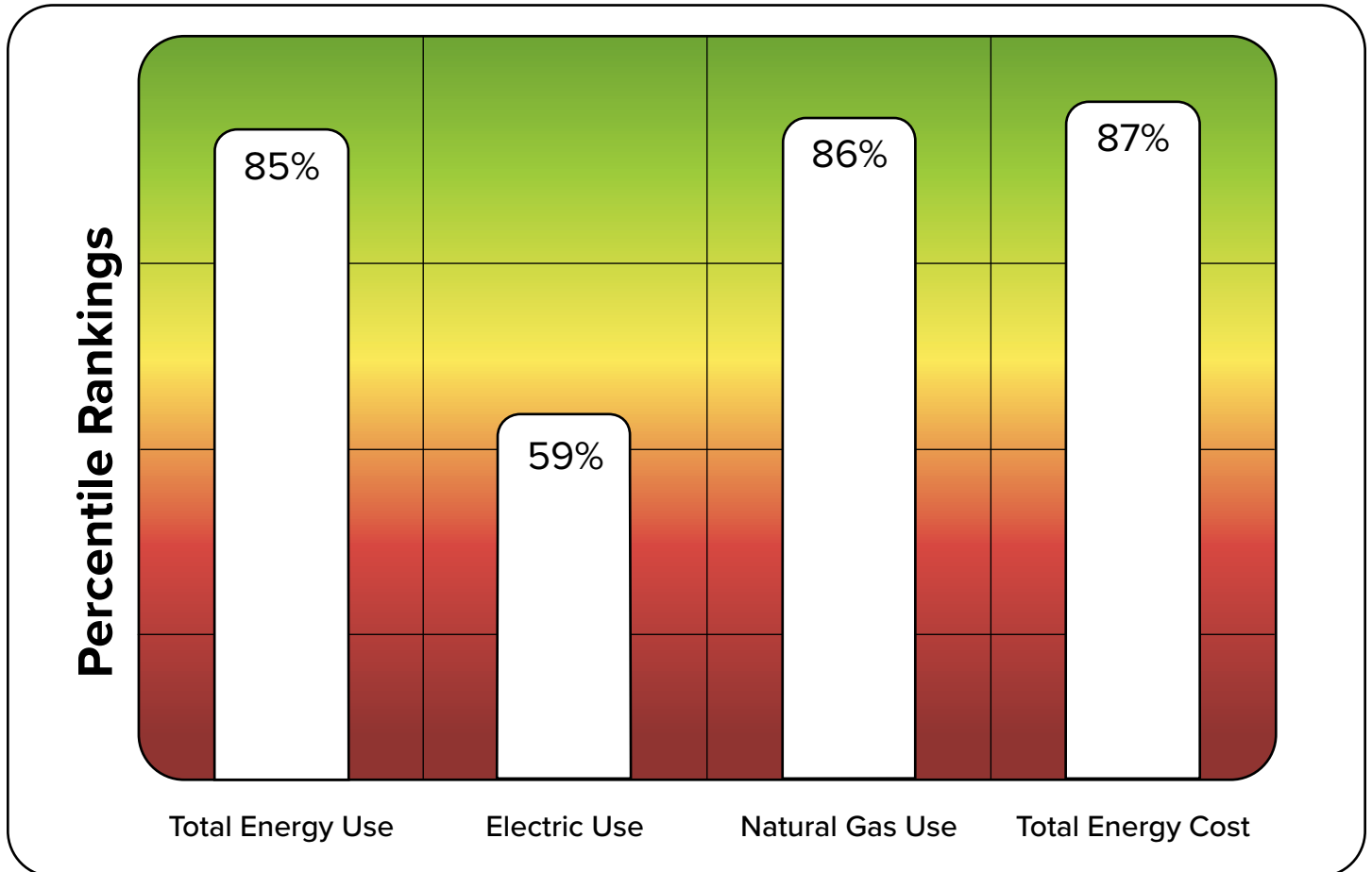


GD Jones Utility Analysis

ENERGY USE

The following benchmarking analysis compares G.D. Jones Elementary to an average elementary school in Wisconsin.

