



HAILSTORM DAMAGE REPORT

Board Meeting

08/31/2026

BACKGROUND

November 1, 2025	November 10, 2025	March 30, 2026	August 2026
STORM & CLAIM Hailstorm damaged multiple District facilities. Property insurance claim opened.	INITIAL REVIEW Facility and roof inspections began. Carrier assessment: \$5.88M	GIGNAC SELECTED Board approved architectural and project-management services for repair and restoration.	SUPPLEMENTAL ASSESSMENT Gignac estimate: \$26.13M Submitted to McLarens; review underway.

FINDINGS TO DATE

ROOFS ARE THE PRIMARY DRIVER

Obvious hail impacts were documented at several campuses; the High School also showed roof delamination.

EXTERIORS AND BUILDING SYSTEMS WERE ALSO AFFECTED

Reported damage includes flashing, fascia, metal panels, gutters, canopies, windows, HVAC/electrical equipment, lighting, fencing and signage.

NOT EVERY CONDITION IS STORM-RELATED

Age, corrosion, wind, leaks and maintenance conditions require separate attribution during scope validation.

LIMITED OR NO APPARENT HAIL DAMAGE

Food Nutrition Center and Early Childhood Center showed no significant envelope damage or apparent roof hail damage.

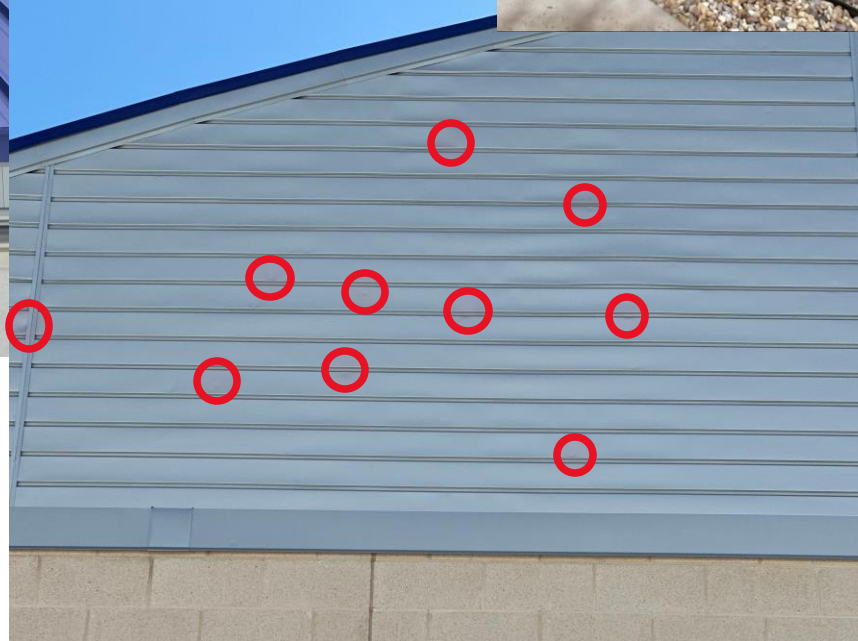
GREGORY-PORTLAND ISD – STORM REPORT

BOARD REVIEW

08/31/2026



DAMAGE OBSERVED – Athletic Facility



- Notable Damage:
- Aluminum panels damaged.
 - Damage to roof flashing system.
 - Damage to roof.

DAMAGE OBSERVED – East Cliff



- Notable Damage:
- Damaged Roofing and HVAC
 - Damage to Sign
 - Damage to site fencing.
 - Damage to cooling lines
 - Damage to security systems.

