

AIA® Document G704® – 2017

Certificate of Substantial Completion

PROJECT: *(name and address)*
2022-024.PRE - FRANKLIN CUB
ACADEMY
1049 Sloan Drive
Franklin, IN 46131

CONTRACT INFORMATION:
Contract For: General Construction
Date: 03-21-2025

CERTIFICATE INFORMATION:
Certificate Number: 01
Date: 08-07-2026

OWNER: *(name and address)*
Franklin Community Schools

998 Grizzly Cub Drive
Franklin, IN 46131

ARCHITECT: *(name and address)*
Schmidt Associates

415 Massachusetts Avenue
Indianapolis, IN 46204

CONTRACTOR: *(name and address)*
Ferguson Construction - Indianapolis
LLC
7157 W 200 North
Greenfield, IN 46140

The Work identified below has been reviewed and found, to the Architect's best knowledge, information, and belief, to be substantially complete. Substantial Completion is the stage in the progress of the Work when the Work or designated portion is sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work for its intended use. The date of Substantial Completion of the Project or portion designated below is the date established by this Certificate.

(Identify the Work, or portion thereof, that is substantially complete.)

All Work


ARCHITECT *(Signature)*

Tom Stapleton
Construction Administrator
(Printed name, title, and license number if required)

August 24, 2026
Date Of Substantial Completion

WARRANTIES

The date of Substantial Completion of the Project or portion designated above is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below:

(Identify warranties that do not commence on the date of Substantial Completion, if any, and indicate their date of commencement.)

WORK TO BE COMPLETED OR CORRECTED

A list of items to be completed or corrected is attached hereto, or transmitted as agreed upon by the parties, and identified as follows:

(Identify the list of Work to be completed or corrected.)

Punch Lists Attached

The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents. Unless otherwise agreed to in writing, the date of commencement of warranties for items on the attached list will be the date of issuance of the final Certificate of Payment or the date of final payment, whichever occurs first. The Contractor will complete or correct the Work on the list of items attached hereto within () days from the above date of Substantial Completion.

Cost estimate of Work to be completed or corrected: \$

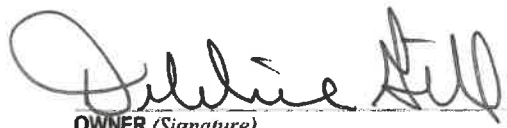
The responsibilities of the Owner and Contractor for security, maintenance, heat, utilities, damage to the Work, insurance, and other items identified below shall be as follows:

(Note: Owner's and Contractor's legal and insurance counsel should review insurance requirements and coverage.)

The Owner and Contractor hereby accept the responsibilities assigned to them in this Certificate of Substantial Completion:


CONTRACTOR *(Signature)*

Mike Petrucik, Project Executive
(Printed name and title) Date 8/10/26


OWNER *(Signature)*

Debbie Gill School Bd
PRESIDENT
(Printed name and title) Date 8/24/26

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User Notes:

(6a75eabe3c08a5d8ca318c32)



Better Foresight
Better Insight
Better On-Site

317.263.6226
Indianapolis | Louisville
schmidt-arch.com

Site Visit Construction

PROJECT: Franklin Community Preschool
2022-024.PRE

DATE: 6/25/2026

VISIT NAME: Flooring Punch

REPORT NO: Flooring

AUTHOR: Tom Stapleton

STATUS: Final

VISIT DETAILS

WEATHER:

START TIME: 2:00 PM
END TIME: 3:00 PM

GENERAL
COMMENTS:

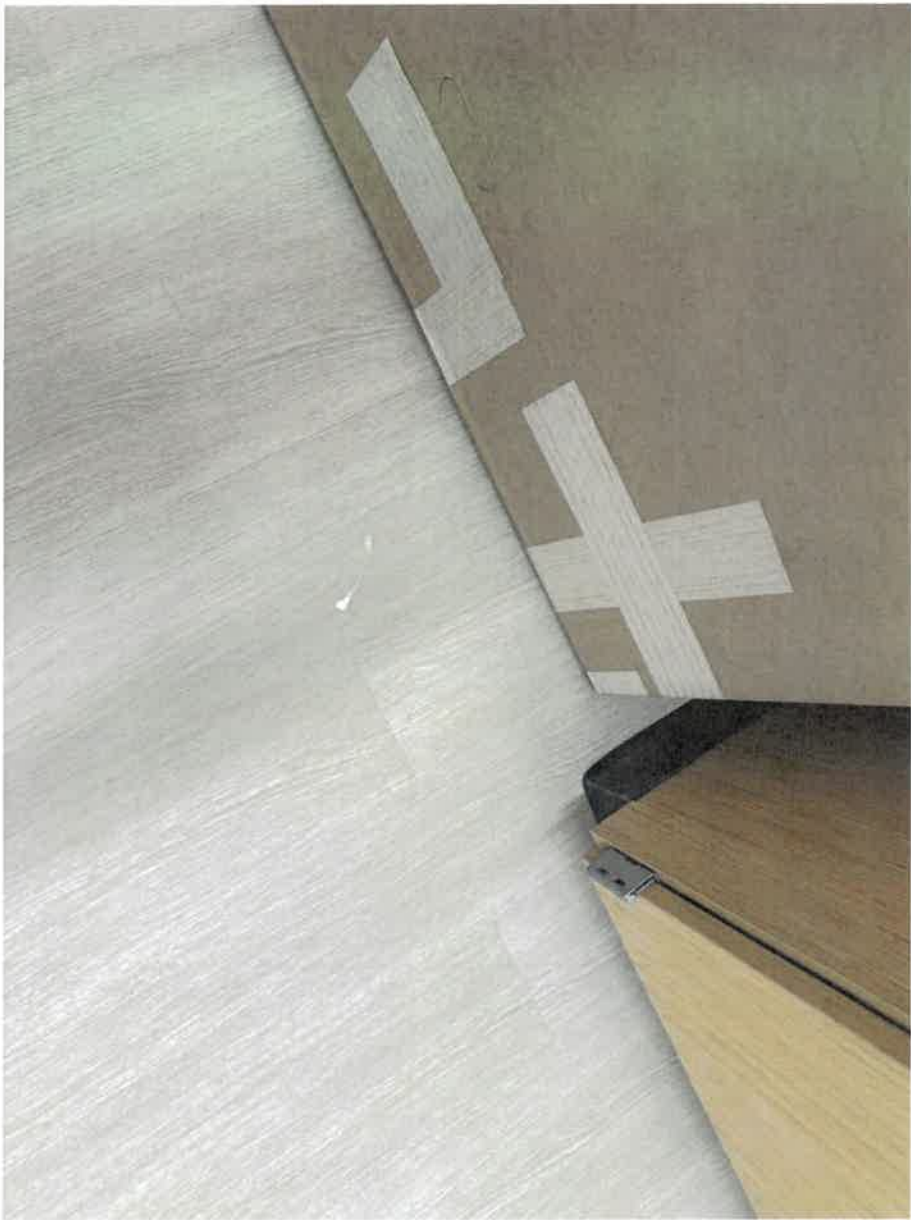
PARTICIPANT NAME	TITLE	EMAIL
Benji Betts (Franklin Community School Corporation)	Director of Operations	bettsw@franklinschools.org
Tom Stapleton (Schmidt Associates)	Construction Administrator	tstapleton@schmidt-arch.com
Mike Petrunich (Ferguson Construction - Indianapolis)	Project Executive	mpetrunich@ferguson- construction.com

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

OBSERVATIONS

ITEM: 027-001



ITEM: 027-001

SPACE:

SUBJECT: A108
REMARKS: Paint on floor near casework
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-002



ITEM: 027-002

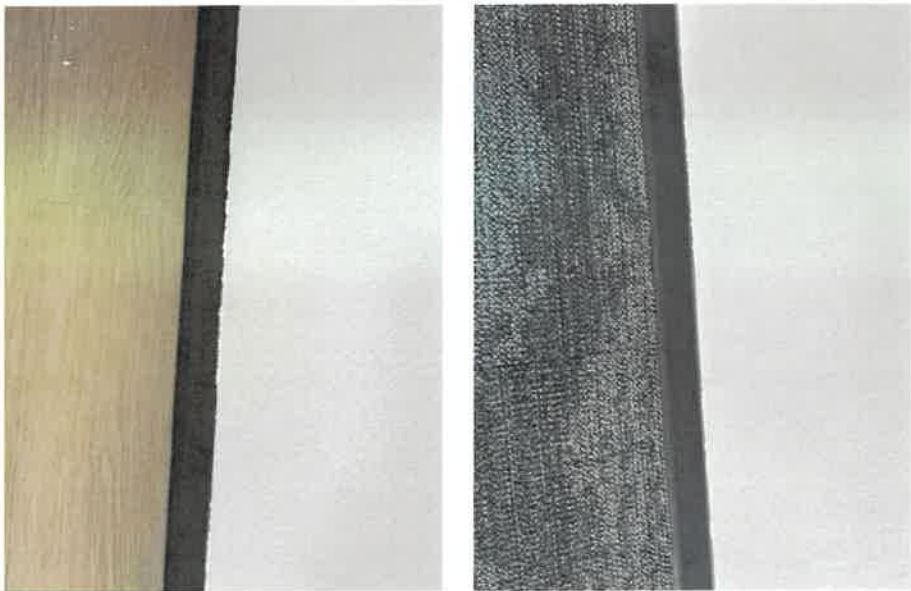
SPACE:

SUBJECT: A102
REMARKS: Paint on carpet near window
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-003



ITEM: 027-003

SPACE:

SUBJECT: General
REMARKS: Paint on Base
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-004



ITEM: 027-004

SPACE:

SUBJECT: B100
REMARKS: Finish LVT at restoom
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-005



ITEM: 027-005

SPACE:

SUBJECT: General
REMARKS: Install Flooring transitions
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-006



ITEM: 027-006

SPACE:

SUBJECT: General
REMARKS: Caulk flooring at door frames
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-007



ITEM: 027-007

SPACE:

SUBJECT: General
REMARKS: Wall base missing in storage rooms
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-008



ITEM: 027-008

SPACE:

SUBJECT: General
REMARKS: Remove concrete splatter on walls in storage rooms
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-009



ITEM: 027-009

SPACE:

SUBJECT: General
REMARKS: Carpet seams are fraying
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-010



ITEM: 027-010

SPACE:

SUBJECT: B105
REMARKS: Paint on the floor near window
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-011



ITEM: 027-011

SPACE:

SUBJECT: B107
REMARKS: Paint on the floor near window
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-012



ITEM: 027-012

SPACE:

SUBJECT: B107
REMARKS: Paint on the floor near window
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-013



ITEM: 027-013

SPACE:

SUBJECT: Corridor H101
REMARKS: Caulk base to frame
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-014



ITEM: 027-014

SPACE:

SUBJECT: C101
REMARKS: Replace Base at casework
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-015



ITEM: 027-015

SPACE:

SUBJECT: Corridor H100
REMARKS: VWB is wavy
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-016



ITEM: 027-016

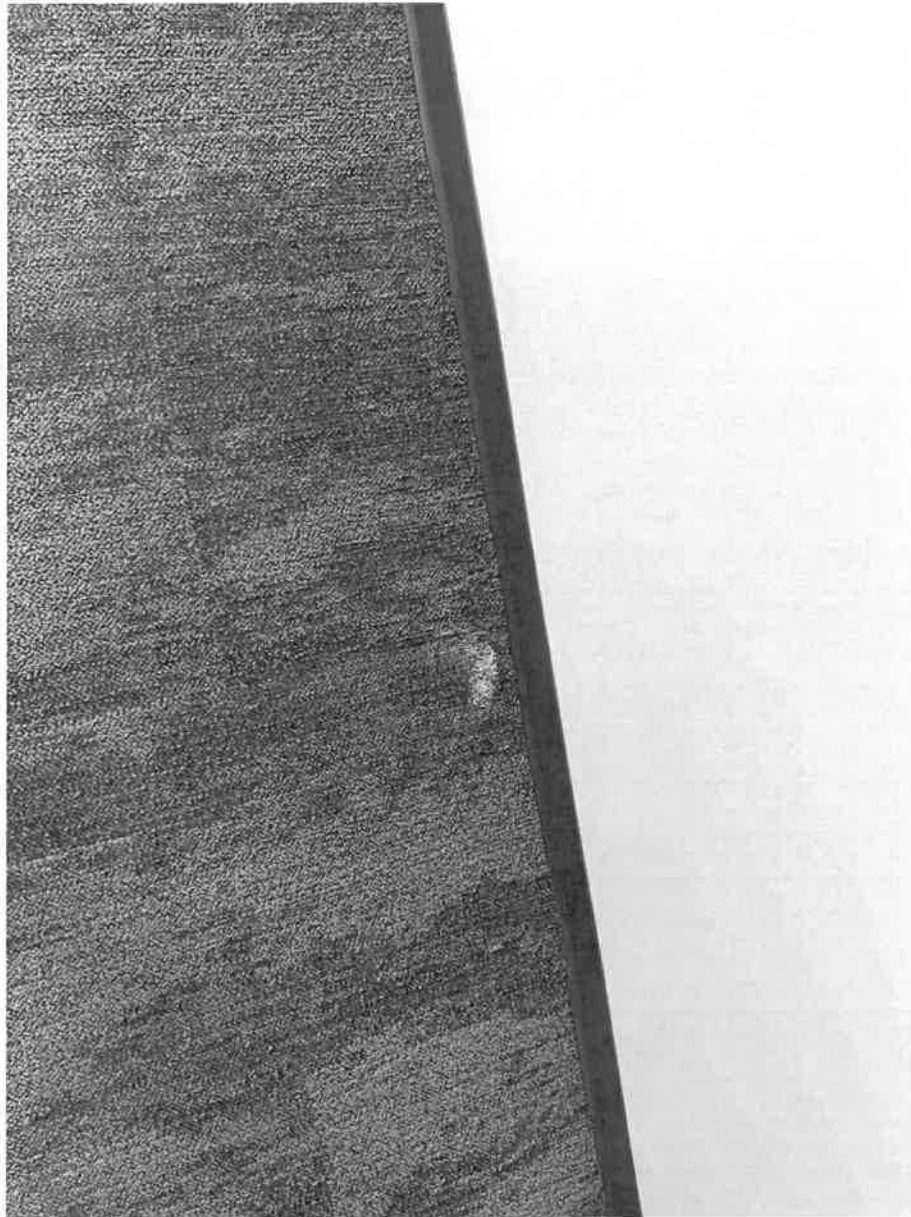
SPACE:

SUBJECT: Corridor H100
REMARKS: LVT coming loose outside A104
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-017



ITEM: 027-017

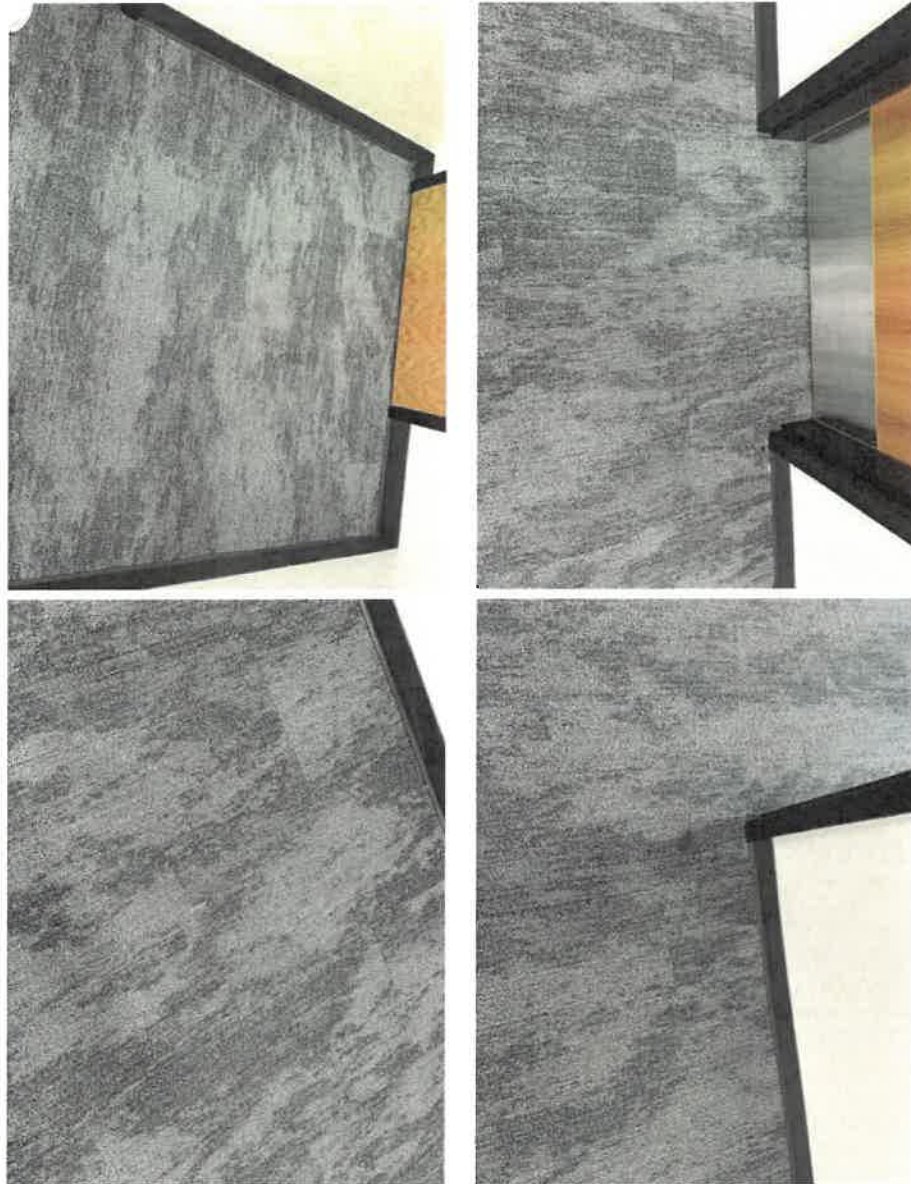
SPACE:

SUBJECT: A103
REMARKS: Paint on carpet near window
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-018



Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring



ITEM: 027-018

SPACE:

SUBJECT: A100
REMARKS: Paint/Mud on carpet
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-019



ITEM: 027-019

SPACE:

SUBJECT: D105a
REMARKS: Missing carpet
CATEGORY: Quality

Site Visit Construction

DATE: 6/25/2026
VISIT NAME: Flooring Punch
REPORT NO: Flooring

ITEM: 027-020



ITEM: 027-020

SPACE:

SUBJECT: D103
REMARKS: Paint on carpet near window
CATEGORY: Quality

TO:

Mike Petrunich

Ferguson Construction - Indianapolis

Interior/Exterior Punch List - 7/2/26

PROJECT:

Franklin Community Preschool
2022-024.PRE

DATE:

07/07/2026

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Exterior		Touch up paint on column	Open	0000 1	
	N/A	Airflow to VUV's		Talking to the test & balancer, he was having issues with air flow back to the VUV's in the storage closets. The GC said he was going to send in a RFI. We will need to add (4) 24"X24" Eggcrate grilles to each storage room as listed below. (total 28) Storage rooms B102A, B103A, B105A, C112A, D101A, D106B & D105A	Open	0000 2	
	N/A	Fan Coil FCU-3		Fan Coil FCU-3 located in the 2nd floor	Open	0000 3	

Interior/Exterior Punch List - 7/2/26

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
				mechanical room in Area C (MH1C2): Supply air ductwork needs to be either internally lined or externally insulated. Fan coil was running, and condensation was dripping off the ductwork.			
	N/A	Branch Piping to AHUs		Branch piping to AHU-1, AHU-2 & AHU-3 needs to be properly labeled. Mains in the mechanical room are labeled, branch piping to AHU's are not.	Open	0000 4	
	N/A	Motorized Damper Missing		Motorize Damper needs installed on 72"X16" OA Louver located in main boiler room. (M-401)	Open	0000 5	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Exterior		Remove liquid armor from brick at main entrance	Open	0000 6	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Exterior		Remove Joint sealant on sills	Open	0000 7	
	N/A	Exterior		Mortar missing on west side of building	Open	0000 8	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Exterior		Fill hole on west side	Open	00009	
	N/A	Exterior		Finish coming off windows SE corner	Open	00010	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Exterior		Remove concrete on brick	Open	0001 1	
	N/A	Exterior		Caulk hose bib	Open	0001 2	
	N/A	Exterior		Infill mortar at brick near playground	Open	0001 3	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Exterior		Clean brick and attach coping to cleat	Open	0001 4	
	N/A	Exterior		Connect control joints to lentle at multiple locations	Open	0001 5	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							
	N/A	Exterior		Touch up scratches on window frames	Open	0001 6	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Exterior		Remove weeps from masonry control, joints, multiple locations	Open	00017	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Exterior		Fix weep at Northeast corner building	Open	00018	
	N/A	Exterior		Touchup paint on exterior door Northeast corner building	Open	00019	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Vestibule V100		Window millions are not symmetrical	Open	00020	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Vestibule V100		Touch up paint	Open	0002 1	
	N/A	Vestibule V100		Sills are not sloped	Open	0002 2	

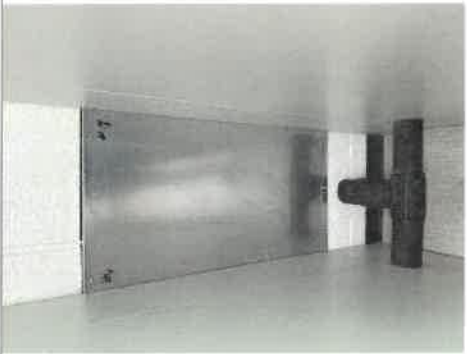
DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							
	N/A	Vestibule V100		Door should not have notch at bottom	Open	0002 3	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Clinic A111		Install end panel on casework	Open	0002 4	
	N/A	General Office Waiting V101		Bulkhead not flush with ceiling	Open	0002 5	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	B107 Classroom		Occupied light doesn't turn off in restroom	Open	0002 6	
	N/A	General		Screws at louvers need to be cut flush	Open	0002 7	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Storage C112A		Hole in ceiling tile	Open	0002 8	
	N/A	Family Restroom C153		Touch up paint and drywall mud	Open	0002 9	

DATE: 7/7/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							

DATE: 7/7/2026 12:00:00 AM

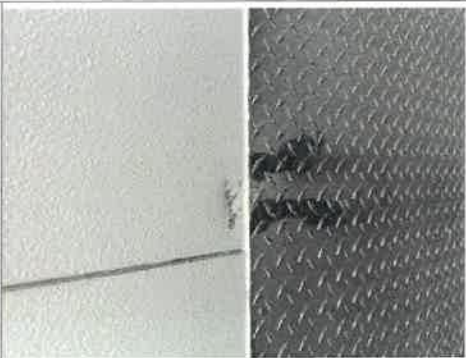
Unit C and D Punch List

PROJECT:	Franklin Community Preschool 2022-024.PRE	DATE:	07/20/2026
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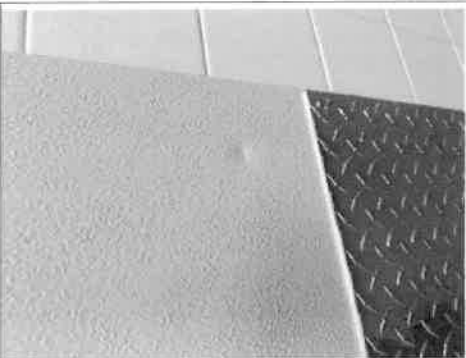
DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Workroom C112		Fix drywall	Open	0003 0	
	N/A	Great Room C108		Touch up bulkheads	Open	0003 1	
	N/A	Opening C108.2		Seal needs replaced	Open	0003 2	