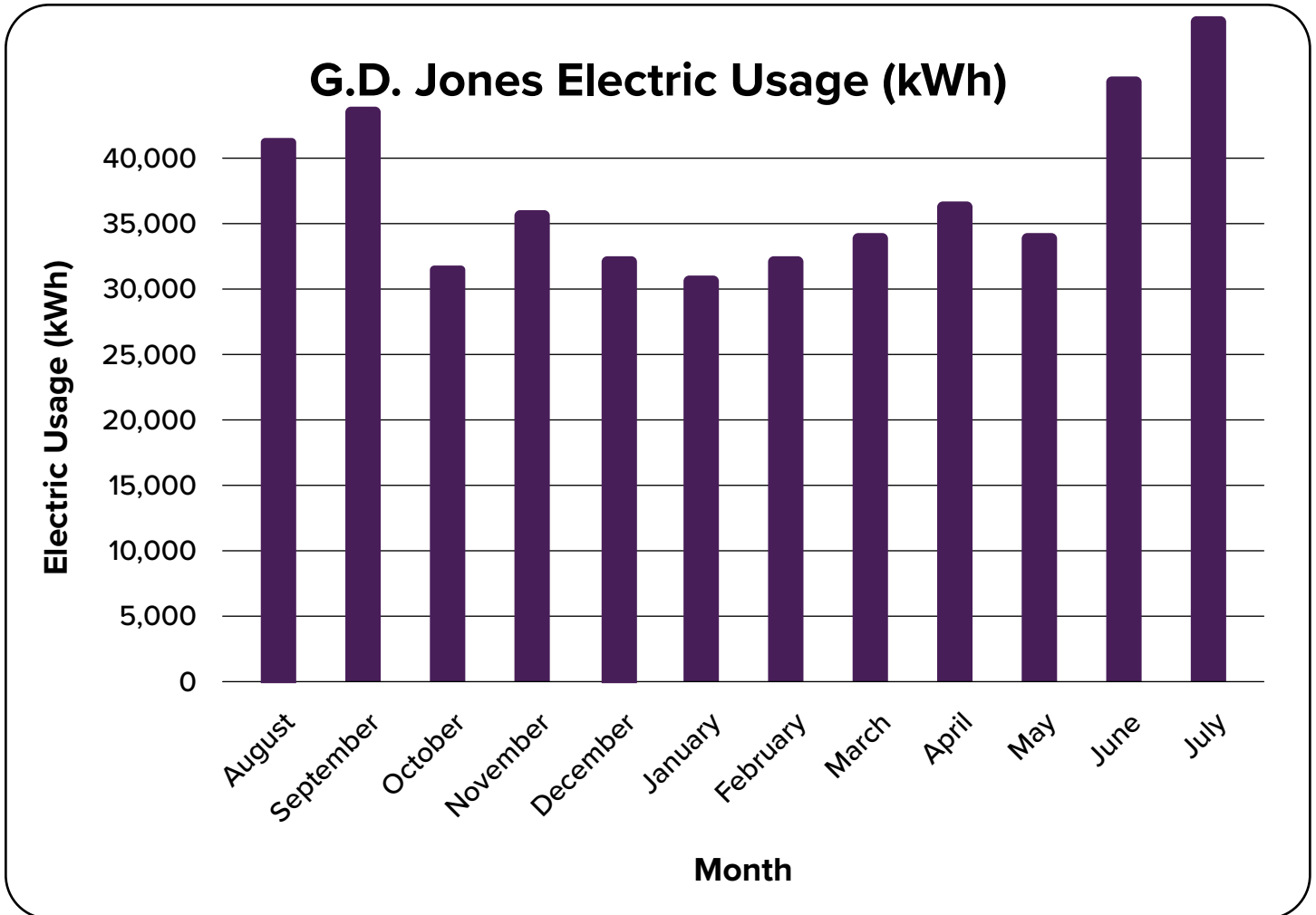
Wausau School District • Benchmarking				
	Total Energy Use kBtu/ft ²	Electric Use kWh/ft ²	Natural Gas Use Btu/ ft ² /HDD	Total Energy Cost \$/ft ²
Average Elementary School in WI	78.02	5.7	6.9	\$1.24
GD Jones ES	51.3	5.2	4.7	\$0.75
Percentile Rankings	85%	59%	86%	87%



GD Jones Utility Analysis

UTILITY ANALYSIS

The utility graph below demonstrates the electrical consumption at the G.D. Jones Elementary School from August 2023 through July 2024.





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - G.D. Jones Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Concrete dock slabs cracked.	Replace cracked concrete slabs. Consider replacement with comprehensive dock upgrade/replacement project.	\$27,000
Site & Landscape	Concrete dock stairs post base open and cracked.	Cut and repair. Consider complete stair replacement along with comprehensive dock upgrade/replacement project.	\$7,500
Site & Landscape	Deteriorated concrete joints between dock and dock walk ramp.	Replace slabs with open or deteriorated joints. Consider replacement with comprehensive dock upgrade/replacement project.	\$12,500
Site & Landscape	Concrete dock walk ramp rebar exposed.	Replace slabs with exposed repair and cracks to underlying rebar. Consider replacement with comprehensive dock upgrade/replacement project.	\$27,000