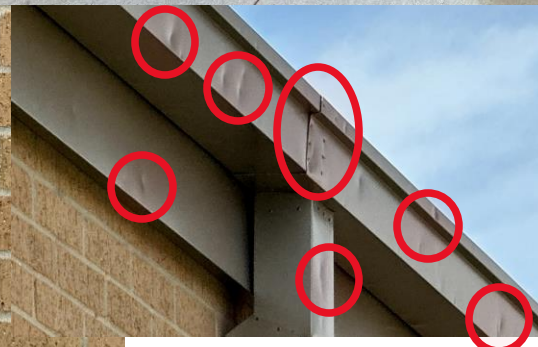
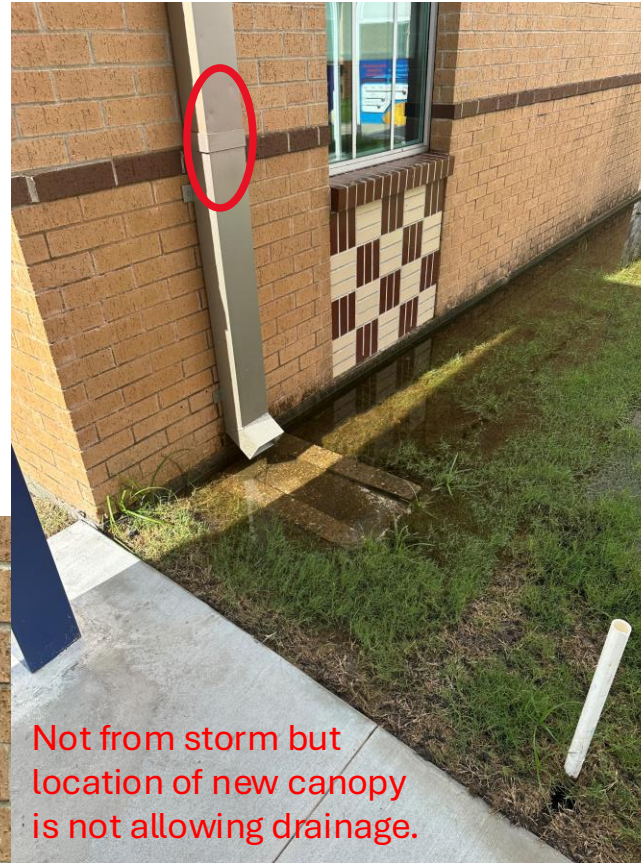
DAMAGE OBSERVED – Administration



Notable Damage:

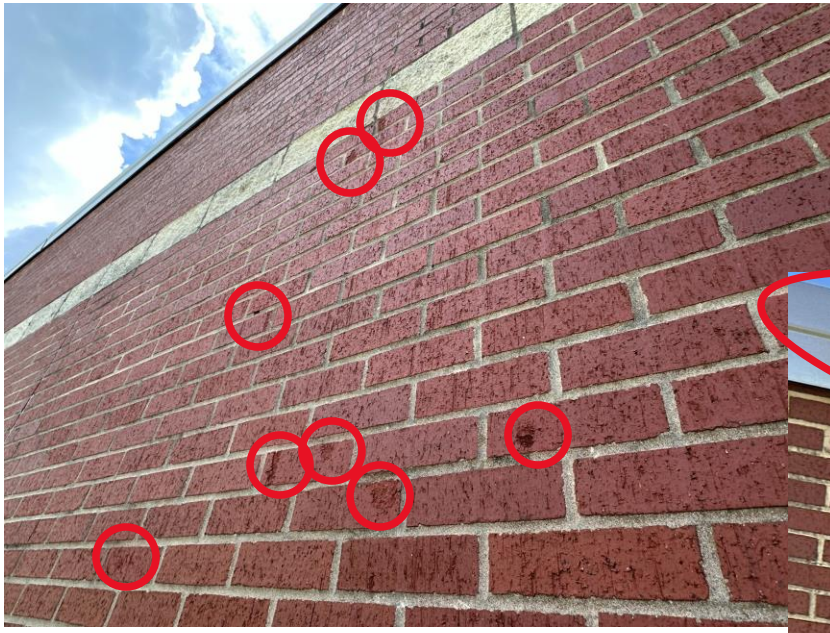
- Damaged Aluminum Roofing and siding.
- Damage to exterior finish.
- Damage to site signs.
- Damage to security systems.