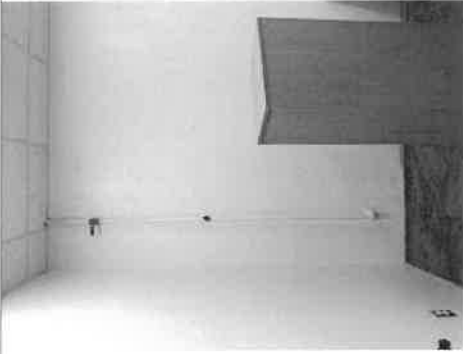
DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Kitchen C103		Install scald guards and pipe insulation	Open	0003 3	
	N/A	Kitchen C103		Dents on freezer/cooler	Open	0003 4	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							
	N/A	Restroom C103C		Door needs adjusted and painted	Open	0003 5	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Laundry/Jan C103B		Replace short tile and install escutcheon at condensate line	Open	0003 6	
	N/A	Office C103A		Fire protection drain pipe not shown to be exposed	Open	0003 7	

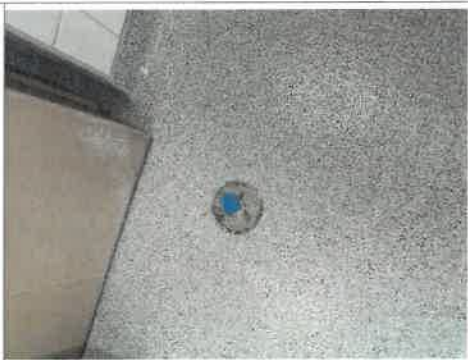
DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Kitchen C103		Caulk joint at freezer/cooler	Open	0003 8	
	N/A	Kitchen C103		Touch up and paint drywall at serving line	Open	0003 9	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							
	N/A	Kitchen C103		Caulk tile at ceiling	Open	00040	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Handwashing C150		Replace clean out cover	Open	0004 1	
	N/A	Girls C151		Caulk between wall and schluter strip	Open	0004 2	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Girls C151		Clean tile	Open	0004 3	
	N/A	Girls C151		Clean residue on partition stainless steel	Open	0004 4	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Handwashing C150		Repair damaged corner	Open	0004 5	
	N/A	Boys C152		Repair scratches on partition	Open	0004 6	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Boys C152		Caulk wall to schluter	Open	00047	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Handwashing C150		Mag hold open boxes are not secured with blocking	Open	00048	
	N/A	Storage C112A		Caulk door frame to wall	Open	00049	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Workroom C112		Clean out floor drain	Open	00050	
	N/A	Vestibule V103		Drywall not finish sanded	Open	00051	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							
	N/A	Family Restroom C154		Drywall not finish sanded	Open	0005 2	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							
	N/A	Family Restroom C153		Touch up drywall/paint	Open	0005 3	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							
	N/A	Vestibule V104		Touch up drywall/paint	Open	0005 4	
	N/A	Vestibule V104		Drywall should sit back from Face of brick	Open	0005 5	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							
	N/A	Vestibule V104		Cut spray foam back and caulk storefront	Open	0005 6	
	N/A	General		Caulk joint at wall and schluter	Open	0005 7	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Classroom D105		Touch up drywall/paint	Open	00058	
	N/A	Classroom D106		Poor caulking workmanship	Open	00059	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Corridor H103		Touch up drywall and paint at windows	Open	00060	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
							
	N/A	Classroom D104		Remove paint on casework	Open	0006 1	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Classroom D104		Touch up paint	Open	0006 2	
	N/A	Classroom D104		Fix receptacle	Open	0006 3	

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Janitor D100		Patch hole in drywall	Open	0006 4	
	N/A	Vestibule V102		Replace ceiling tile	Open	0006 5	

Unit C and D Punch List

DATE: 7/20/2026 12:00:00 AM

SPACE NUMBER	SPACE NAME	ELEMENT	LOCATION	DESCRIPTION	STATUS LABEL	ID	SUPPORTING DOCS
	N/A	Vestibule V102		Touch up caulk	Open	0006 6	

DATE: 7/20/2026 12:00:00 AM

20260423 Plumbing Above Ceiling Punch:

- Piping

- Overall routing of piping is as indicated on plan, although a handful piping were installed close to ceiling grid. The contractor shall confirm that ceiling tiles can be removed and reinstalled.