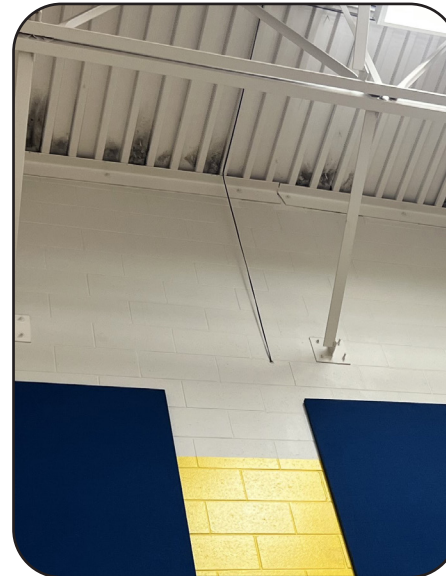
C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - G.D. Jones Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Storm water culvert open.	Add guard and large debris grates on culvert inlets and outlets.	\$1,000
Exterior Building Roofing	Roof sections A-E are 27 years old, out of warranty, and past their expected useful life. Inspection showed peeling seams, failing patches, and evidence of ponding water. Scupper outlets appear to be improperly pitched, draining water on the building under normal circumstances.	Replace sections A-E in the next 1-5 years with an adhered 60 mil black EPDM 20 year warranty roof. Recommend completing all roofs at once.	\$430,000
Exterior - Upper Gym	Upper gym roof/ceiling edge stained per air and moisture infiltration. Observed areas around gym block windows with similar conditions.	Investigate and eliminate cause. Clean and remove stains. .	\$14,500
Mechanical	The GD Jones chiller has had a major failure and is in need of replacement.	As of the writing of this audit, the unit was budgeted for and scheduled for replacement prior to next cooling season. Cost estimate provided as a placeholder.	\$1,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - G.D. Jones Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Set routine asphalt maintenance schedule with area rotation.	Continue crack clean and crack fill as needed. Include every 3-5 years seal, and repaint asphalt.	\$6,500
Site & Landscape	Multiple walk concrete slabs with transitional and divided cracks.	Replace cracked concrete walk slabs.	\$16,000
Site & Landscape	Dumpsters concrete slab stained.	Professional clean to remove rust stains.	\$4,500
Exterior - Doors	Although minimal, some sets of exterior steel doors are deteriorating. One set of gym doors is rusting through.	Complete a through facility exterior door inventory and replace as necessary. Expect to replace several door sets in the next 1-5 years.	\$20,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - G.D. Jones Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior - Entry structure	The high-ceiling pyramid roof structure is in need of maintenance. Mildew, EIFS, flashings, caulk, paint, and skylight all have deficiencies. Roofing appears to overlap the bottom EIFS joint which would trap water below the roof membrane.	Perform general maintenance on the structure. Properly terminate roof below EIFS when re-roofing the facility. Replace aged inefficient skylight with glass or opaque panel. Pressure wash, caulk, paint, and reflash metals. Consider replacing EIFS with masonry.	\$50,000
Exterior - Gym Block Window	Area around gym block windows stained per air and moisture infiltration. Observed areas around gym roof edge with similar conditions.	Investigate and eliminate cause. Clean and remove stains. .	\$8,500
Exterior Building	Exterior window lintels rusting.	Prepare and paint with durable weatherproof coating.	\$20,000
Exterior Building	Stained exterior window sills.	Verify cause and remedy. Professionally clean wall sills and decorative stone. Consider completion as more extensive exterior wall corrective project.	\$12,500





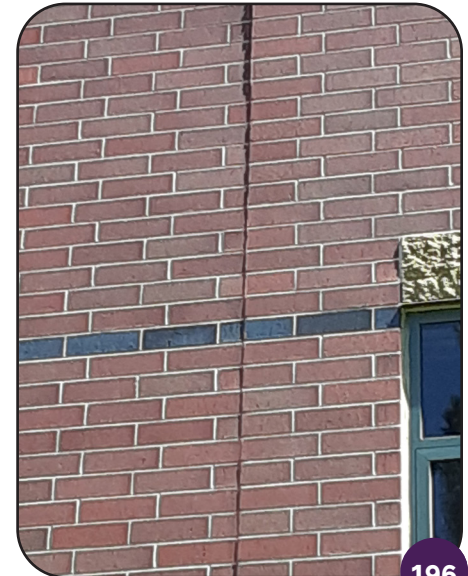
C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - G.D. Jones Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Failing exit metal doors and frames .	Replace doors and frames.	\$15,000
Exterior Building	Damaged exit door seals.	Replace damaged seals.	\$1,000
Exterior Building	Exterior wall base waterproof membrane exposed.	Verify integrity of waterproof membrane. Re-adhere and patch if open or torn.	\$1,000
Exterior Building	Exterior wall joint fabric exposed.	Verify integrity of waterproof membrane. Re-adhere and patch if open or torn.	\$1,000