DAMAGE OBSERVED – Stephen F. Austin



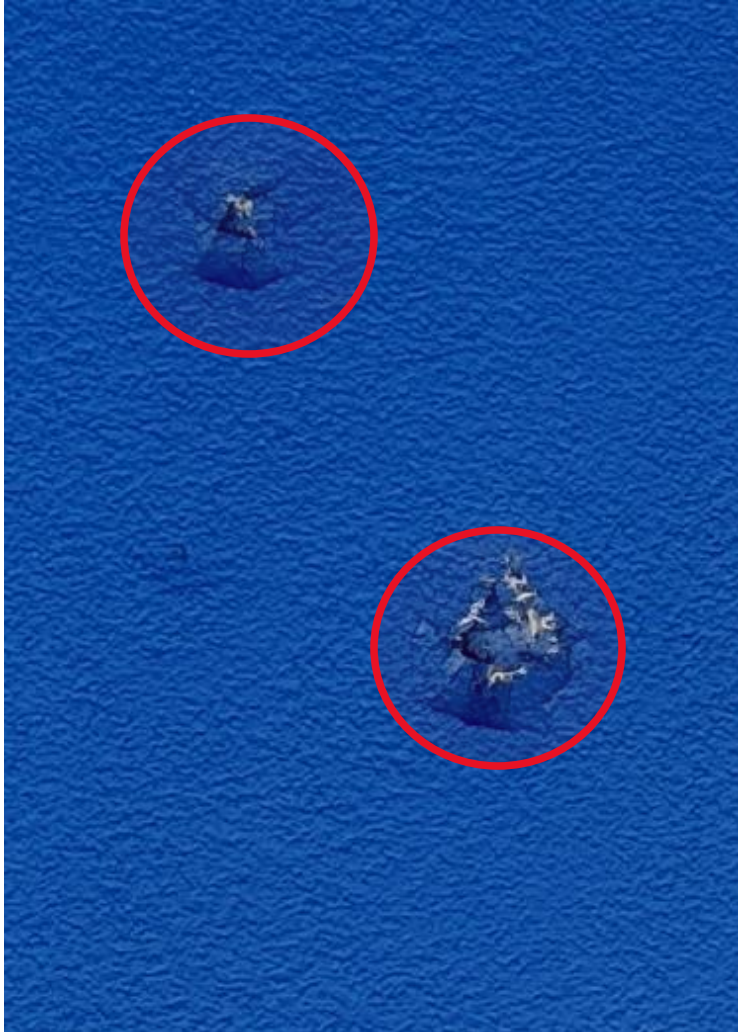
- Notable Damage:
- Damaged Aluminum Roofing and siding.
 - Damage to gutter systems.
 - Damage to fire systems.