- Specification section 221116-3.2-K



- Vent piping in unit B is not supported properly. Typical of all vent piping in unit B. Contractor shall support vent piping as required per specifications. Verify vent piping and ensure piping is supported as required.



20260423 Plumbing Above Ceiling Punch:

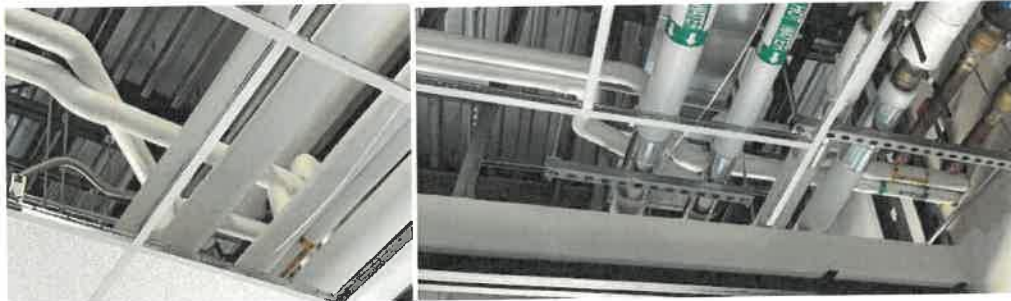
- Storm drops were not enclosed as per plans. Typical of all in unit A & B



- Storm piping insulation going past C.O. Typical of all storm C.O.s in unit A & B
 - Accessing and opening the cleanout may result in potential staining or damage to the insulation.



- Poor workmanship in the installation of domestic water piping.



20260423 Plumbing Above Ceiling Punch:

- Installation of some domestic water branch piping in unit B appears to create low point in the branch. Per specification, drain down ports are required to evacuate trapped water.



- HWR connection at single occupant RRs in unit B is not as indicated on plans. The design intent was for the HWR connection to be made in the RR chase closer to the lavatory HW connection. The installed HWR connection is above the ceiling in the corridor. Credit to the owner for the difference of piping and insulation installed. (Confirm if condition is true at all single occupant RRs i.e. unit C and D)



20260423 Plumbing Above Ceiling Punch:

- Valves

- Need to add isolation valves for future capped connections at the end of unit B. Valves are not on plans.
- Balance stations are missing from all HWR circuits. Typical of all HWR circuits in unit A & B.
- In many areas in unit A & B, valves were far from main branch off. Contractor shall located shut off valves as close as they can (were able) to the main branch off as required in specification.



- Insulation

- Insulation torn/squished. Contractors shall replace insulation and ensure ceiling grid/tiles do not damage insulation.
- Unit A A109



1. General Comments

a. Escutcheons and Wall plates

- i. Throughout – Multiple pipe and wall penetrations were observed to be missing escutcheons or wall plates as required by specifications.
- ii. Under sinks/lavatories – multiple piping penetrations were observed to not be concealed complete by escutcheons or were missing escutcheons all together as required by specifications.



- iii.
- b. Multiple floor drains were observed to be missing trap guards as required by drawings and schedules.
- c. Multiple water closet flush valves were observed to not have adequate flush. Adjust supply stops and clear vacuum breakers of any debris.

- d. Storm Piping – Storm piping was observed to not be insulated on the vertical drops as required by specifications. Some drops were enclosed within the wall already.



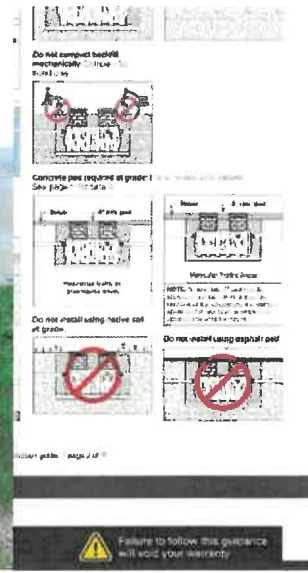
- i.
- e. All mop basins were observed to have been missing the stainless-steel wall guard as required by specifications.
- f. Multiple faucets were observed to be either loose or installed off center of penetration leaving and exposed gap on the fixture. Install fixtures as per manufacturers installation requirements to ensure sink faucets pivot without coming loos and lav faucets to conceal penetrations complete.



- i.
- g. Multiple sinks were observed to have rust staining in the basin. Contractor shall clean or replace for as new installation.



- i.
 - h. Construction debris was observed on multiple fixtures. Contractor shall clear all fixtures of construction debris.
 - i. Throughout – Piping and equipment is missing pipe labeling and equipment tagging as required by specifications.
2. The grease interceptor is not installed as per manufacturers installation requirements and is missing a concrete pad at grade. Install traffic rated lids on grease interceptor manholes.