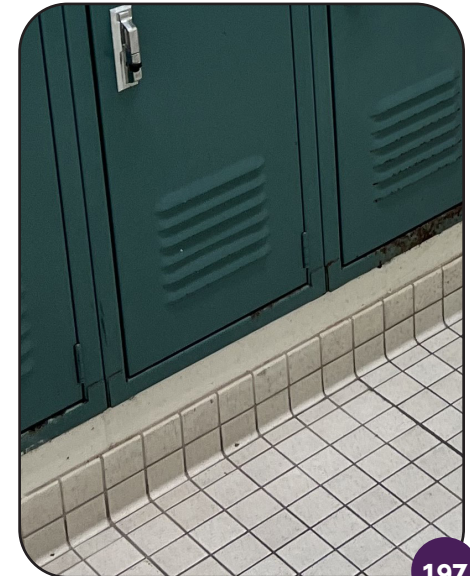
C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - G.D. Jones Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Exterior wall block and mortar stained.	Professionally clean walls. Consider completion as more extensive exterior wall cleaning project.	\$5,000
Exterior Building	Exterior wall scupper discharge stain.	Extend, enclose, or modify scupper to eliminate stain cause. Professionally clean wall.	\$5,800
Exterior Building	Exterior wall flashing transition mortar missing and deteriorating.	Tuck point above and under flashing. Replace with waterproofed flashing to direct water to roof membrane.	\$23,000
Interior - Lockers	The small sections of lockers in gym bathrooms are beginning to rust.	Properly prep and repaint lockers for extended life.	\$4,000





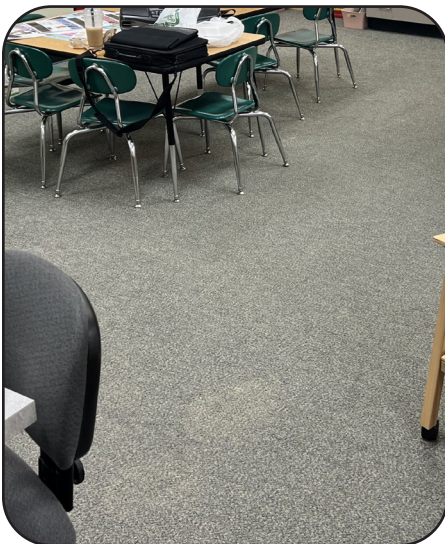
C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - G.D. Jones Elementary School

Building System	General Description	Recommendation	Cost Estimate
Interior - Flooring	Although minimal, several classrooms were noted having stained and dated carpeting.	Replace carpeting as needed, pricing given for five classrooms.	\$30,000
Mechanical - Pipe Insulation	Missing and or damaged pipe insulation was noted.	Replace damaged and missing pipe insulation. Pricing given for minimal work noted in mechanical rooms.	\$5,000
Plumbing - Domestic Hot Water	The three 120 gallon gas fired water heaters are all 9 years old. These high efficiency units are in good condition, however expect to need to replace at least one in the next 5-10 years. The system appears oversized for the load, consider downsizing if replacing all at once.	Expect failure of at least one unit in the next 5-10 years. Estimate given for one unit replacement.	\$15,000
Electrical - Whole Building Lighting Upgrade	The original facility is in need of a whole building lighting upgrade from fluorescent to LED. Classrooms were noted having fabric light filters hung over fixtures due to the harshness and intensity of existing lighting systems. Interior lighting projects provide roughly a 6 year simple payback, along with giving building occupants the ability to adjust light levels to their liking. Additionally, the systems have a 20+ year lifespan, drastically reducing maintenance required to change lamps and ballasts.	Replace original building classrooms, offices, corridors with appropriate LED fixtures, occupancy sensors, and dimming controls. Estimate given for older 2/3 of the facility not converted to LED. Gym lighting controls should be replaced along with lighting controls of newer LED fixtures.	\$130,000





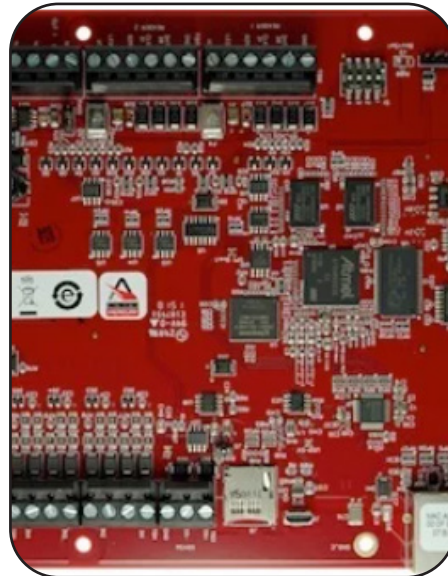
C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - G.D. Jones Elementary School

Building System	General Description	Recommendation	Cost Estimate
Electrical - Bell/PA & Communication	PA/Bell/Clock/mass communication systems due for upgrade. Existing system is obsolete using decades old technology.	Replacement recommended with the district's Single-wire system standard.	\$270,000
Electrical - Door Access	Card Access systems across the district are in need of upgrade to their board controllers. Information was compiled through district IT interviews and recommended per school individual need.	Replace HID Vertx boards to Mercury LP1502's.	\$8,000
Electrical - Security Cameras	Through district IT staff interviews, certain schools were identified as in need of camera investment. Recommendations based on individual need per school.	Replace obsolete cameras and or add new.	\$12,000