DAMAGE OBSERVED – T.M. Clark



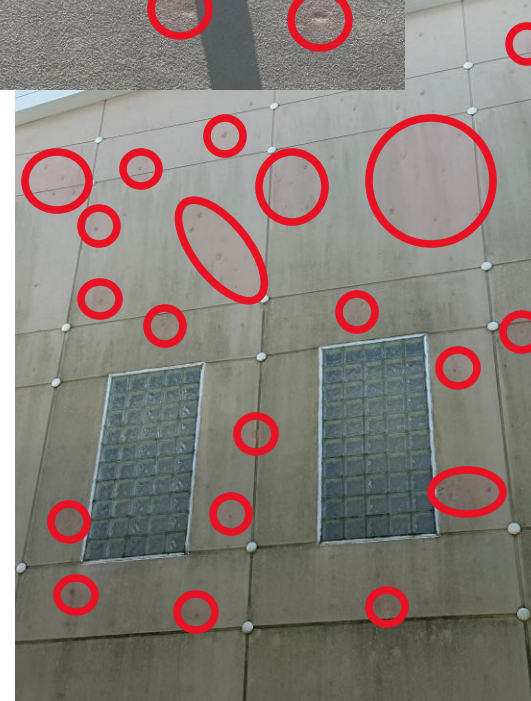
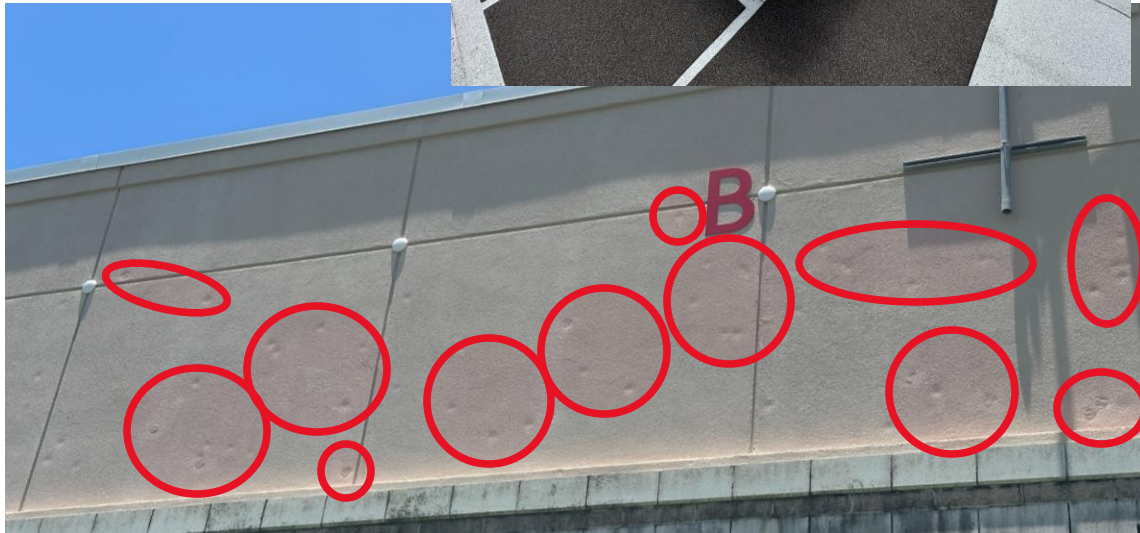
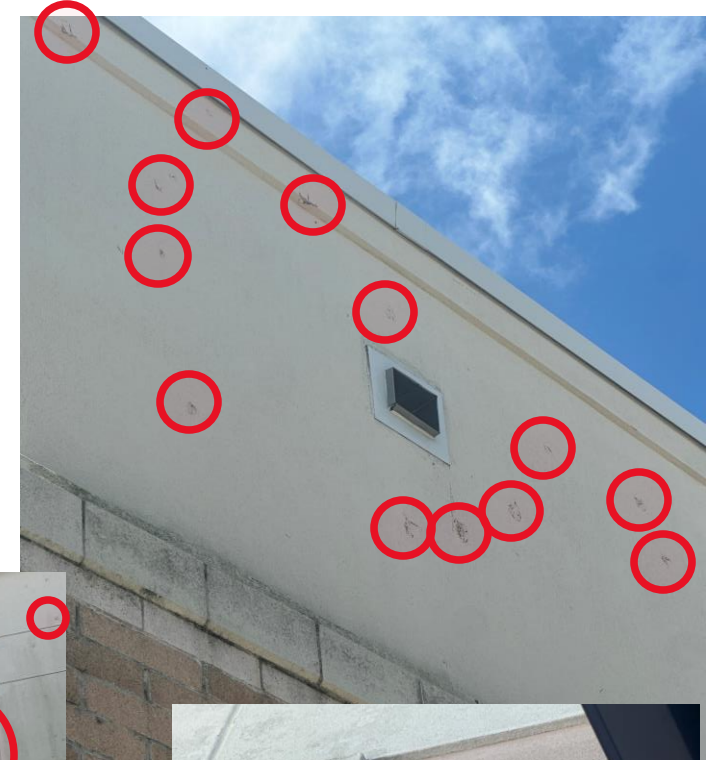
- Notable Damage:
- Damaged roofing and siding.
 - Damage to exterior finish.
 - Damage to site fencing
 - Damage to playground canopies.