3. Test drain for sprinkler system installed near grease interceptor is not fully sealed around wall penetration.



- a.
4. Gas piping that is routed to generator is not installed as per drawings with improper sediment trap configuration.
5. The elevation of the gas pressure regulator is low to the ground which will be easily covered by snow and prevent proper operation of the gas pressure regulator.



- a.
6. Gas piping in service yard is not properly secured to pipe supports.



- a.
7. Gas meter service and nearby piping are not installed as per plans and severely limit service clearance and access to the meter. Coordinate service clearances with local utility company as required.



- a.
8. Gas piping observed did not appear to be sealed at wall penetrations as required per specifications.

9. Multiple exterior wall hydrants were observed to not be sealed to the wall surface.



- a.
10. SH-1 installed is not compliant with specified fixture as scheduled in RFI #004.
Contractor shall install fixture as scheduled.



- a.
11. SK-3 in admin area did not appear to have sealant applied at sink/counter interface as required per specifications.
12. FD-1 installed in RR-B106A does not match the rest of the building.



a.

13. Kitchen

- a. FD-4 near the Ice Maker is missing or covered up that was intended to collect the drain lines instead of being routed to the front of the equipment.
- b. TD-1 did not appear to be properly installed with the flooring and it's flashing/trim around the edge of the drain. The flooring overlapped the drain over the top of the edges.



i.

- c. All indirect waste piping was observed to be non-compliant with specifications and is currently PVC as opposed to Copper (required by specifications)
- d. Multiple fixture rough-in locations were observed to be not coordinated with the KEC equipment/fixtures leading to piping running exposed along the wall as was planned and shown on the drawings leaving them exposed to the kitchen elements, especially in the warewashing area.



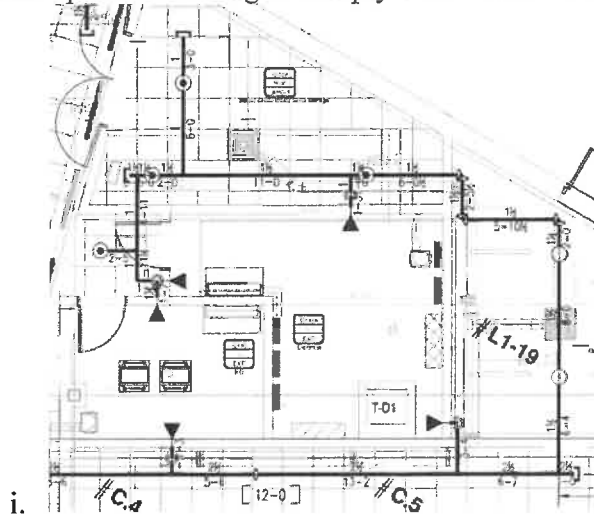
i.

14. Mechanical Room

- a. No jacketing was observed on insulation as required by specifications for exposed piping up to 72".
- b. The Storage tank and Heat Exchangers were not installed in locations as indicated on drawings leading to limited access and serviceability.
- c. The domestic water expansion tank has a isolation valve installed on its branch line and is in violation of plumbing code.
- d. The inlet and outlet piping of the domestic water heaters is mismatched (parallel piping vs first in last out) and not routed as indicated on plans. Contractor shall install domestic water connections as configured on plumbing plans.
- e. There is no neutralization filter installed on the condensate lines as required by the manufacturer installation requirements.
- f. The incoming domestic water service and fire service access is currently blocked by electrical equipment mounted on Unistrut limiting serviceability and clearances.
- g. Cleanout installed near the entrance has flooring finish coated ontop of it.

15. Fire Suppression/Sprinklers

- a. Sprinkler piping in the vestibule shall be re-evaluated by the sprinkler contractor to determine if coverage is required above and below the ceiling clouds as per NFPA 13.
- b. At least one sprinkler head was observed to have the head taped up and covered. Ensure all sprinkler heads are compliant with NFPA 13 requirements for installation.
- c. Sprinkler piping was observed to be installed within electrical room when sidewall head sprinklers are required on drawings and shown on submitted plans. Update sprinkler routing to comply with contract documents.





ii.

16. Restroom D104A lavatory offset trap arrangement is not compliant with accessibility requirements.

17. Roof

- a. Uncoated gas piping/fittings on roof exhibited heavy signs of corrosion.
- b. Gas regulator vent piping penetrations (presumably) near the domestic water heater combi-vent terminals were observed to be at the same elevation and close to the building edge leaving them prone to coverage by snow drift and re-draft into the combustion air intakes of the water heaters. The regulators shall be converted to vent limiting regulators or the vent piping and penetrations relocated to be at least 10' horizontally away from the intakes to comply with IFGC-2014 venting requirements.



i.