GD Jones Strategic Plan

Wausau - G.D. Jones ES

Project	Estimated Cost
1-2 Year Needs	
Replace Roof Sections A-E	\$430,000
Replace Cracked Concrete Dock Slabs	\$27,000
Address Exposed Rebar (Dock Walk Ramp)	\$27,000
Investigate Gym Roof/Ceiling Staining	\$14,500
Replace Deteriorated Concrete Joints	\$12,500
Repair Concrete Dock Stairs Post Base	\$7,500
Guard Storm Water Culvert	\$1,000
Replace Exit Door Seals	\$1,000
Replace GD Jones Chiller (Scheduled)	\$1,000
Total	\$521,500

Wausau - G.D. Jones ES

Project	Estimated Cost
3-5 Year Needs	
Replace PA/Bell/Clock/Mass Communication System	\$270,000
Update Lighting From Fluorescent to LED	\$130,000
Pyramid Roof Structure Maintenance	\$50,000
Replace Classroom Carpeting as Needed	\$30,000
Replace Missing Exterior Wall Flash Transition Mortar	\$23,000
Exterior Door Replacement	\$20,000
Replace Cracked Concrete Walk Slabs	\$16,000



GD Jones Strategic Plan

Wausau - G.D. Jones ES

Project	Estimated Cost
3-5 Years (Continued)	
Replace Failing Exit Metal Doors and Frames	\$15,000
Clean Stained Exterior Window Sills	\$12,500
Replace Obsolete Cameras or Add New	\$12,000
Clean Stains Around Gym Block Windows	\$8,500
Replace Card Access System	\$8,000
Develop Routine Asphalt Maintenance Schedule	\$6,500
Fix Exterior Wall Scupper Discharge Stain	\$5,800
Clean Stained Exterior Wall Block and Mortar	\$5,000
Replace Damaged and Missing Pipe insulation	\$5,000
Clean Dumpster Concrete Slab	\$4,500
Repaint Lockers in Gym Bathrooms	\$4,000
Address Exposed Wall Base Waterproof Membrane	\$1,000
Address Exposed Exterior Wall Joint Fabric	\$1,000
Total	\$627,800

Wausau - G.D. Jones ES

Project	Estimated Cost
5-10 Year Needs	
Paint Exterior Window Lintels	\$20,000
Replace Water Heater Unit	\$15,000
Total	\$35,000



GD Jones Strategic Plan

Wausau - G.D. Jones ES

Project	Estimated Cost
Recommended Standardization Upgrades	
FF&E	\$375,000
Minor Kitchen Enhancements	\$250,000
Total	\$625,000

Stettin Facility Analysis

The Stettin Elementary School is located at 109 N 56th Ave, Wausau, Wisconsin.

CESA 10 technical experts paid close attention to the site’s lighting, building envelope, and security concerns. Items identified in this report are meant to improve the facility’s efficiency over the next five to ten years while reducing future operation and maintenance costs.

Wausau School District - Stettin ES

Year Built	2000
Building Addition	2013, 2022
Square Footage	56,000
Annual Electric Usage (kWh)	417,996