DAMAGE OBSERVED – HIGH SCHOOL



TYPICAL DAMAGE TO EXTERIOR
INSULATION FINISH SYSTEM (EIFS)
AT HIGH SCHOOL

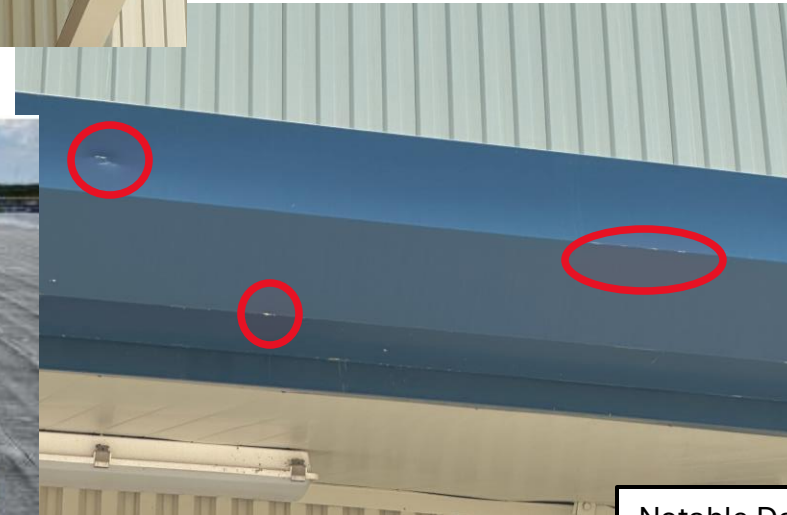
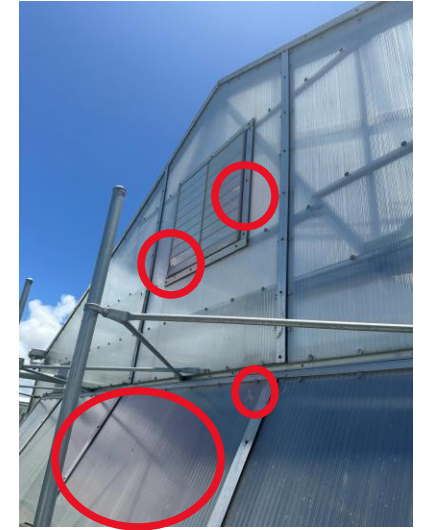
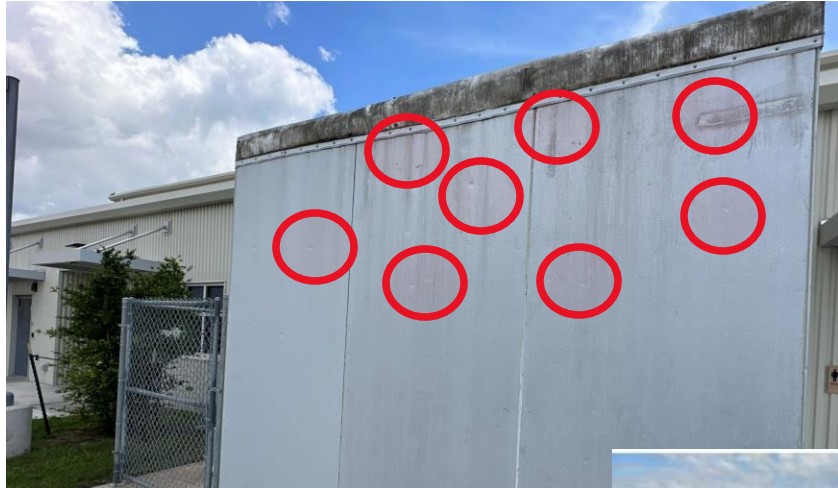
DAMAGE OBSERVED – High School



Notable Damage:

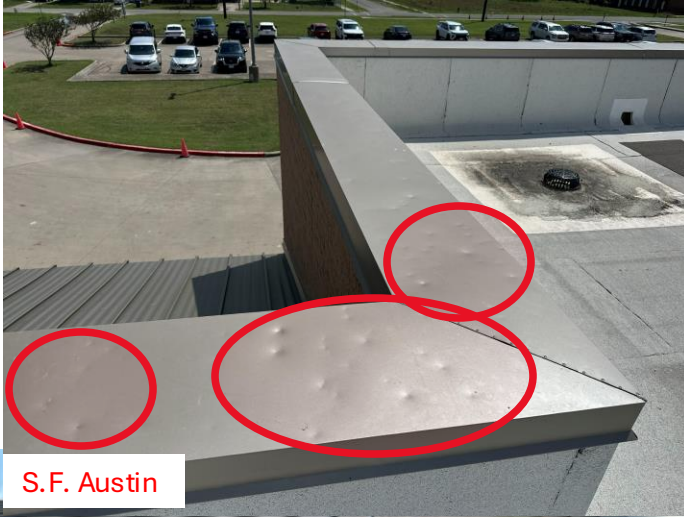
- Damaged roofing and HVAC shells.
- Damage to exterior finish.