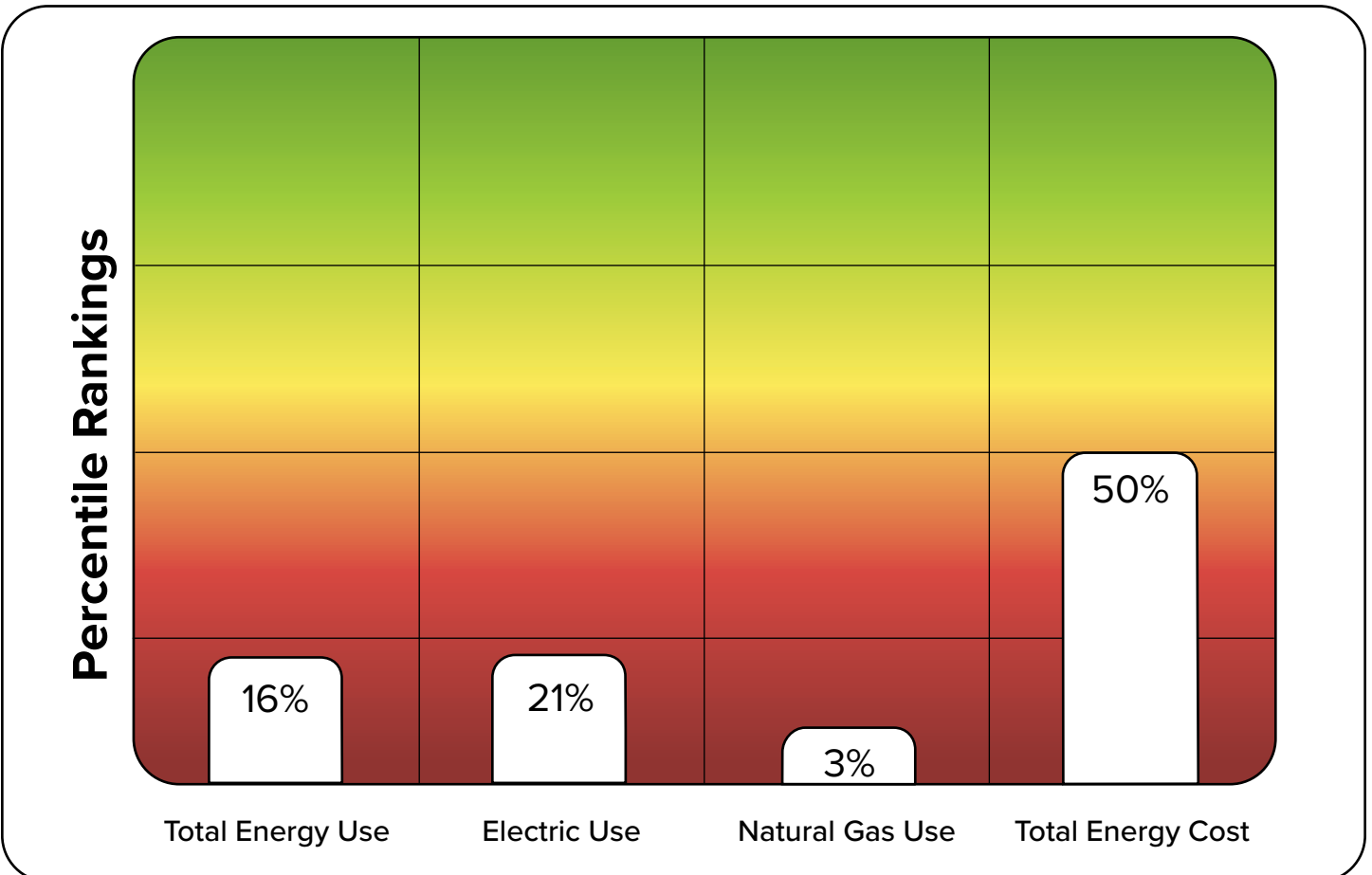
Stettin Utility Analysis

ENERGY USE

The following benchmarking analysis compares Stettin Elementary to an average elementary school in Wisconsin.

Wausau School District • Benchmarking

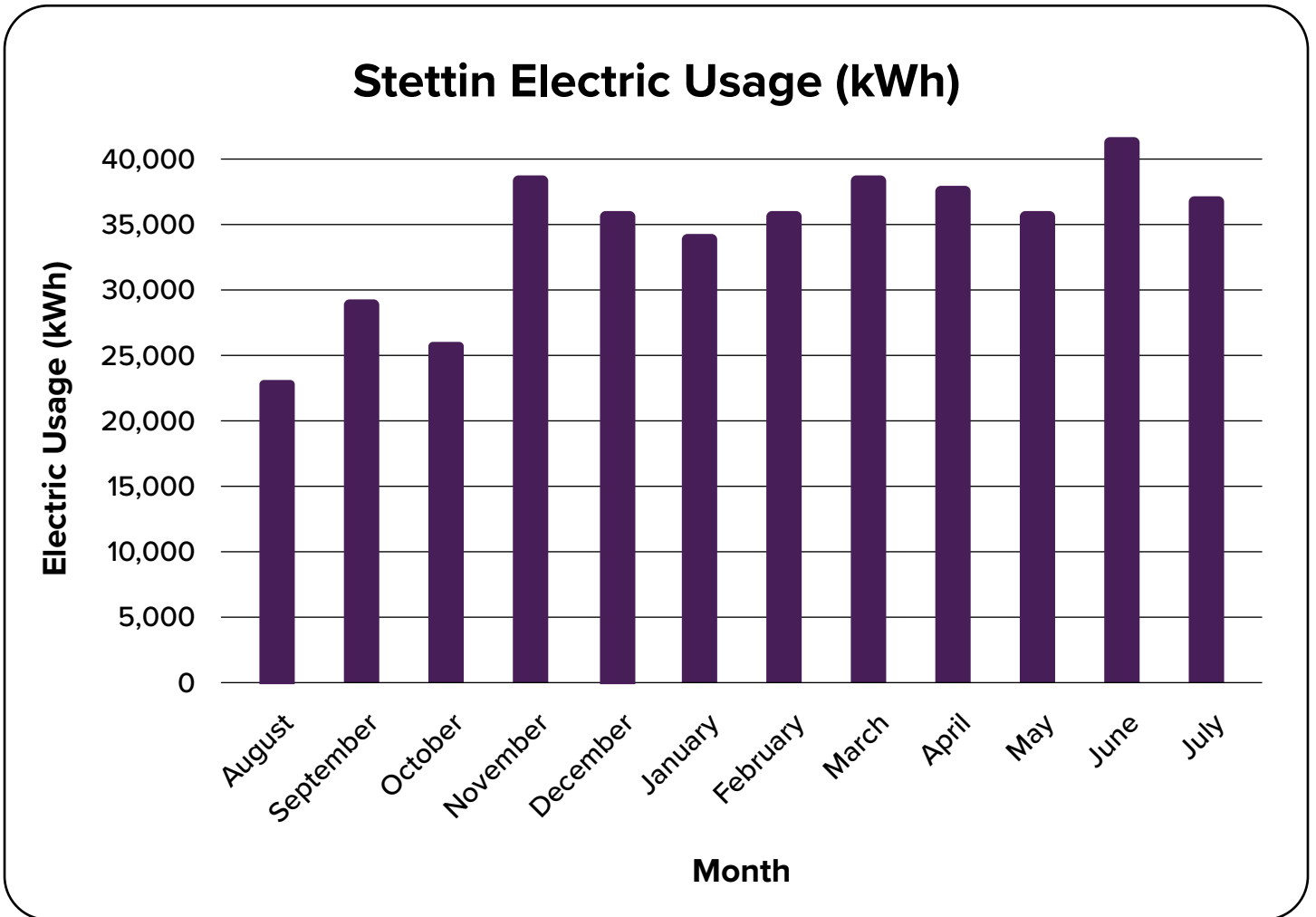
	Total Energy Use kBu/ft ²	Electric Use kWh/ft ²	Natural Gas Use Btu/ ft ² /HDD	Total Energy Cost \$/ft ²
Average Elementary School in WI	78.02	5.7	6.9	\$1.24
Stettin ES	103.6	7.5	10.8	\$1.23
Percentile Rankings	16%	21%	3%	50%