DAMAGE OBSERVED - High School

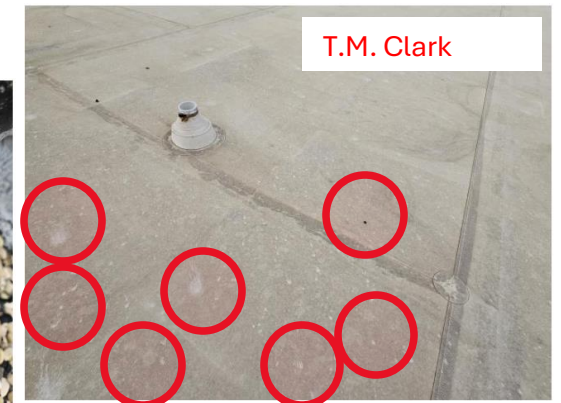
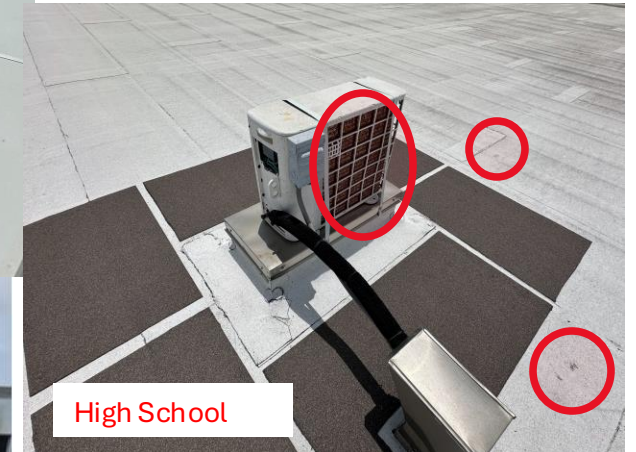
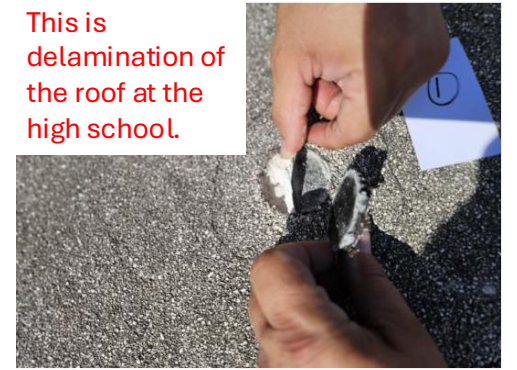


- Notable Damage:
- Damaged roofing.
 - Damage to exterior finish.
 - Damage to site fencing
 - Damage to coolers.

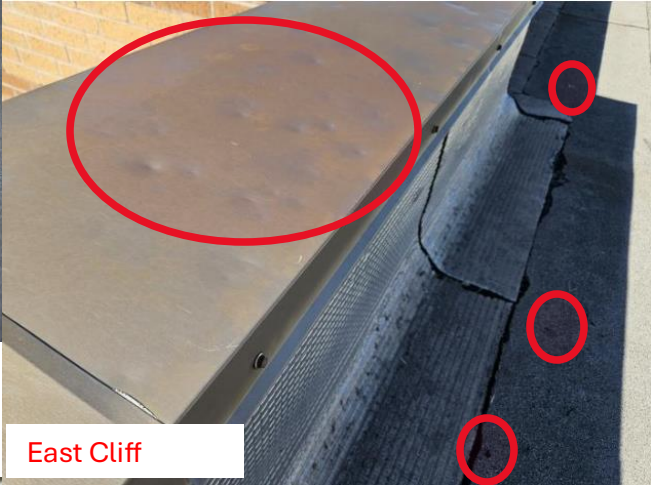
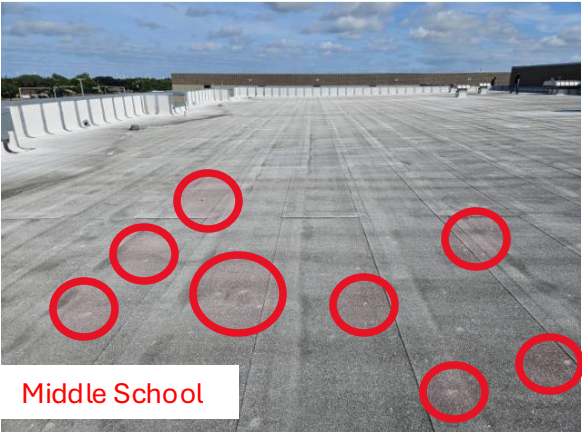
DAMAGE OBSERVED – Roofing



This is
delamination of
the roof at the
high school.



**DAMAGE OBSERVED –
Roofing**



WEATHER DAMAGE OBSERVATION – ESTIMATED COST REPORT

* Carrier assessment amounts shown are from the carrier estimate.
* Planning estimates include 15% contractor markup; consultant reconciliation is pending.

- **Food Nutrition**

Probable cost of Construction Total – \$0.00
Carrier Assessment - \$0.00
Total after contractor markup -
Difference - \$0.00

- **Early Childhood Center**

Probable cost of Construction Total – \$0.00
Carrier Assessment - \$0.00
Total after contractor markup -
Difference - \$0.00

- **All Purpose Athletic Center**

Probable cost of Construction Total – \$5,166,310.00
Carrier Assessment - \$2,534,482.08
Total after contractor markup – \$5,941,256.50
Difference - \$3,406,774.42

- **East Cliff Elementary**

Probable cost of Construction Total – \$1,736,500.00
Carrier Assessment - \$1,220,903.54
Total after contractor markup – \$3,146,975.00
Difference - \$1,926,071.46

- **G-P ISD Administration**

Probable cost of Construction Total – \$528,350.00
Carrier Assessment - \$314,415.00
Total after contractor markup - \$607,602.50
Difference - \$292,187.50

- **High School**

Probable cost of Construction Total – \$9,790,918.00
Carrier Assessment - \$1,496,926.14
Total after contractor markup – \$11,259,555.70
Difference - \$9,762,629.56



WEATHER DAMAGE OBSERVATION – ESTIMATED COST REPORT

* Carrier assessment amounts shown are from the carrier estimate.

* Planning estimates include 15% contractor markup; consultant reconciliation is pending.

- **Middle School**

Probable cost of Construction Total – \$95,500.00

Carrier Assessment - \$0.00

Total after contractor markup – \$109,825.00

Difference - \$109,825.00

- **Stephen F. Austin**

Probable cost of Construction Total – \$1,968,305.00

Carrier Assessment - \$270,006.00

Total after contractor markup – \$2,263,550.75

Difference - \$1,993,544.75

- **T.M Clark**

Probable cost of Construction Total – \$3,432,516.00

Carrier Assessment - \$40,200

Total after contractor markup – \$3,947,393.40

Difference - \$3,907,193.40

- **W.C. Andrews**

Probable cost of Construction Total – \$6,225.00

Carrier Assessment - \$5,424.00

Total after contractor markup - \$7,158.75

Difference - \$1,734.75

- **Total Cost of Estimated Construction Cost**

Total before Contractor Markup - \$22,721,574.56

After Contractor Markup - \$26,129,810.74

Carrier assessment total - \$5,882,356.76

Difference - \$20,247,453.98



WHERE WE ARE TODAY

CARRIER ASSESSMENT

\$5.88M

Initial valuation of covered damages identified in the November 2025 assessment.

PROFESSIONAL ESTIMATE

\$26.13M

Comprehensive cost estimate by Gignac Architects, incorporating physical assessments, testing, and a standard 15% contractor markup. From the August 2026 report.