Stettin Utility Analysis

UTILITY ANALYSIS

The utility graph below demonstrates the electrical consumption at the Stettin Elementary School from August 2023 through July 2024.





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Stettin Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Metal shed lower panel fastener areas rusty.	Prepare and paint with durable weatherproof coating.	\$1,000
Exterior Building Roofing	Roof sections A-D are all 24 years old and out of warranty, these roofs are at their expected useful life. Large sheet patches were seen during roof inspection, along with frequent poor condition seams and seam patches. Several ceiling tiles were water stained throughout the building.	Replace sections A-D in the next 1-5 years with an adhered 60 mil black EPDM 20 year warranty roof. Recommend completing all roofs at once.	\$507,000
Exterior Building	Exterior wall brick paint stained.	Professionally clean walls. Consider completion as more extensive exterior wall cleaning project.	\$1,000
Exterior Building	Exterior wall downspout extension missing and wall staining.	Replace downspout extension to eliminate stain cause. Professionally clean wall. Consider completion as more extensive exterior wall cleaning project.	\$2,000





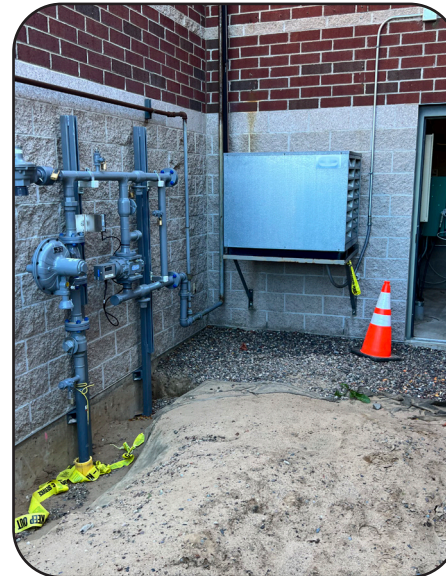
C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Stettin Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Set routine asphalt maintenance schedule with area rotation.	Continue crack clean and crack fill as needed. Include every 3-5 years seal, and repaint asphalt.	\$8,800
Site & Landscape	Concrete door landing deteriorating	Replace concrete door landing.	\$8,500
Site & Landscape	Utility hardscape area open.	Close exposed hardscape areas.	\$12,500
Exterior Building	Exterior wall block and mortar stained.	Professionally clean walls. Consider completion as more extensive exterior wall cleaning project.	\$5,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Stettin Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Stained exterior window sills.	Professionally clean wall sills. Consider completion as more extensive exterior wall corrective project.	\$9,500
Exterior Doors	Although doors are in good condition, several door sets with no center mullion were noted with large air gaps between.	Inspect all exterior doors and perform a whole building door weather stripping and door sweep replacement as necessary.	\$5,000
Interior - Flooring	Although minimal, several areas were noted having cracked and gapped VCT. Area shown in staff lounge.	Repair damaged VCT tile, consider replacement with a superior product. Floor tile patches will likely stand out unless full surface is replaced.	\$5,000
Mechanical - Pipe Insulation	Missing and or damaged pipe insulation was noted in various locations around the building.	Insulate DHW piping up to water heaters. Missing insulation was also noted near the boilers. Replace any damaged or missing pipe insulation found elsewhere. Pricing given for minimal work noted in mechanical rooms.	\$5,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Stettin Elementary School

Building System	General Description	Recommendation	Cost Estimate
Mechanical - Cooling Capacity	The Stettin cooling system utilizes ice storage to allow the energy intensive chiller to be run during off-peak hours, reducing operating costs. The ice bank system however is undersized, on hot days the building uses all the ice and is unable to cool.	Several options are available to review with a mechanical design engineer. Consider adding additional ice storage capacity and corresponding higher chiller capacity. Consider removing certain spaces from the cooling load, or cooling certain spaces with DX cooling to remove them from the ice load. Pricing given as a FIM placeholder.	\$500
Electrical - Whole Building Lighting Upgrade	The facility is in need of a whole building lighting upgrade from fluorescent to LED. Interior lighting projects provide roughly a 6 year simple payback, along with giving building occupants the ability to adjust light levels to their liking. Additionally, the systems have a 20+ year lifespan, drastically reducing maintenance required to change lamps and ballasts.	Replace classrooms, offices, corridors and common large spaces (gym) with appropriate LED fixtures, occupancy sensors, and dimming controls.	\$94,000
Electrical - Bell/PA & Communication	PA/Bell/Clock/mass communication systems due for upgrade. Existing system is obsolete using decades old technology.	Replacement recommended to Single-wire standard.	\$240,000
Electrical - Door Access	Card Access systems across the district are in need of upgrade to their board controllers. Information was compiled through district IT interviews and recommended per school individual need.	Replace HID Vertx boards to Mercury LP1502's.	\$6,000





C.E.S.A. 10
 Facilities Management Services

Facility Improvement Measures Wausau - Stettin Elementary School

Building System	General Description	Recommendation	Cost Estimate
Site & Landscape	Multiple walk concrete slabs with transitional and divided cracks.	Replace cracked concrete walk slabs.	\$12,000
Site & Landscape	Concrete roll over curb deteriorating	Replace concrete curb.	\$7,500
Site & Landscape	Dumpsters concrete slab stained.	Professional clean to remove rust stains.	\$4,500
Exterior Building	Exterior window caulk missing and failing.	Remove failed and missing caulk. Re-caulk without blocking or sealing weeps.	\$18,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Stettin Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Exterior window lintels rusting.	Prepare and paint with durable weatherproof coating.	\$22,000
Exterior Building	Exterior door lintels rusting.	Prepare and paint with durable weatherproof coating.	\$16,000
Mechanical - Boilers	Stettin is heated with two 2005 vintage 1.5MBTU standard efficiency boilers.	Expect to replace the boilers and pumps in the next 5-10 years with high efficiency condensing boilers.	\$250,000
Interior - Gym Flooring	The Stettin gym floor is in good condition but in need of maintenance. Surface finishing is de-laminating and larger cracks are forming between wood floor boards.	Perform a full refinishing and restriping in the next 1-2 years. Maintain a wood floor refinishing cycle, recommended every 5-10 years dependent on use and condition.	\$25,000





C.E.S.A. 10

Facilities Management Services

Facility Improvement Measures

Wausau - Stettin Elementary School

Building System	General Description	Recommendation	Cost Estimate
Exterior Building	Roof corner flashing damaged.	Waterproof and replace flashing.	\$2,500
Interior - Gym Flooring	The Stettin gym floor is in good condition but in need of maintenance. Surface finishing is de-laminating and larger cracks are forming between wood floor boards.	Perform a full refinishing and restriping in the next 1-2 years. Maintain a wood floor refinishing cycle, recommended every 5-10 years dependent on use and condition.	\$25,000





Stettin Strategic Plan

Wausau - Stettin ES

Project	Estimated Cost
1-2 Year Needs	
Replace Roof Section A-D	\$507,000
Refinish and Restripe Gym Floor	\$25,000
Waterproof and Replace Roof Flashing	\$2,500
Replace Downspout Extension	\$2,000
Address Rusty Metal Shed Panel Fastener Areas	\$1,000
Clean Stained Exterior Wall Brick	\$1,000
Total	\$538,500

Wausau - Stettin ES

Project	Estimated Cost
3-5 Year Needs	
Replace PA/Bell/Clock/Mass Communication System	\$240,000
Lighting Upgrade from Fluorescent to LED	\$94,000
Close Exposed Hardscape Areas	\$12,500
Professional Clean Window Sills	\$9,500
Develop Routine Asphalt Maintenance Schedule	\$8,800
Replace Concrete Door Landing	\$8,500
Replace Card Access System	\$6,000
Professional Clean Exterior Walls	\$5,000
Fix Exterior Door Large Air Gaps	\$5,000
Repair Damaged VCT Tile	\$5,000

Stettin Strategic Plan

Wausau - Stettin ES

Project	Estimated Cost
3-5 Year Needs (Continued)	
Address Missing or Damaged Pipe Insulation	\$5,000
Consider Options to Increase Cooling Capacity	\$500
Total	\$399,800

Wausau - Stettin ES

Project	Estimated Cost
5-10 Year Needs Continued	
Replace Boilers and Pumps	\$250,000
Paint Rusting Exterior Window Lintels	\$22,000
Fix Failed and Missing Window Caulk	\$18,000
Fix Rusting Door Lintels	\$16,000
Replace Cracked Concrete Walk Slabs	\$12,000
Replace Concrete Curb	\$7,500
Clean Stained Dumpster Concrete Slabs	\$4,500
Total	\$330,000

Stettin Strategic Plan

Wausau - Stettin ES

Project	Estimated Cost
Recommended Standardization Upgrades	
FF&E	\$265,000
Total	\$265,000



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