STRATEGIC CLAIM DELTA

\$20.25M

The delta between professional and carrier estimates. This is our target for active documentation, substantiation, and claim pursuit.

CRITICAL MANAGEMENT ASSURANCE:

The \$20.25 million difference is NOT yet an established insurance receivable. It represents the starting point of an active documentation and claim negotiation process. Gregory-Portland ISD will vigorously pursue, justify, and resolve this claim delta to secure the full reimbursement to which our taxpayers are entitled.

WHAT THE ASSESSMENT TELLS US

CORE ASSESSMENT INSIGHTS

- **Complete Roof Replacements**

The architectural and roofing consultant recommended a complete replacement of roofing membranes across all five major facilities to address water leakage, prevent insulation delamination, and protect long-term warranties.

OTHER LOCATIONS REVIEWED

Planning estimate after contractor markup

Administration Building \$0.61M • roof/exterior repairs

Middle School \$0.11M • targeted repairs

W.C. Andrews Elementary \$0.01M • limited repair scope

Food Nutrition Center \$0 • no storm estimate

Early Childhood Center \$0 • no storm estimate

Ray Akins Stadium scope/cost confirmation pending

Planning figures remain subject to consultant and carrier reconciliation.

Gregory-Portland High School

Main Roof Replacement & CTE Delamination



\$11.26M

All Purpose Athletic Center

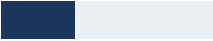
Complete Metal & Mod-Bit Replacement



\$5.94M

T.M. Clark Elementary

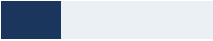
Modified Bituminous Roof Replacement



\$3.95M

East Cliff Elementary

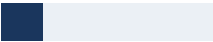
Modified Bituminous Roof Replacement



\$3.15M

S.F. Austin Elementary

Modified Bituminous Roof Replacement



\$2.26M

INSURANCE RECOVERY PLAN

CURRENT STATUS:

- Gignac assessment submitted to insurance carrier.
- Additional scope and costs under review.
- Joint review occurred August 21 at 9:00 am.

NEXT STEPS:

- 1 Obtain the carrier's initial response
- 2 Reinspection and supplemental documentation
- 3 Scope and cost reconciliation
- 4 Pursue formal claim remedies only if necessary

CLAIM PRESERVATION PROTOCOLS

★ **Written Guidance:** Confirm what repairs or procurement may proceed.

★ **Inspection Access:** Preserve damaged areas and materials for carrier review.

★ **Complete Documentation:** Photograph conditions before, during and after work; retain notices, approvals, engineering sign-offs and itemized costs.

Repairs proceed only when the District's claim rights are protected.

REPAIR, PROCUREMENT & FUNDING PLAN

FACILITY DELIVERY STRATEGY

- **Protect:** Deploy immediate, temporary stabilization measures (tarping, board-ups, sealing leaks) at damaged facilities to halt active water intrusion and protect our buildings.
- **Phase:** Structure and phase permanent reconstruction based on the severity of risk, impact on student safety and campus operations, and available resource allocation.
- **Procure:** Utilize the legally mandated, most operationally efficient procurement method for each specific scope, including Competitive Sealed Proposals (CSPs) or approved purchasing cooperatives.
- **Return:** Bring all final contractor selection recommendations, cooperative contract awards, and material scope changes back to the Board for formal authorization.

STRATEGIC FUNDING APPROACH

- **Continue Pursuit:** Maintain aggressive, highly documented pursuit of all available insurance claim funds from the carrier to maximize reimbursement of Gignac's assessed damages.
- **Consider Reserves:** Evaluate and utilize available District reserve funds for immediate, high-priority work, provided the insurance carrier formally confirms that beginning repairs will not compromise our claim. In the meantime, funding requests will be brought to the Board for approval.
- **Board Oversight:** Present any interim budget allocations, reserve transfers, or fiscal amendments to the Board for full review and approval before any financial commitments are authorized.
- **Rigorous Control:** Establish strict project controls by thoroughly validating exact repair scopes, selected treatments, and bid costs before authorizing full restoration programs.

PRELIMINARY IMPLEMENTATION TIMELINE



QUESTIONS